

Development Stats - PRELIMINARY

SEPTEMBER 2020

Civic Address:

1315 CLOUDBURST DRIVE, WHISTLER, BC

Legal:

PLAN EPP1290, LOT C, D.L. 8073, N.W.D., GROUP 1.

P.I.D.:

027-791-076

ZONING

AC-3

SITE AREA:

6590 m2 (70,934 s.f.)

TOTAL GROSS FLOOR AREA

PERMITTED

3900 m2 (41,979.25 sf)

PROPOSED

3762.4 m2

40497.7 sf

FLOOR SPACE RATIO

0.592

0.571

HEIGHT (permitted)

18.0 m (59.0 ft.)

13.13m

SETBACKS:

Legacy Way (as per AC3 Zoning)

9.5m (31.17 ft.)

9.5m (31.17 ft.)

Cloudburst Drive

6.0 m (19'10" ft)

6.0 m (19'10" ft)

Rear

6.0 m (19'10" ft)

6.0 m (19'10" ft)

East Side

6.0 m (19'10" ft)

6.0 m (19'10" ft)

GROSS FLOOR AREA:

UNIT COUNT

UNIT A (Studio)

22 UNITS @ 40.57 m2 (437.0 sf)

UNIT B (2 BR)

30 UNITS @ 60.8 m2 (654.0 sf)

UNIT C (2 BR-accessible)

6 UNITS @ 60.8 m2 (654.0 sf)

58 UNITS

Floor Plans - Building A

Underground Parking

Garbage / Recycling

33.0 m2

355,532 sf Excluded from GFA

Storage

71.2 m2

766,067 sf Excluded from GFA

Electrical / Mechanical

69.9 m2

752.72 sf Excluded from GFA

Garage

2042.1 m2

21981,411 sf Excluded from GFA

Void

2.0 m2

21,528 sf Excluded from GFA

Floor Area

22.9 m2

245,955 sf

Ground Floor

Floor Area

1047.3 m2

11273,043 sf

Electrical / Mechanical

13.3 m2

143,591 sf Excluded from GFA

Second Floor

Floor Area

1018.4 m2

10962,289 sf

Electrical / Mechanical

13.7 m2

147,25 sf Excluded from GFA

Third Floor

Floor Area

1018.4 m2

10962,289 sf

Electrical / Mechanical

13.7 m2

147,25 sf Excluded from GFA

Fourth Floor

Floor Area

655.4 m2

7054,128 sf

Electrical / Mechanical

13.9 m2

149,511 sf Excluded from GFA

3762.4 m2

40497.7 sf

TOTAL FLOOR AREAS - ALL FLOORS

Floor Area

3762.4 m2

40497,704 sf

Excluded Area

2272.9 m2

24464,86 sf Excluded from GFA

TOTAL AREA

8308.1 m2

89427.4 sf

PARKING CALCULATION:

Required:

1 space per unit 55m2 GFA or less

21 units x 1

21 cars

0.5 space per additional 40m2, max. 2 per unit

36 units x 1.5

54 cars

0 units x 2

0 cars

Total parking required =

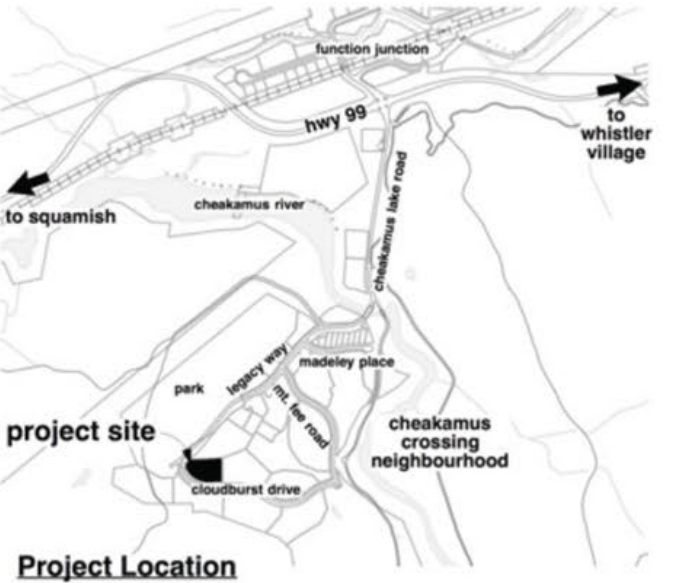
75 cars

TOTAL PARKING PROVIDED:

68 cars (63 u/g + 5 surface) 90% of bylaw standard

Design Under Part 3 2012 BC Building Code

Project Directory	
Rep / Client:	
Client Rep: LAUBENFELS	
Contact: Norman Laube	
(T) 1-778-953-1653	
(e) norman@laubenfels.com	
Whistler Sport Legacies	
1080 Legacy Way	
Whistler, BC	
Architect & Landscape Architect	
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Surveyor:	
Doug Bush	
18-1370 Alpha Lake Road	
Whistler, BC V0N 1B1	
Geotechnical Engineer:	
Kontur Geotechnical Consultants	
Unit 65, 1833 Coast Meridian Road	
Port Coquitlam, BC V3C 6G5	



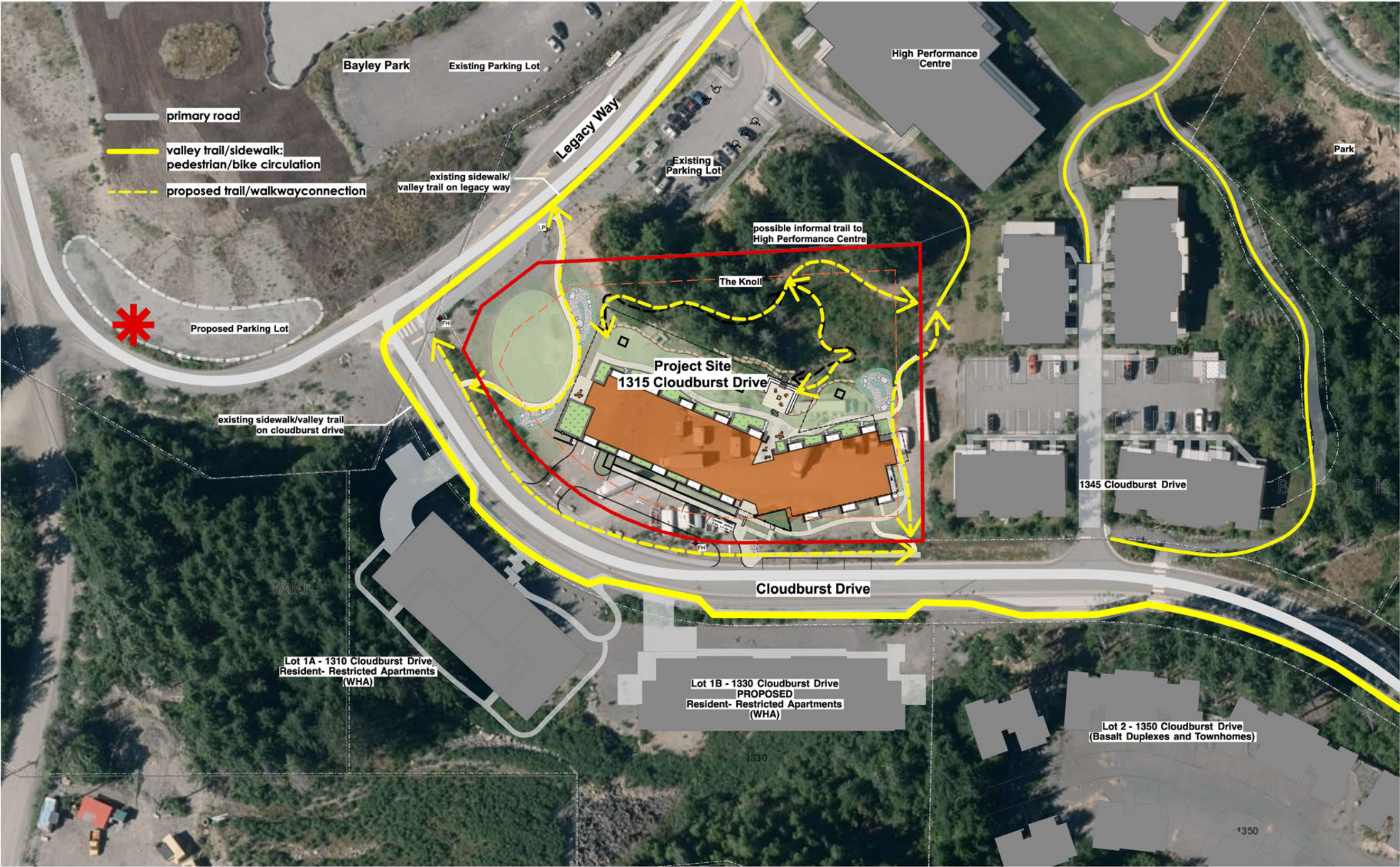
Cheakamus Crossing - Existing Neighbourhood

