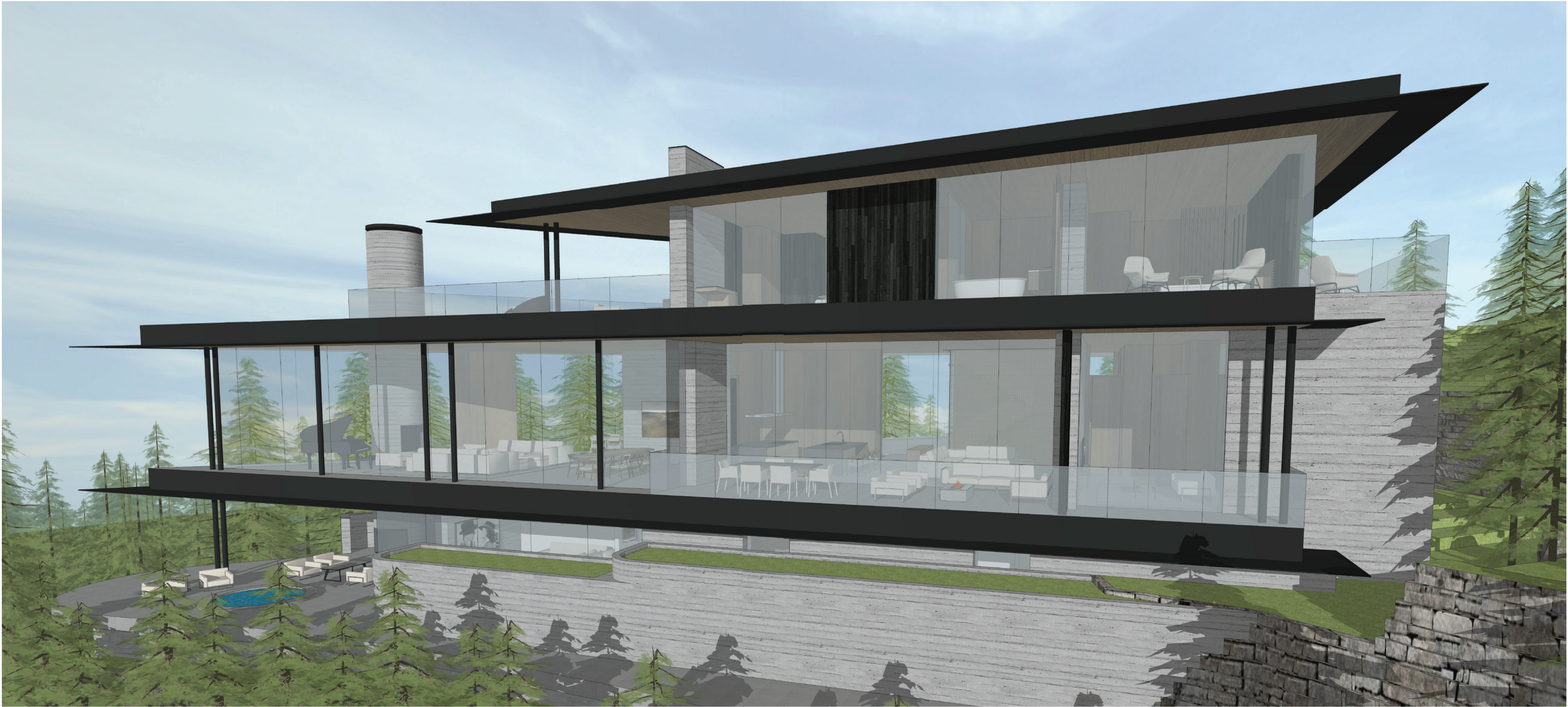




Date	Issue / Revisions
15 DECEMBER 2020	DVP
10 MARCH 2021	REVISED DVP
09 APRIL 2021	REVISED DVP



SKY RESIDENCE

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CONTRACTOR

GEOTECHNICAL ENGINEER

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CSA BUILDING SERVICES WESTERN
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COQUITLAM BC, B3K 6V5
T. 604.523.1366
rjeck@csawest.com

CIVIC ADDRESS:
2974 High Point Drive
Whistler, BC

LEGAL DESCRIPTION:
LOT 59, D.L 7798, G.P 1, N.W.D.,
STRATA PLAN LMS4695
FOLIO: 504695.059
PID: 028-878-019

CODE EDITION : BCBC 2018 (PART 9)
CLASSIFICATION: GROUP C RESIDENTIAL

ZONING: RTA-11 (RMoW BYLAW 303)

COVENANT SECOND FLR ELEVATION MAX:
2906.82' (886M)
PROPOSED SECOND FLR ELEVATION:
2906.75' (885.98M) [CONFORMING]

BUILDING HEIGHT: SEE A2.05 FOR AVG
ROOF HEIGHT CALCULATIONS &
A3.01-A3.02 FOR AVG GRADE & BUILDING
HEIGHT CALCULATIONS/DRAWINGS