Whistler Sport Legacies

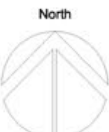
1315 Cloudburst Drive, Cheakamus Crossing, Whistler BC

ISSUED FOR COORDINATION - Aug 18th, 2020

Issued For:	Date:	Issued For:	Date:
REZONING	MARCH 6th, 2018	COORDINATION	JUNE 25, 2020
ADP SUBMISSION	DEC. 21th, 2018	COORDINATION	AUG 18, 2020
REVISED-SETBACKS	FEB 12, 2019	ISSUED FOR DP	AUG 18, 2020
REVISED: RMOW COMMENTS	APR. 30, 2019		
REVISED: RMOW comments/ADP	JULY 15, 2019		



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RZAPPLICATION	MAR 06, 2018	ISSUED FOR RFP	APRIL 14/20
ADP SUBMISSION	Dec. 21, 2018	ISSUED FOR COORDINATION	JUNE 04/20
REVISED: DROP OFF/LOADING	JAN 08, 2019	ISSUED FOR COORDINATION	AUG. 19/20
REVISED: SETBACKS	FEB. 12, 2019	ISSUED FOR DP	AUG. 27/20
REVISED: RMOW comments/ADP	MAY 02, 2019		
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Sheet Title:
NEIGHBOURHOOD CONTEXT
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

Sealed By:

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A-0.1

NEIGHBOURHOOD CONTEXT

D.L. 8065

LOT A

LEGACY WAY

CLOUDBURST DRIVE

LOT B

- VARIANCE REQUEST:**
- REDUCE REAR YARD SETBACK (EAST) FROM 6.0m TO 3.0m FOR UNDERGROUND GARAGE
 - REDUCE SIDE YARD SETBACK (SOUTH) FOR POST AND SUPPORT FROM 6.0m TO 5.3m
 - REDUCE SIDE YARD SETBACK (SOUTH) FOR FINWALL AND SUPPORT FROM 6.0m TO 4.4m
 - REDUCE SIDE YARD SETBACK (SOUTH) FOR ROOF RAKEWALL AND SUPPORT FROM 6.0m TO 4.3m
 - REDUCE SIDE YARD SETBACK (SOUTH) FROM 6.0m TO 4.75m FOR UNDERGROUND GARAGE
 - INCREASE ALLOWABLE SIDE YARD ROOF OVERHANG PROJECTIONS FROM 1.0m TO 1.6m AT DECK FINWALL, EAVE RAKEWALL, AND POST LOCATIONS AS INDICATED

UNDERGROUND PARKADE ENCROACHMENT IN REAR YARD SETBACK

POST AND SUPPORT ENCROACHMENT IN SIDE YARD SETBACK

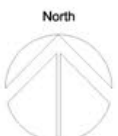
DECK FINWALL AND SUPPORT ENCROACHMENT IN SIDE YARD SETBACK

EAVE RAKEWALL AND SUPPORT ENCROACHMENT IN SIDE YARD SETBACK

UNDERGROUND PARKADE ENCROACHMENT IN SIDE YARD SETBACK

1 VARIANCE REQUEST PLAN
1/16" = 1'-0"

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DP SUPPORTED VARIANCE REQUESTS
Project
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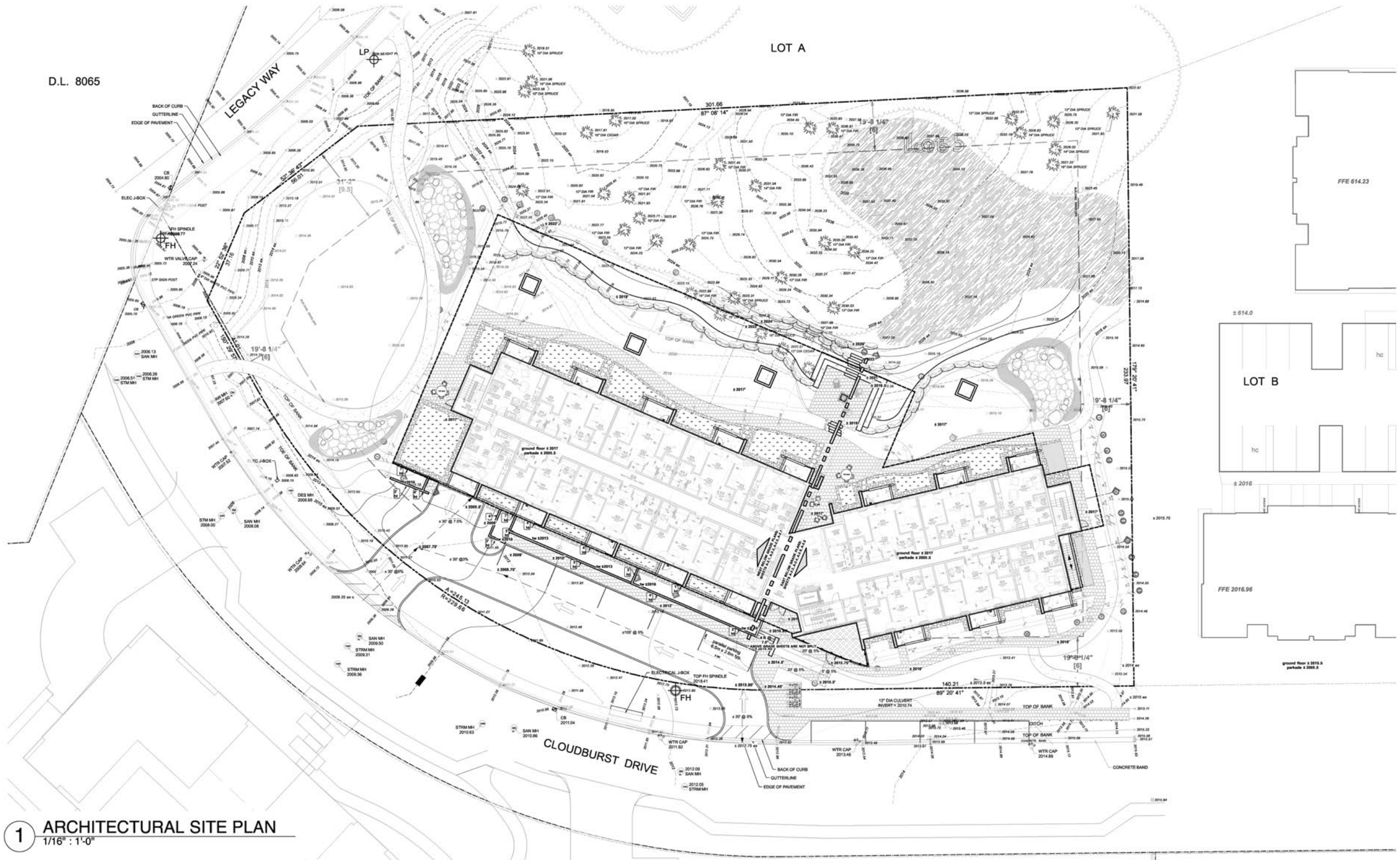
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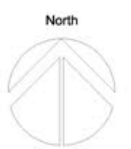
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1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

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Sheet Title:
ARCHITECTURAL SITE PLAN
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WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