ARCHITECTURAL DRAWING LIST

A0.00	COVER SHEET
A1.01	EXISTING SITE PLAN (SUBJECT OF VARIANCE)
A1.02	PROPOSED SITE PLAN
A2.02	LOWER FLOOR PLAN
A2.02.1	LOWER FLOOR GFA OVERLAY W/HEIGHT VARIANCE
A2.02.2	LOWER FLOOR GFA OVERLAY W/O HEIGHT VARIANCE
A2.03	MAIN FLOOR PLAN
A2.03.1	MAIN FLOOR GFA OVERLAY
A2.04	UPPER FLOOR PLAN
A2.04.1	UPPER FLOOR PLAN GFA OVERLAY
A2.05	ROOF PLAN & AVG ROOF HEIGHT CALCULATIONS
A3.01	NORTHWEST ELEVATION x 2 (SUBJECT OF VARIANCE)
A3.02	NORTHEAST ELEVATION & AVG GRADE CALCULATIONS
A3.03	SOUTHEAST & SOUTHWEST ELEVATIONS
A4.01	PHOTOSHOP VIEWS & DESIGN RATIONALE
A4.02	3D PERSPECTIVES
A4.03	3D PERSPECTIVES

Seal

Project

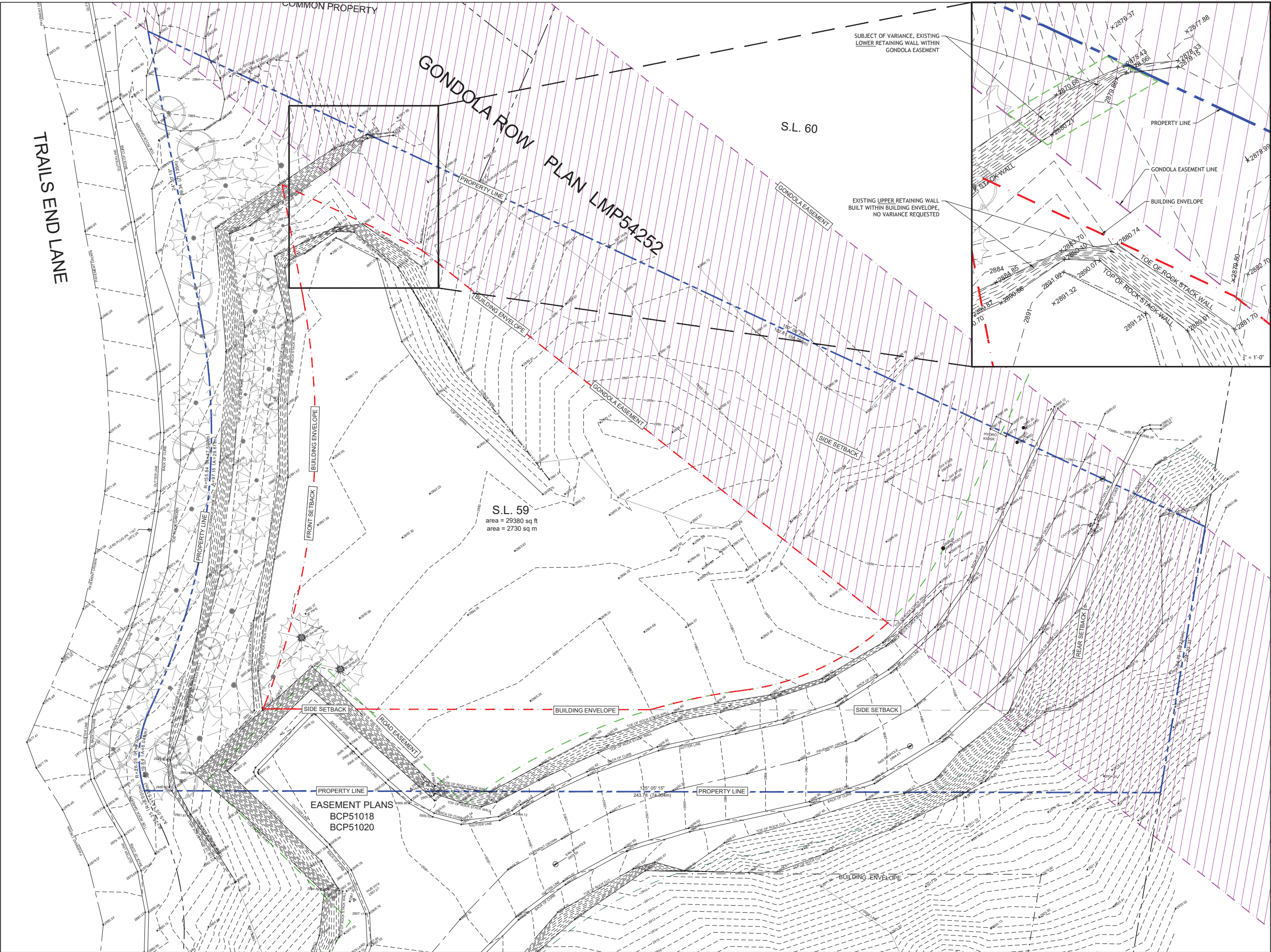
Sky Residence
Kadenwood Lot 59
2974 High Point Drive
Whistler, BC

Sheet Title
COVER SHEET

Project Number
18-20

Scale (Sheet Size Arch E1)
NA

Sheet Number
A0.00



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Project

Sky Residence
Kadenwood Lot 59
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Sheet Title

Site Plan
Existing

Project Number

18-20

Scale (Sheet Size Arch E1)

1/8" = 1'-0"

Sheet Number

(A1.01)

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SUBJECT OF VARIANCE, EXISTING
RETAINING WALL WITHIN
GONDOLA EASEMENT

VARIANCE IS REQUESTED TO
MAINTAIN RETAINING WALL BUILT
BY PREVIOUS DEVELOPER WITHIN
GONDOLA EASEMENT

VARIANCE IS REQUESTED TO
MINIMIZE DISTURBANCE TO SITE
AFTER 10+ YEARS OF
PLANTLIFE/ECOLOGICAL GROWTH

SUBJECT OF VARIANCE, PROPOSED
PLANTER (TO CONFORM TO
HEIGHT REGULATIONS)

VARIANCE IS REQUESTED TO OMIT
HEIGHT-CONFORMING PLANTER

TRUE BUILDING HEIGHT & MASSING
REMAINS UNCHANGED

PROPOSED RETAINING WALL
REMAINS (TO CONFORM TO
BASEMENT AREA EXEMPTION
REGULATIONS, NO VARIANCE
REQUESTED HERE)

EXISTING RETAINING WALL
WITHIN GONDOLA EASEMENT IS
3.23' (0.98M) HIGH ON THIS END
AS IT TAPERS TO MEET EXISTING
TOPOGRAPHY & PROPERTY LINE

EXISTING RETAINING WALL
WITHIN GONDOLA EASEMENT IS
11'-0" (3.4M) TALL ON THIS END

EASEMENT PLANS
BCP51015, BCP51018,
BCP51020

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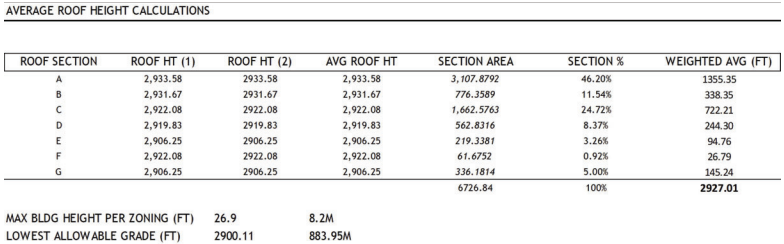


Project
Sky Residence
Kadenwood Lot 59
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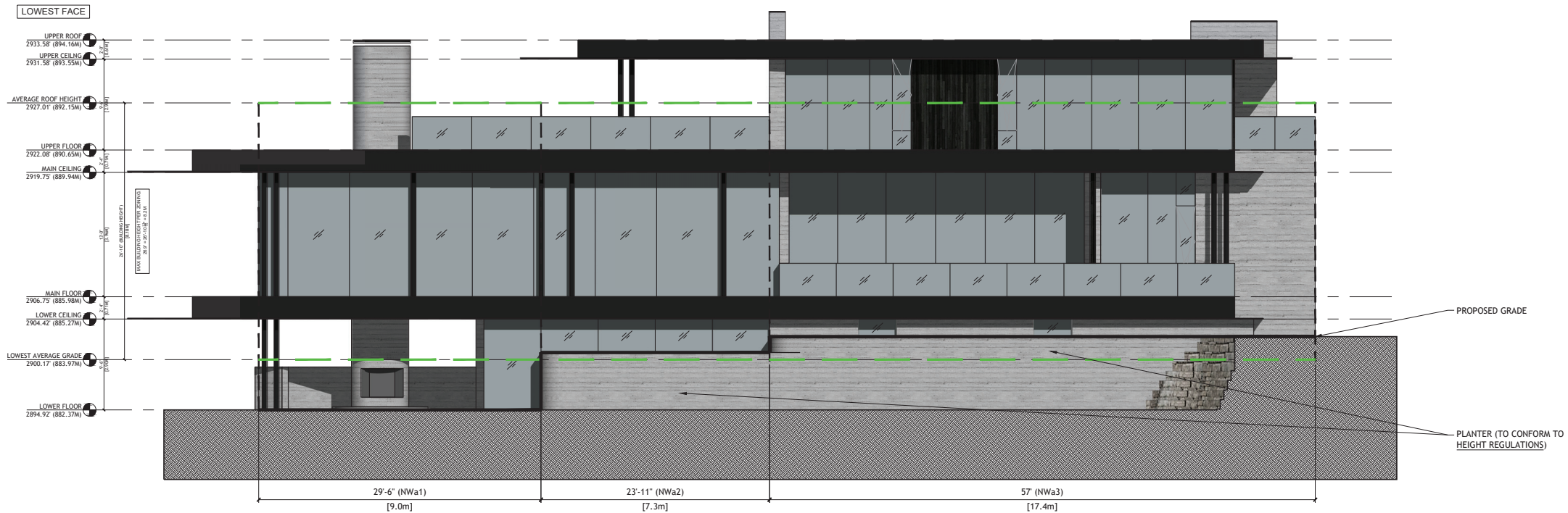
Sheet Title
**PROPOSED SITE
PLAN**