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ARCHITECTURAL SITE PLAN

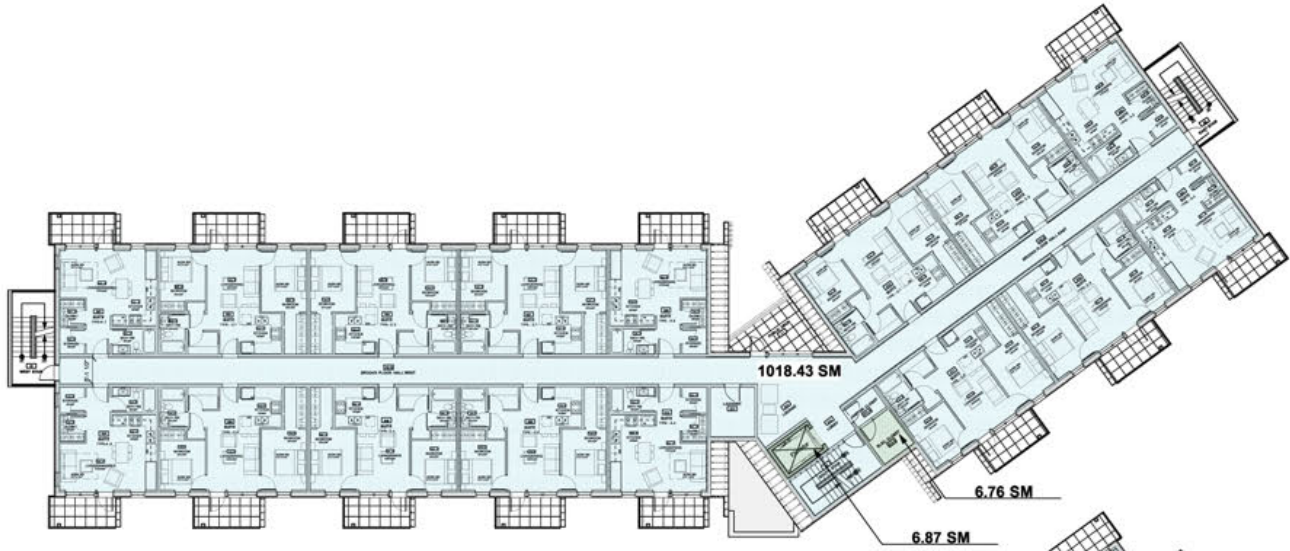


1 PARKADE AREA
1/16" : 1'-0"

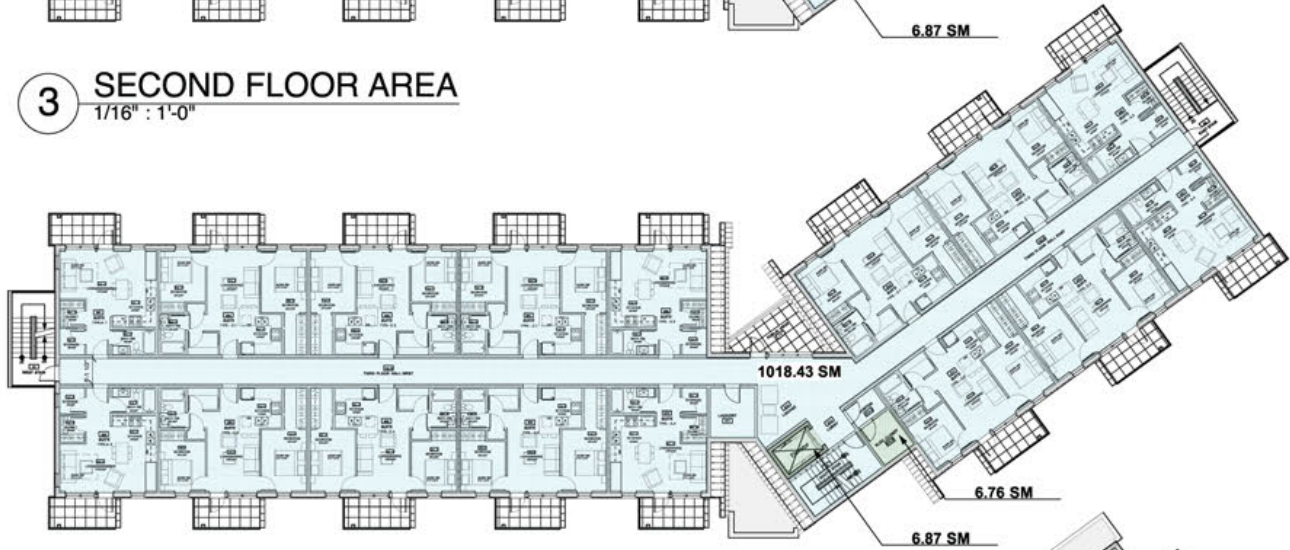


2 GROUND FLOOR AREA
1/16" : 1'-0"

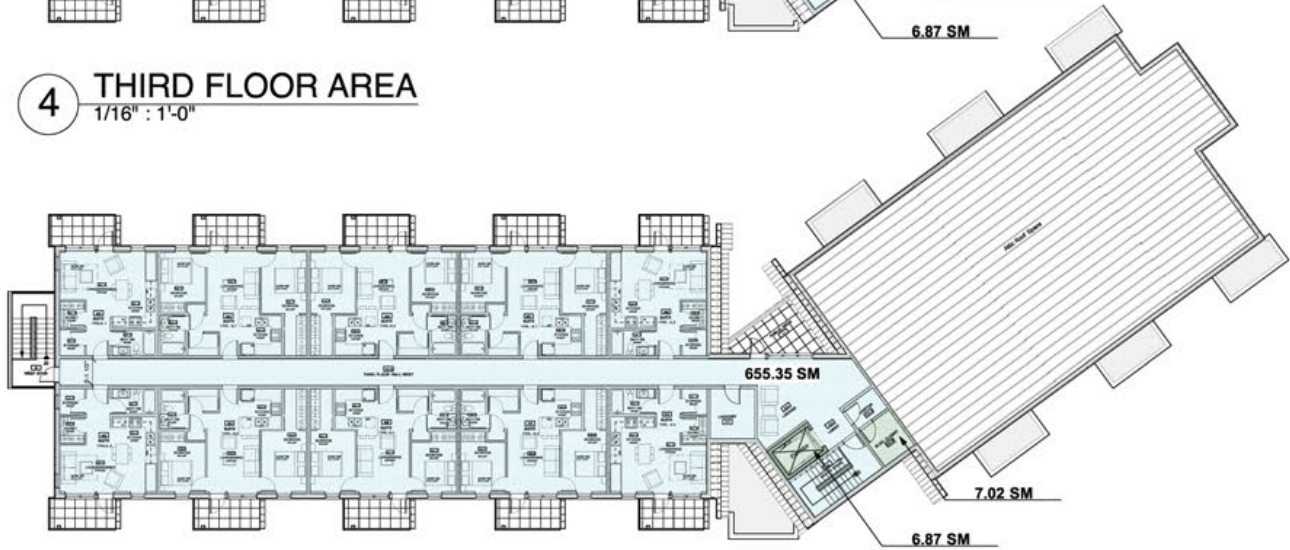
MUNICIPAL GROSS FLOOR AREA						
	GROSS FLOOR AREA (SM)	GARAGE AREA (SM)	WASTE AREA (SM)	MECH/ELEC/ELEV AREA (SM)	VOID AREA (SM)	BICYCLE STORAGE (SM)
PARKADE LEVEL:	22.85 SM	2042.14 SM	33.03 SM	69.93 SM	2.00 SM	71.17 SM
GROUND FLOOR LEVEL:	1047.30 SM	0.00 SM	0.00 SM	13.34 SM	0.00 SM	0.00 SM
SECOND FLOOR LEVEL:	1018.43 SM	0.00 SM	0.00 SM	13.68 SM	0.00 SM	0.00 SM
THIRD FLOOR LEVEL:	1018.43 SM	0.00 SM	0.00 SM	13.68 SM	0.00 SM	0.00 SM
FOURTH FLOOR LEVEL:	655.35 SM	0.00 SM	0.00 SM	13.89 SM	0.00 SM	0.00 SM
SUB-TOTAL:	3762.36 SM	2042.14 SM	33.03 SM	124.52 SM	2.00 SM	71.17 SM
TOTAL MUNICIPAL GFA:	3762.36 SM					
TOTAL AREA EXCLUDED:	2272.86 SM					
TOTAL BUILT AREA AT GROUND LEVEL:	1060.64 SM					
TOTAL AREA BUILT:	6035.22 SM					



3 SECOND FLOOR AREA
1/16" : 1'-0"



4 THIRD FLOOR AREA
1/16" : 1'-0"



5 FOURTH FLOOR AREA
1/16" : 1'-0"

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MUNICIPAL GFA
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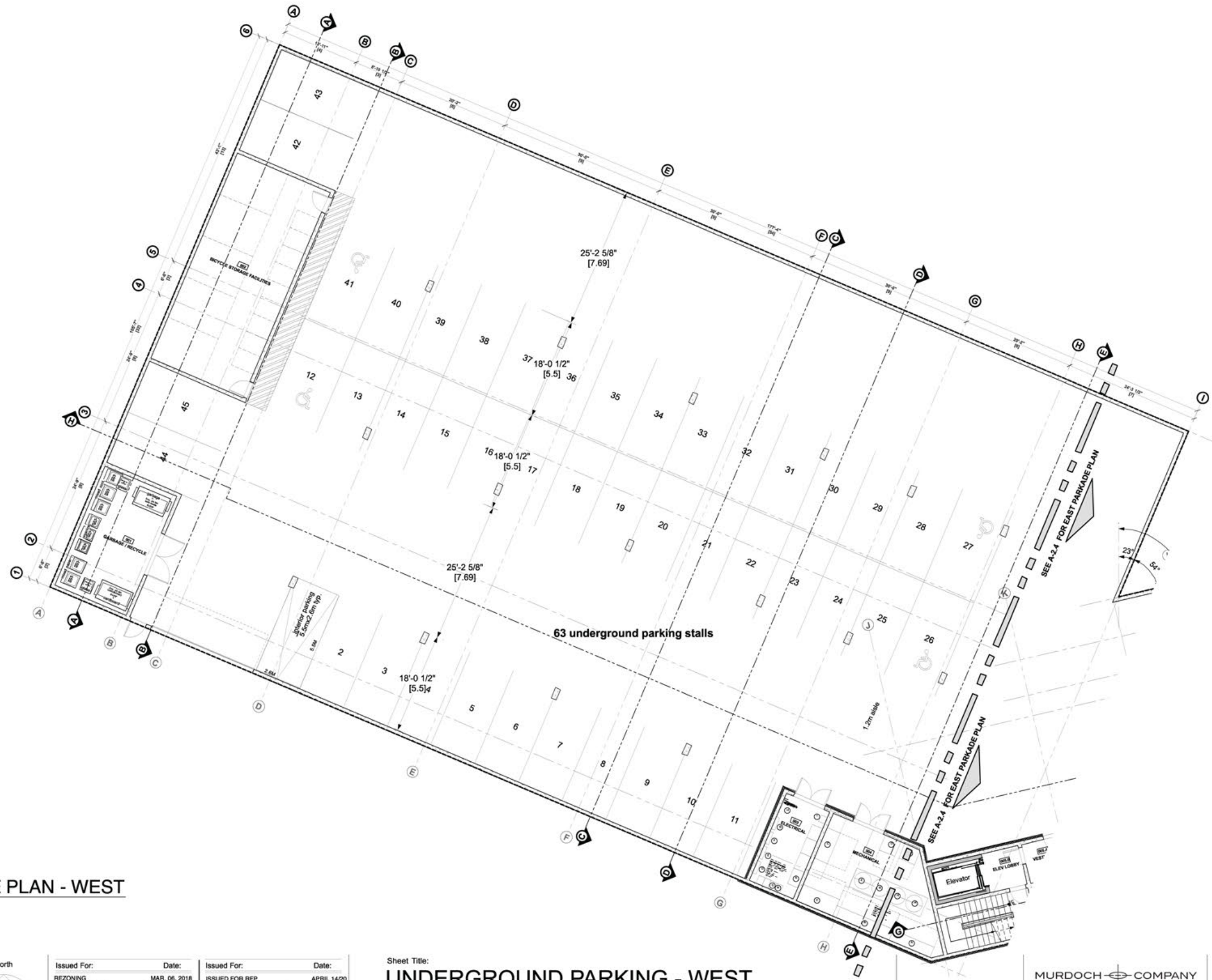
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MUNICIPAL GFA



1 PARKADE PLAN - WEST
1/8" = 1'-0"

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Sheet Title:
UNDERGROUND PARKING - WEST
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

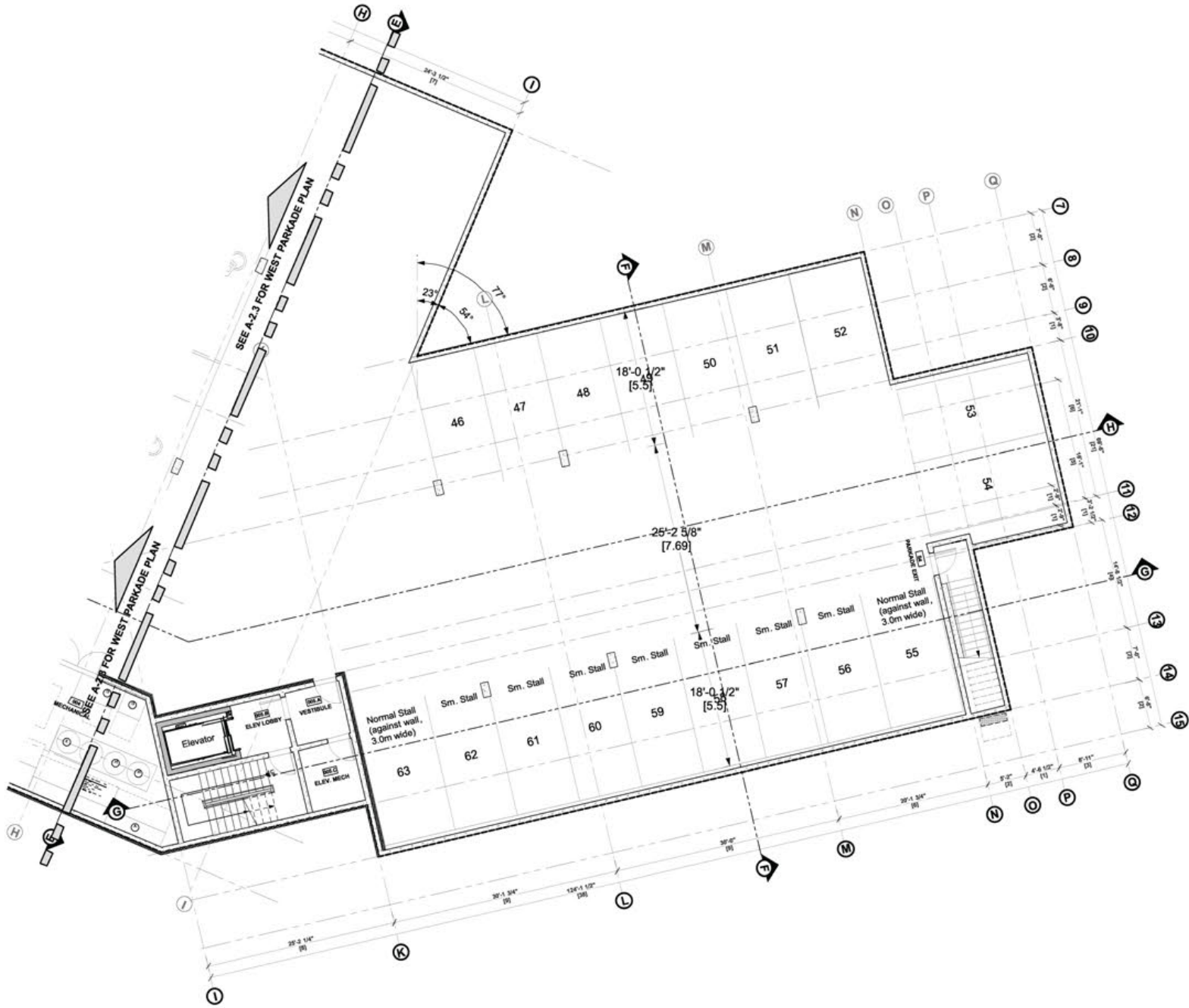
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UNDERGROUND PARKING - WEST



1 PARKADE PLAN - EAST
1/8" = 1'-0"

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Sheet Title:
UNDERGROUND PARKING - EAST
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