Project Number
18-20
Scale (Sheet Size Arch E1)
1/8" = 1'-0"
Sheet Number
A1.02

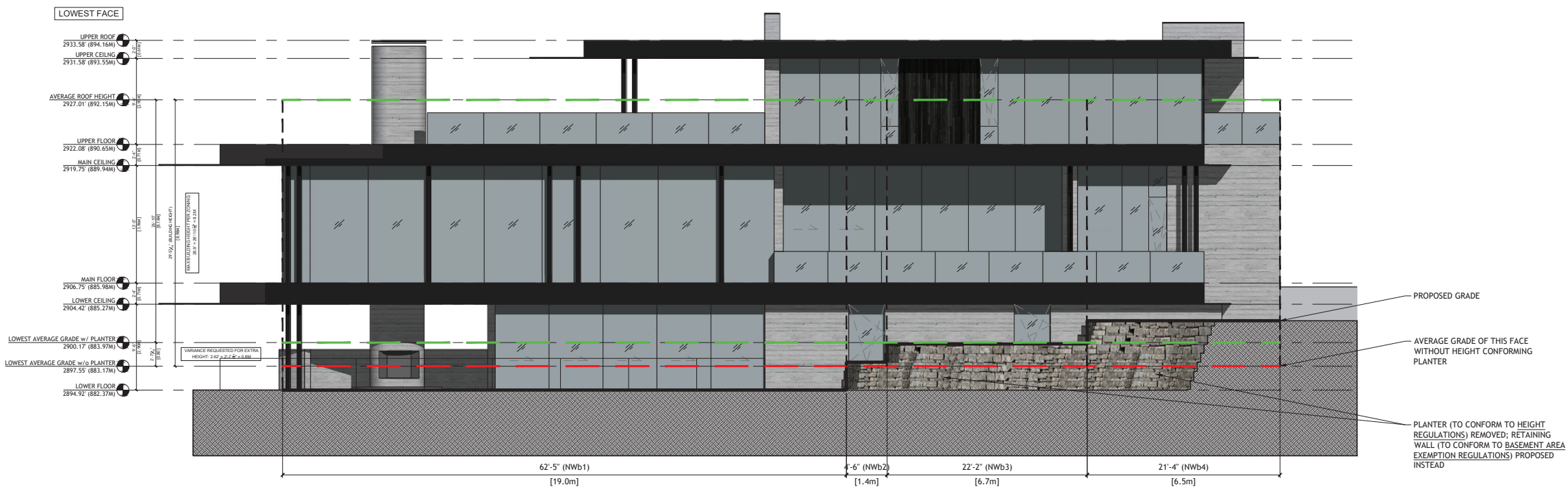
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1 NORTHWEST ELEVATION (WITH CONFORMING PLANTER)
SCALE: 3/16" = 1'-0"