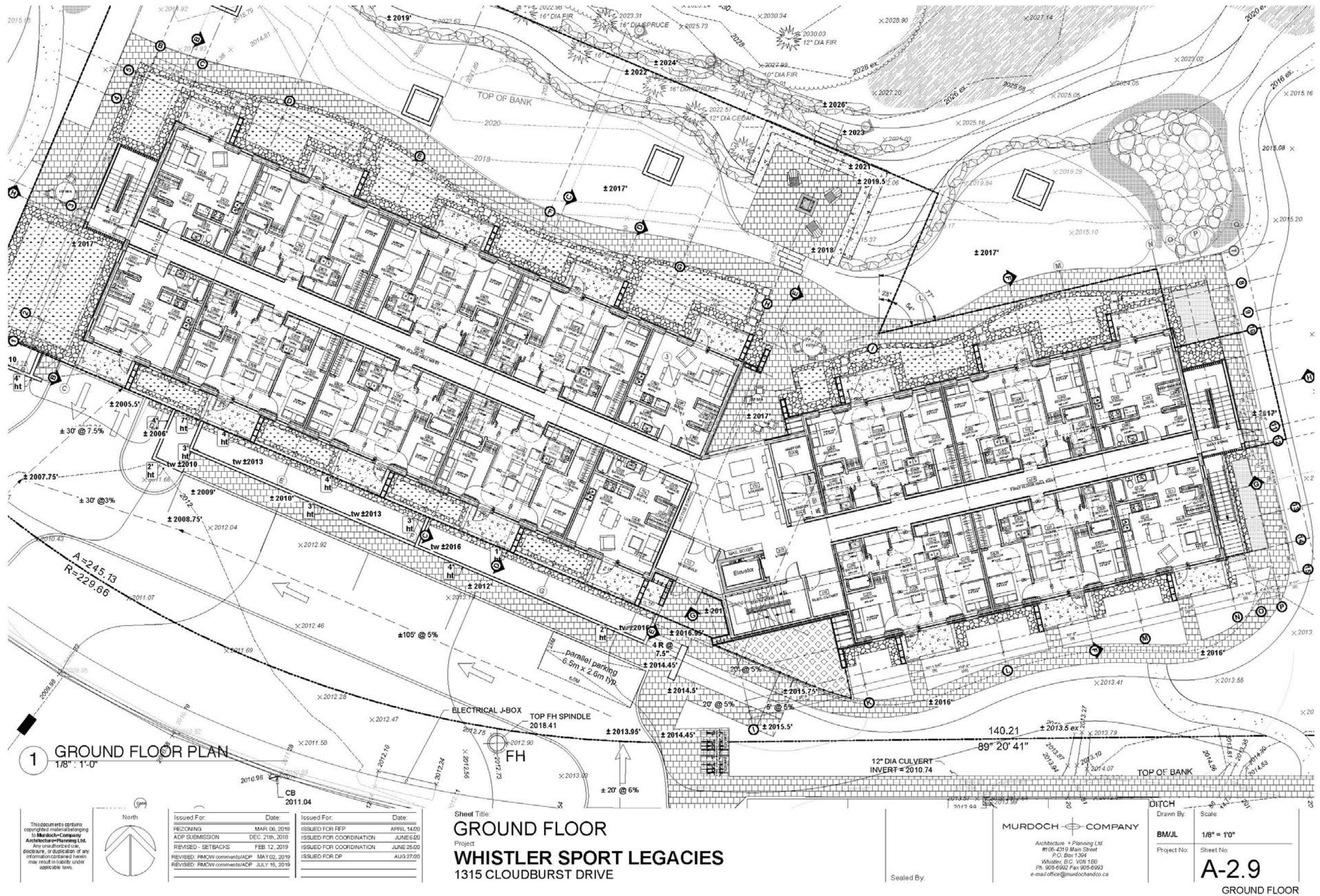
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UNDERGROUND PARKING - EAST





1 SECOND FLOOR PLAN
1/8" = 1'-0"

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North

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Sheet Title:
SECOND FLOOR PLAN
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WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

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	SECOND FLOOR PLAN



1 THIRD FLOOR PLAN
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THIRD FLOOR PLAN
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WHISTLER SPORT LEGACIES
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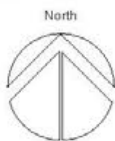
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	THIRD FLOOR PLAN



1 FOURTH FLOOR PLAN
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Sheet Title:
FOURTH FLOOR PLAN
Project:
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1315 CLOUDBURST DRIVE

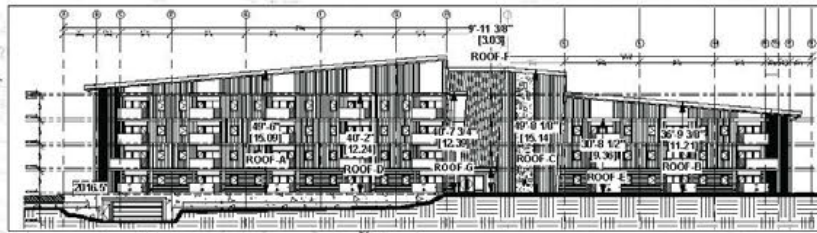
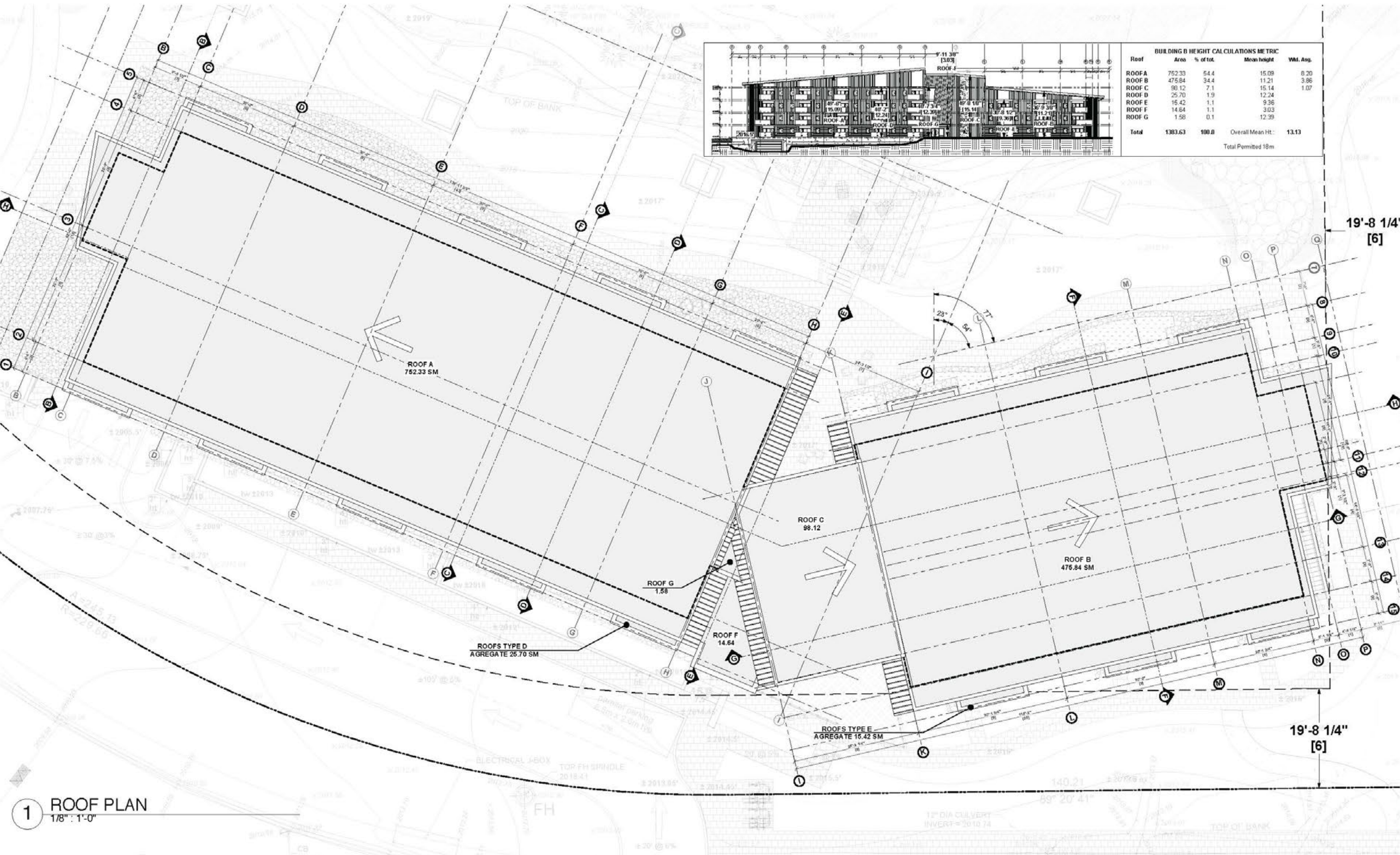
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FOURTH FLOOR PLAN