2 NORTHWEST ELEVATION (WITHOUT PLANTER)
SCALE: 3/16" = 1'-0"

SEE NEXT PAGE FOR AVERAGE GRADE CALCULATIONS
SEE A2.05 FOR AVERAGE HEIGHT CALCULATIONS

Seal

Project
Sky Residence
Kadenwood Lot 59
2974 High Point Drive
Whistler, BC

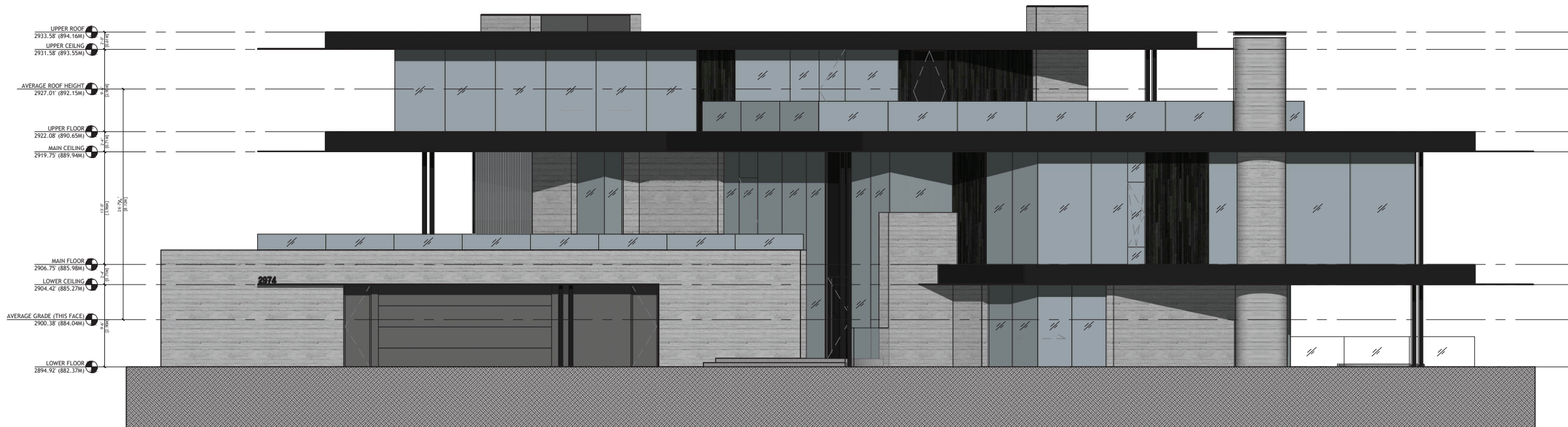
Sheet Title
NORTHWEST
ELEVATION

Project Number
18-20
Scale (Sheet Size Arch E1)
3/16" = 1'-0"
Sheet Number
A3.01

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AVERAGE GRADE CALCULATIONS							
NW ELEVATION (WITH HEIGHT CONFORMING PLANTER)							
WALL SEGMENT	ELEVATION (1)	ELEVATION (2)	ELEVATION AVG.	SEGMENT LENGTH	SEGMENT %	WEIGHTED AVG	
NWa1	2,894.92	2,894.92	2,894.92	29.5000	26.72	773.44	
NWa2	2,900.92	2,900.92	2,900.92	23.9167	21.66	628.35	
NWa3	2,902.58	2,902.58	2,902.58	57.0000	51.62	1498.39	
				110.42	100.00	2900.17	
						AVG GRADE OF LOWEST FACE WITH PLANTER	
NW ELEVATION (WITHOUT HEIGHT CONFORMING PLANTER)							
WALL SEGMENT	ELEVATION (1)	ELEVATION (2)	ELEVATION AVG.	SEGMENT LENGTH	SEGMENT %	WEIGHTED AVG	
NWB1	2,894.92	2,894.92	2,894.92	62.4167	56.53	1636.45	
NWB2	2,898.00	2,898.00	2,898.00	4.5000	4.08	118.11	
NWB3	2,900.00	2,900.00	2,900.00	22.1667	20.08	582.19	
NWB4	2,902.58	2,902.58	2,902.58	11.3333	19.32	560.80	
				100.00		2897.55	
						AVG GRADE OF LOWEST FACE WITHOUT PLANTER	
NE ELEVATION							
WALL SEGMENT	ELEVATION (1)	ELEVATION (2)	ELEVATION AVG.	SEGMENT LENGTH	SEGMENT %	WEIGHTED AVG	
NE1	2,906.25	2,906.25	2,906.25	58.1100	44.73%	1299.89	
NE2	2,906.25	2,894.92	2,900.59	9.0500	6.97%	202.05	
NE3	2,894.92	2,894.92	2,894.92	62.7600	48.31%	1398.44	
				129.92	100.00%	2900.38	
SE ELEVATION							
WALL SEGMENT	ELEVATION (1)	ELEVATION (2)	ELEVATION AVG.	SEGMENT LENGTH	SEGMENT %	WEIGHTED AVG	
SE1	2,906.25	2,906.25	2,906.25	53.9900	48.23%	1401.59	
SE2	2,906.25	2,894.92	2,900.59	13.5200	12.08%	350.30	
SE3	2,894.92	2,894.92	2,894.92	44.4400	39.70%	1145.18	
				111.95	100.00%	2901.07	
SW ELEVATION							
WALL SEGMENT	ELEVATION (1)	ELEVATION (2)	ELEVATION AVG.	SEGMENT LENGTH	SEGMENT %	WEIGHTED AVG	
SW1	2,902.58	2,906.35	2,904.47	25.9600	29.00	842.27	
SW2	2,906.35	2,906.32	2,906.34	39.9800	44.66	1257.98	
SW3	2,906.32	2,906.24	2,906.28	7.7600	8.67	251.93	
SW4	2,906.24	2,906.22	2,906.23	15.8200	17.67	513.59	
				89.52	100.00	2905.77	
<div> <div>AVERAGE GRADE (ALL FOUR SIDES):</div> <div>2901.85</div> </div> <div> <div>LOWEST AVERAGE GRADE (7):</div> <div>2900.17 (NORTHWEST)</div> </div>							



1
A3.02

NORTHEAST ELEVATION FACING GONDOLA EASEMENT

SCALE: 3/16" = 1'-0"

NO VARIANCE REQUESTED FOR THIS FACE

Seal

Project
Sky Residence
Kadenwood Lot 59
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Whistler, BC

Sheet Title
AVG GRADE
CHART &
NORTHEAST
ELEVATION

Project Number
18-20

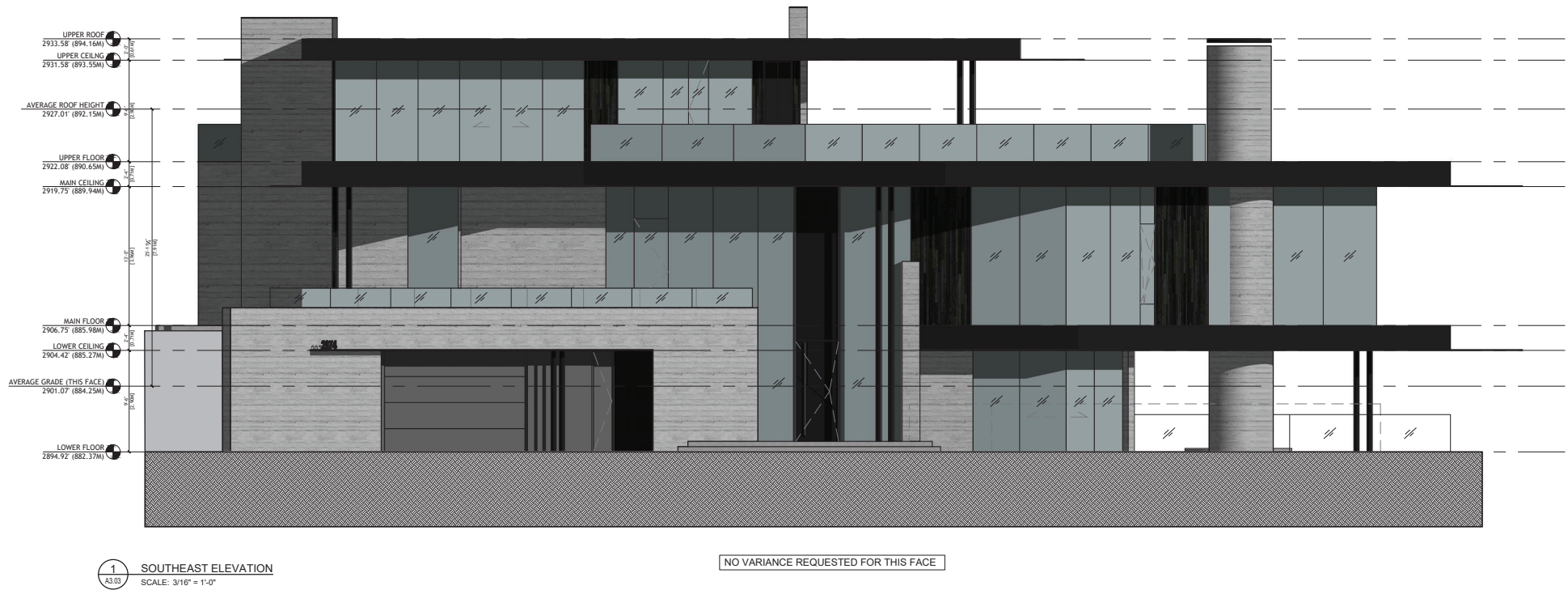
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3/16" = 1'-0"

Sheet Number
A3.02

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Project
Sky Residence
Kadenwood Lot 59
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Whistler, BC

Sheet Title
SOUTHEAST &
SOUTHWEST
ELEVATIONS

Project Number
18-20
Scale (Sheet Size Arch E1)
3/16\"/>

Revised for DVP - 10 MARCH 2021



EXISTING IMAGE FROM GOOGLE EARTH

1
A4.01
VIEW FROM HIGH POINT DR & TRAILS END LN
SCALE: N.T.S.

PLANTER IS UNSEEN FROM ROAD



EXISTING IMAGE FROM GOOGLE EARTH

2
A4.01
VIEW FROM TRAILS END LN ROUNDABOUT
SCALE: N.T.S.

PLANTER IS UNSEEN FROM ROAD



Development Variance Permit Proposal Rationale for 2974 High Point Drive

Openspace Architecture (OSA) has worked closely with the client to design a spectacular and unique home that conforms to the Municipal Bylaws and Covenant information as published. However, in order to conform to the allowable second floor height listed in the Zoning Bylaws, undesirable retaining walls are proposed to raise the average grade.

Openspace Architecture is asking for a variance to increase the allowable building height. This variance would not increase the actual elevation of the roofs, but would eliminate the need for significant additional retaining walls and grade build up.

Design Rationale

The design of the house has been strongly influenced by the site topography and form. There is a large level zone in the center of the site that sits flush with roadway access and is supported by existing rock stack retaining walls to the north. The southwest side of the site is wrapped by a rising roadway and elevated firetruck turnaround. OSA has nestled the house into the rising grades and oriented it towards the primary views.

The first storey of the home sits on the pre-existing level base of the site, minimizing the amount of excavation and creating level driveway access from the road. The second storey sits approximately flush with the fire truck turn around, and the Covenant Elevation of 886m (2906.8') as established by the Design Architect for Kadenwood.

The mass of the building has been reduced through the use of angles, cantilevers and grading so that the full building is not visible from any one angle. The garage and mechanical wing has been fully buried below grade, disappearing into the topography to help minimize the overall bulk of the home. Roof elevations and sizes have been developed to minimize the average roof height while maintaining the architectural expression of the home and providing ample protection from the weather.

In order to place the Main Floor of the home at the Covenant Elevation (pivotal to the design, as this elevation is approximately consistent with the existing fire truck turnaround/roadway), a stepped retaining wall/planter of 2.3m (7.67') height is deployed along the NW elevation. This allows

165 East 1st Street, North Vancouver, BC, V7L 1B2 T: 604-684-7722 Fax 7726 www.openspacearchitecture.com Don B. Gurney MAIBC, MRAC, Principal

conformance with the maximum permitted building height (8.2m, as per the Zoning Bylaw 303, Zone RTA-11). However, this retaining wall/planter adds bulk to the home and is visually unappealing. It unnecessarily adds additional concrete to the project, cannot be seen from the public roadway, and does not benefit the neighborhood, the environment, or the project.

We propose the following in our Variance Application:

Building Height: Increase from 8.18m (26.84') to 8.98m (29.46'), an increase of 0.8m (2.62').

We would like to avoid additional retaining walls and grade build-up when it does not serve any practical or visual purpose. We propose to build the home as indicated, but without the additional retaining wall/plante; Doing so means the calculated height of the building (calculated using lowest average grade as per RMOW guidelines) increases; however, the true roof elevations and massing of the building do not change. Note: a smaller retaining wall is proposed to maintain Basement Area Exemption conformance (see enclosed drawings).

Please review the supplied house plans and 3D images as well as the calculations for both average grade and building height. We feel this request will not have a negative impact on the adjacent properties, and we strongly believe that the RMOW should approve the variance and help reduce the amount of retaining walls in Kadenwood.

Existing Site Retaining Wall

Additionally, we are requesting that the existing rock stack retaining wall that was built (in error) into the gondola easement by a previous owner/developer (LVP 1042 from 2012) be allowed to remain as built. We believe the negative disturbance to the site (destroying approximately 10 years of plant life and ecological growth and requiring tremendous amounts of earth moving) far outweighs the benefit of removing this low rock stack feature from the easement. The rock stack is no where near the proposed gondola path and has no negative impact on the future gondola construction. We understand the gondola pylons will be placed some distance away from the retaining wall if/when the gondola is built and that in doing so a great deal of site and ecological disturbance can be avoided.