BUILDING HEIGHT CALCULATIONS METRIC				
Roof	Area	% of tot.	Mean height	Wtd. Avg.
ROOF A	752.33	54.4	15.09	8.20
ROOF B	475.84	34.4	11.21	3.86
ROOF C	98.12	7.1	15.14	1.07
ROOF D	25.70	1.9	12.24	
ROOF E	15.42	1.1	9.36	
ROOF F	14.64	1.1	3.03	
ROOF G	1.58	0.1	12.39	
Total	1383.63	100.0	Overall Mean Ht:	13.13
Total Permitted 18m				

1 ROOF PLAN
1/8" = 1'-0"

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ROOF PLAN
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ROOF PLAN

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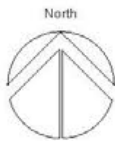


1 South Elevation
3/32" = 1'-0"



2 North Elevation
3/32" = 1'-0"

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ISSUED FOR RFP	APRIL 14, 2019
ISSUED FOR COORDINATION	JUNE 6, 2019
ISSUED FOR COORDINATION	JUNE 25, 2019
ISSUED FOR DP	AUG 27, 2019

Sheet Title:
ELEVATIONS
Project:
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

Sealed By:

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Drawn By: **BM/JL** Scale: **1/8" = 1'-0"**
Project No: Sheet No:
A-3.1
ELEVATIONS



1 EAST ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"

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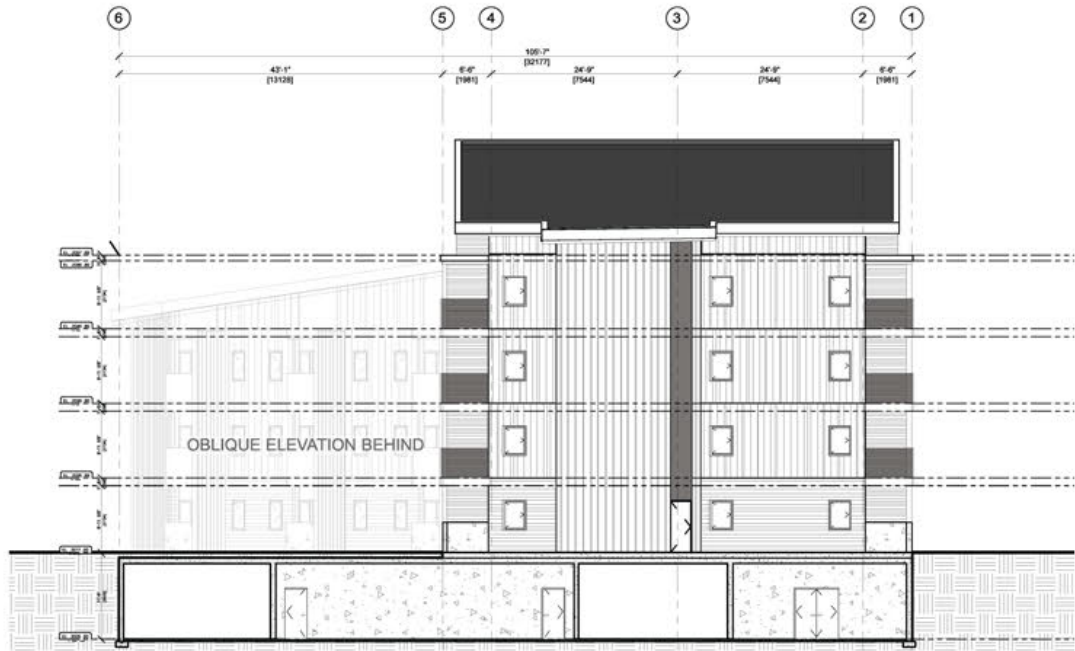
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ELEVATIONS
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

Sealed By:

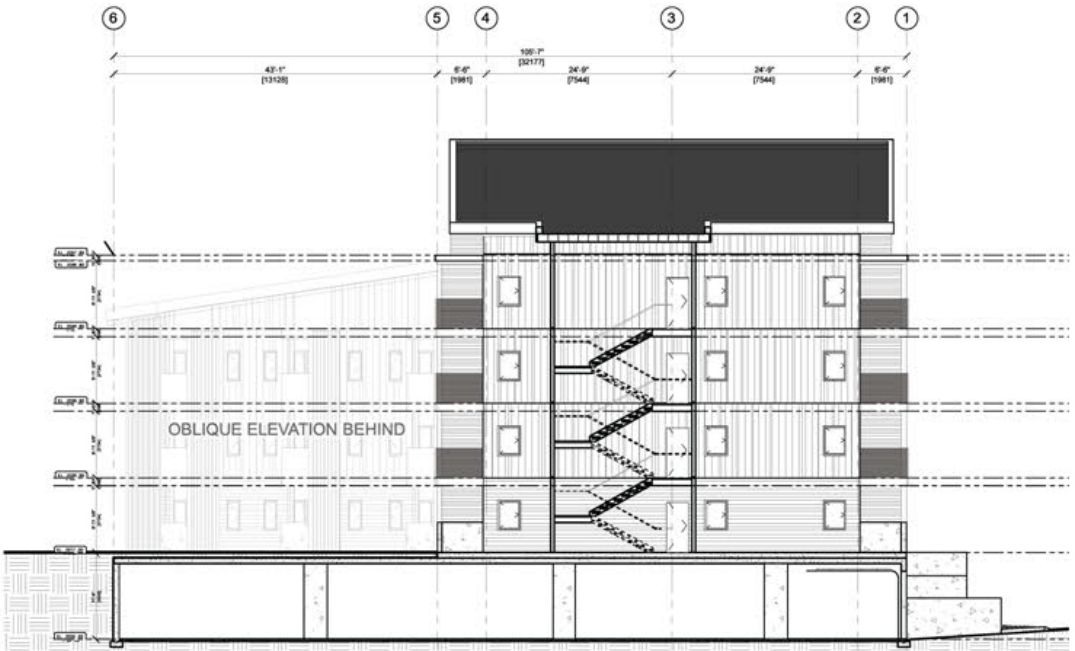
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Project No: Sheet No:
A-3.2