Sincerely,


Don Gurney MAIBC, MRAC,
Principal

OPENSOURCE ARCHITECTURE 165 East 1st Street, North Vancouver, BC, V7L 1B2 T: 604-684-7722 Fax 7726 www.openspacearchitecture.com

3
A4.01
DESIGN RATIONALE LETTER
SCALE: N.T.S.

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Project
Sky Residence
Kadenwood Lot 59
2974 High Point Drive
Whistler, BC

Sheet Title
PHOTOSHOP
VIEWS & DESIGN
RATIONALE

Project Number
18-20
Scale (Sheet Size Arch E1)
N.T.S.
Sheet Number
A4.01

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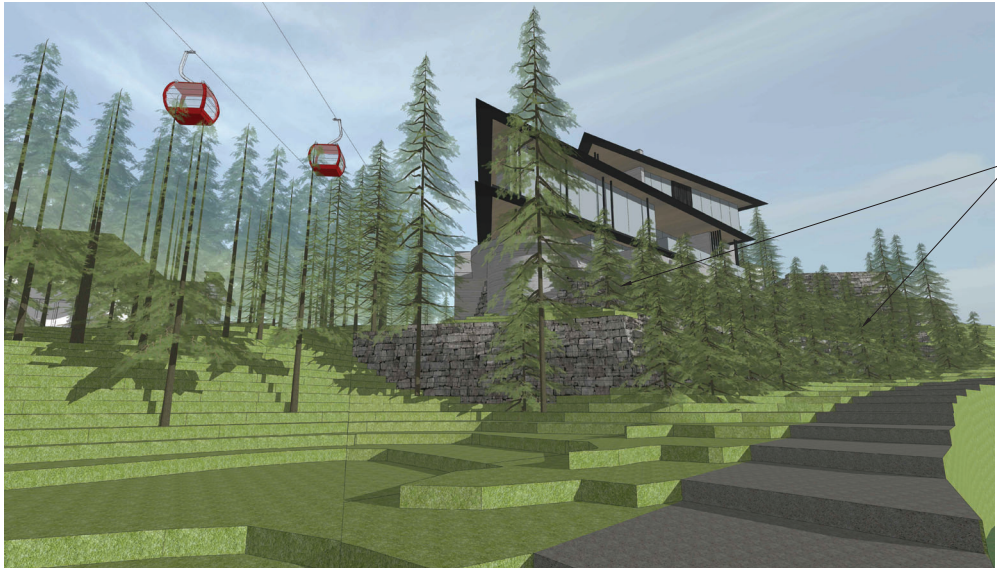
PLANTER (TO CONFORM TO HEIGHT REGULATIONS)

1 BIRD'S-EYE VIEW (WITH PLANTER)
SCALE: N.T.S.



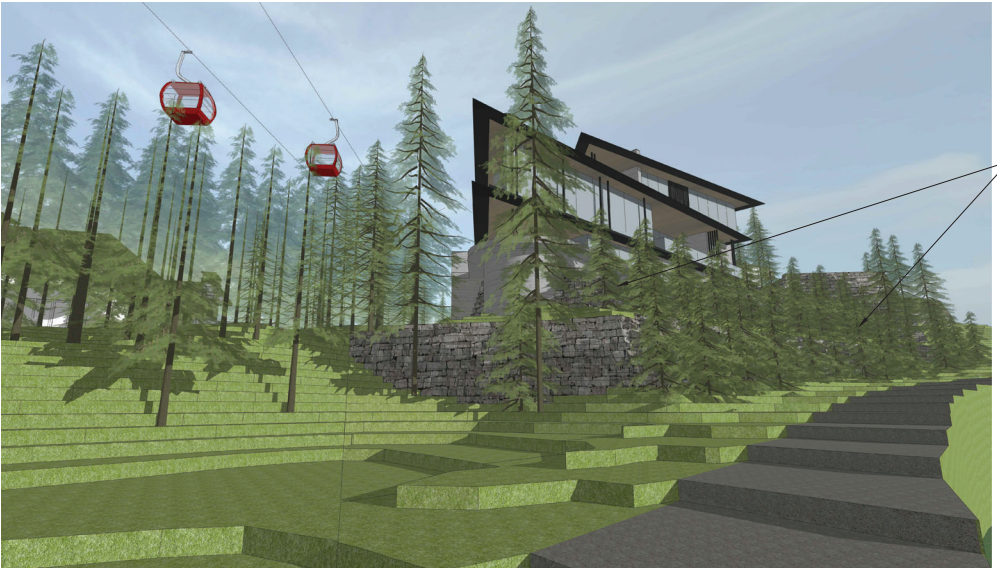
PLANTER (TO CONFORM TO HEIGHT REGULATIONS) REMOVED; RETAINING WALL (TO CONFORM TO BASEMENT AREA EXEMPTION REGULATIONS) PROPOSED INSTEAD

2 BIRD'S-EYE VIEW (WITHOUT PLANTER)
SCALE: N.T.S.



NEW AND EXISTING TREES TO BUFFER VIEW

3 VIEW FROM HIGH POINT DR & TRAILS END LN (WITH PLANTER)
SCALE: N.T.S.



NEW AND EXISTING TREES TO BUFFER VIEW

4 VIEW FROM HIGH POINT DR & TRAILS END LN (WITHOUT PLANTER)
SCALE: N.T.S.



NEW AND EXISTING TREES TO BUFFER VIEW

5 VIEW FROM TRAILS END LN ROUNDABOUT (WITH PLANTER)
SCALE: N.T.S.



NEW AND EXISTING TREES TO BUFFER VIEW

6 VIEW FROM TRAILS END LN ROUNDABOUT (WITHOUT PLANTER)
SCALE: N.T.S.

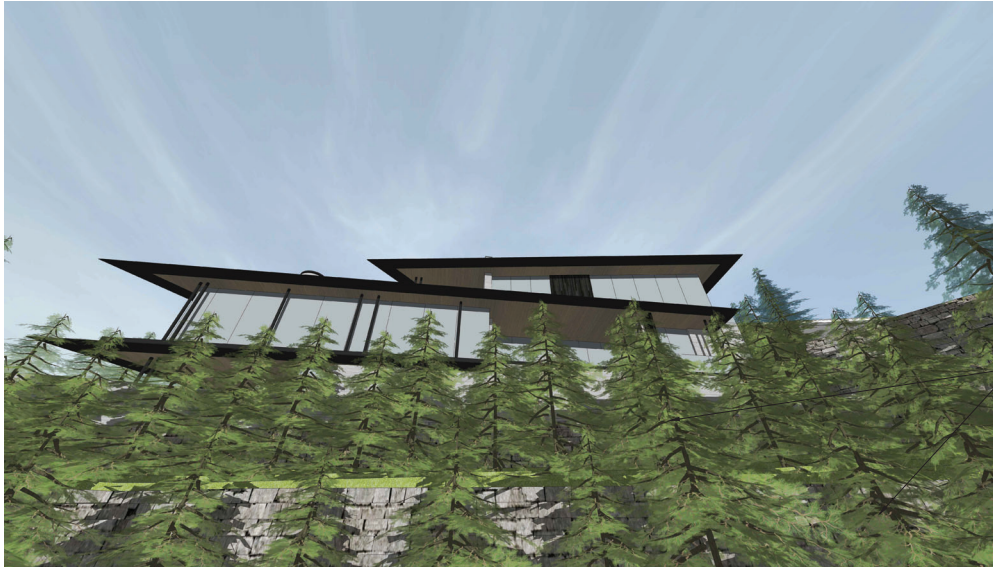
Seal

Project
Sky Residence
Kadenwood Lot 59
2974 High Point Drive
Whistler, BC

Sheet Title
3D PERSPECTIVES

Project Number
18-20
Scale (Sheet Size Arch E1)
N.T.S.
Sheet Number
A4.02

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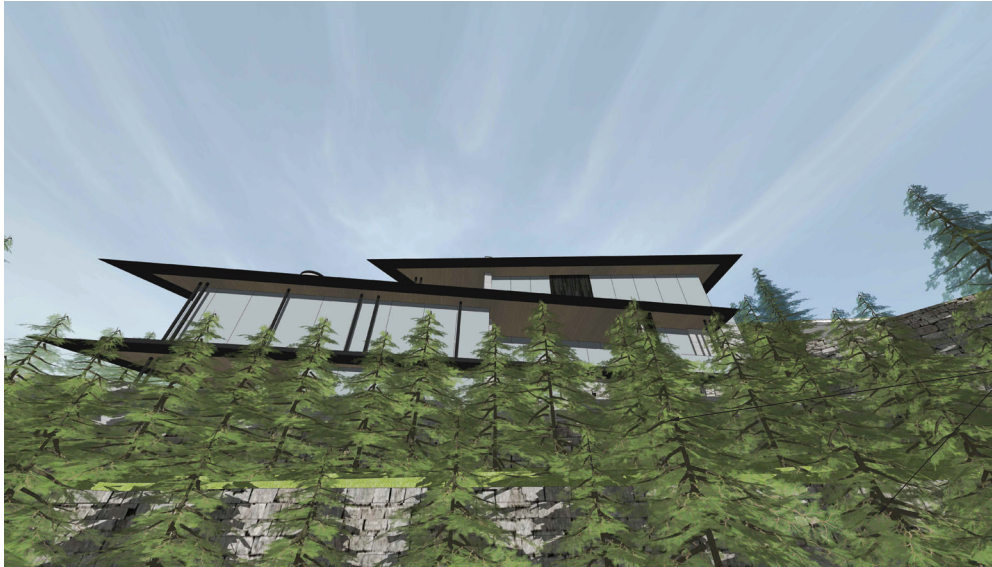
NEW AND EXISTING TREES TO
BUFFER VIEW

1 VIEW FROM TRAILS END LN (WITH PLANTER)
SCALE: N.T.S.



PLANTER (TO CONFORM TO
HEIGHT REGULATIONS)

3 NW ELEVATION (WITH PLANTER)
SCALE: N.T.S.



NEW AND EXISTING TREES TO
BUFFER VIEW

2 VIEW FROM TRAILS END LN (WITHOUT PLANTER)
SCALE: N.T.S.



PLANTER (TO CONFORM TO
HEIGHT REGULATIONS) REMOVED;
RETAINING WALL (TO CONFORM
TO BASEMENT AREA EXEMPTION
REGULATIONS) PROPOSED
INSTEAD

4 NW ELEVATION (WITHOUT PLANTER)
SCALE: N.T.S.

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Seal

Project
Sky Residence
Kadenwood Lot 59
2974 High Point Drive
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Sheet Title
3D PERSPECTIVES

Project Number
18-20
Scale (Sheet Size Arch E1)
N.T.S.
Sheet Number
A4.03

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