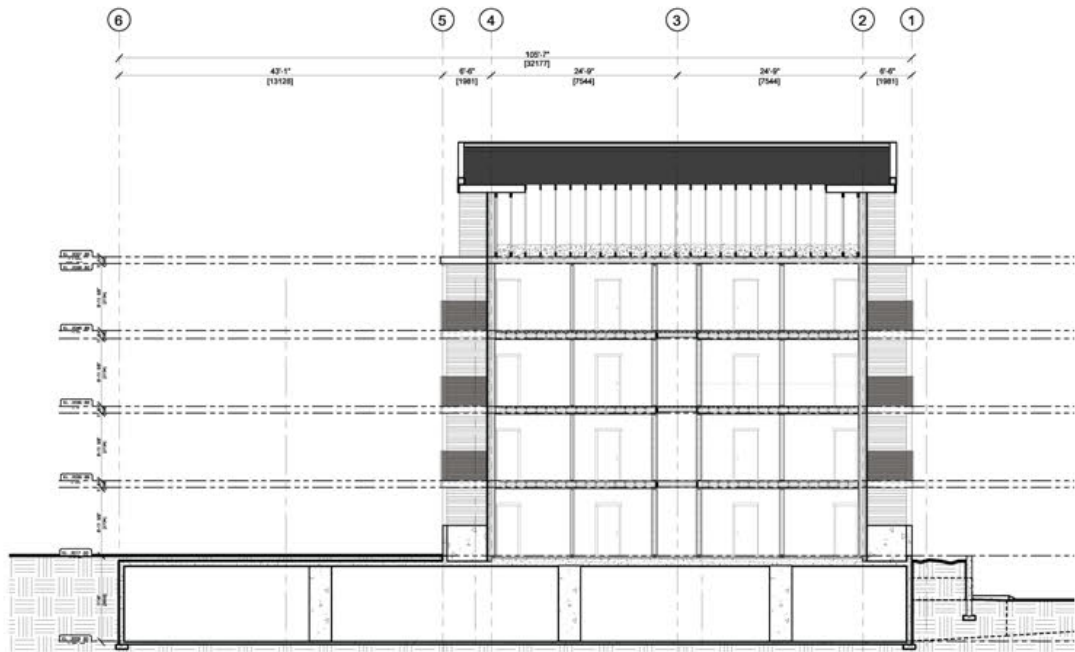
ELEVATIONS



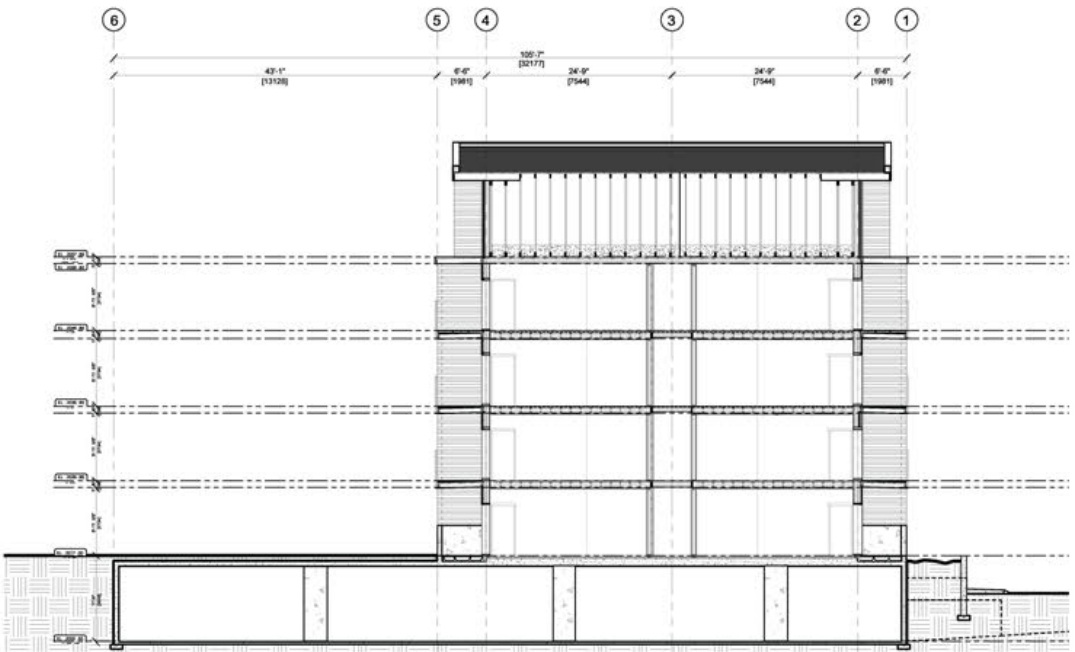
1 Section AA
3/32" : 1'-0" Imperial



3 Section CC
3/32" : 1'-0" Imperial



2 Section BB
3/32" : 1'-0" Imperial



4 Section DD
3/32" : 1'-0" Imperial

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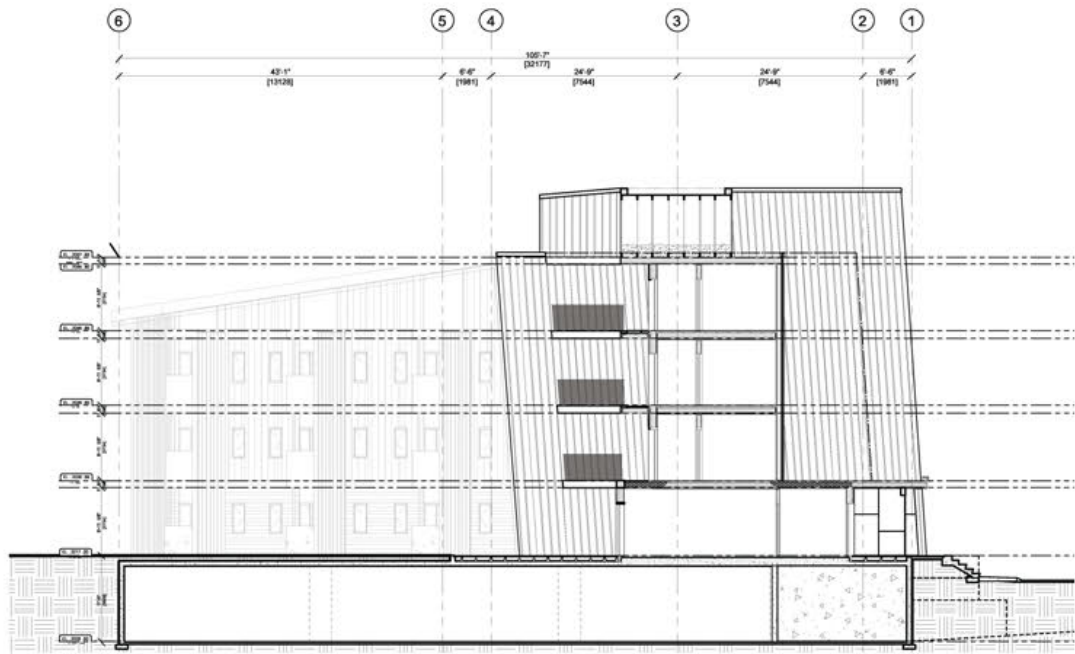
Sheet Title:
sections
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

Sealed By:

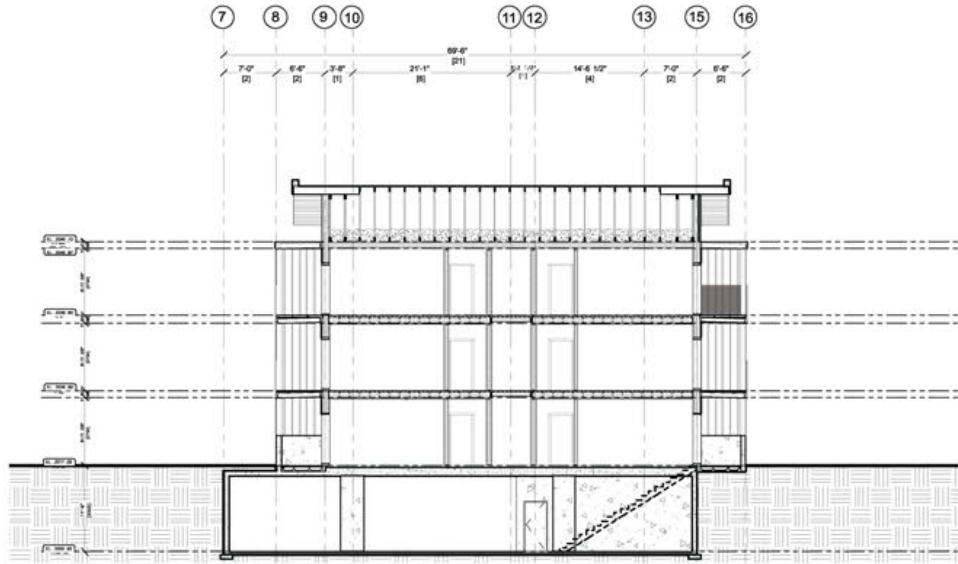
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Project No: Sheet No:
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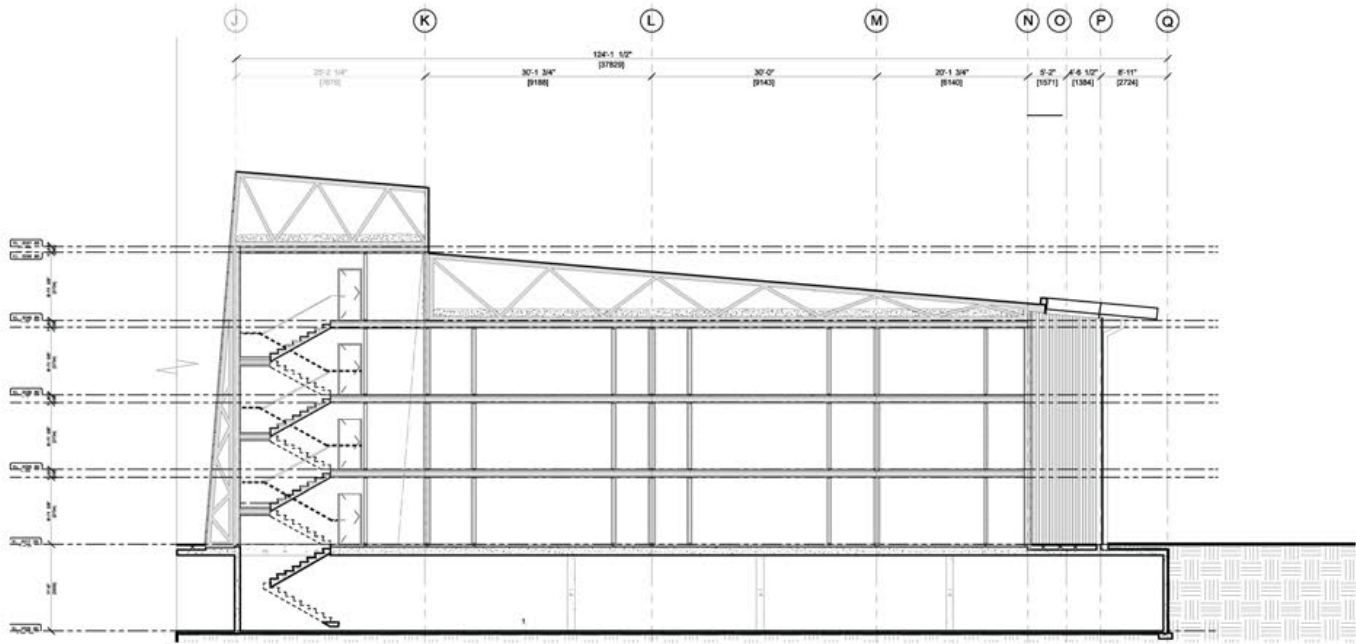
sections



1 Section EE
3/32" : 1'-0" imperial



2 Section FF
3/32" : 1'-0" imperial



3 Section GG
3/32" : 1'-0" imperial

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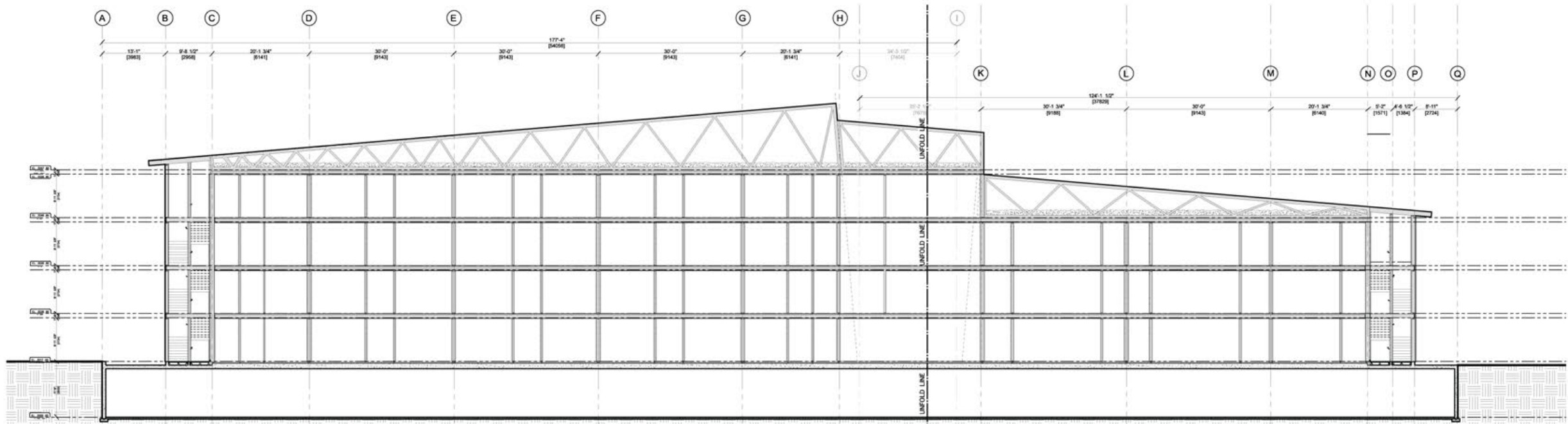
Sheet Title:
SECTIONS
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

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Project No: Sheet No:
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SECTIONS



1 Section HH
3/32" : 1'-0" Imperial

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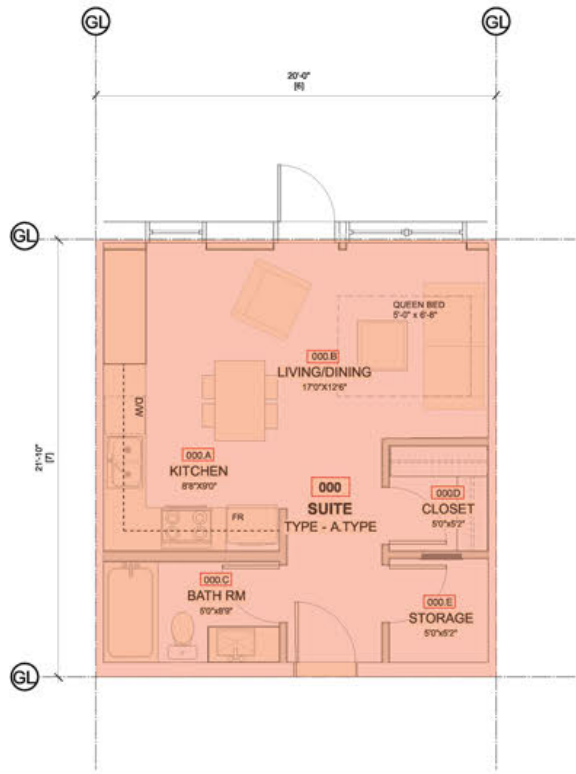
Sheet Title:
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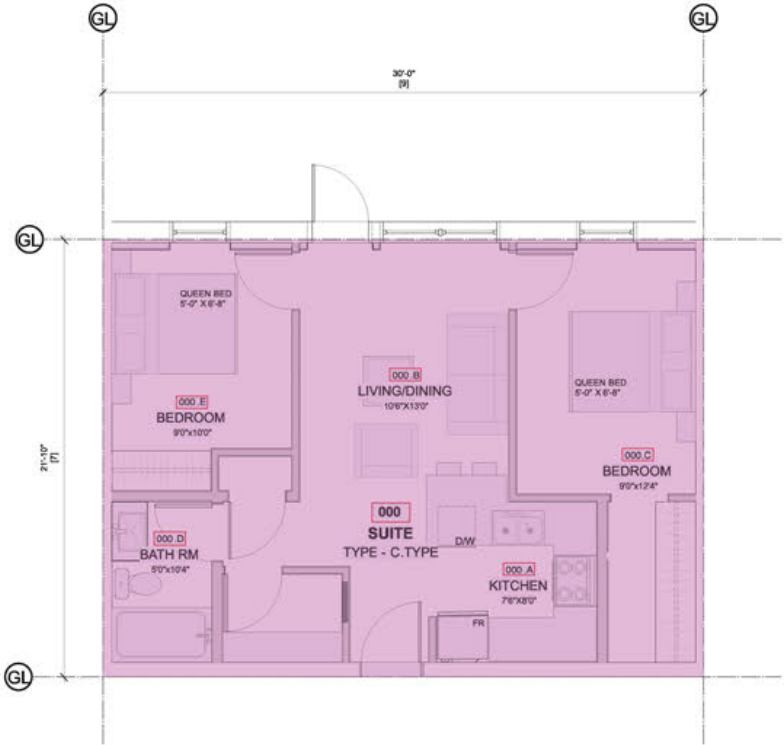
Drawn By: Scale:
BM/JL 1/8" = 1'0"
Project No: Sheet No:
A-4.3

SECTIONS



UNIT A - Studio Unit
40.57 m2 (437sf)

1 Unit A
1/4" : 1'-0"



UNIT B - 2 bedroom unit
60.8 m2 (654 sf)

2 Unit B
1/4" : 1'-0"



UNIT B - Accessible - 2 bedroom unit
60.8 m2 (654 sf)

3 Unit B - Accessible
1/4" : 1'-0"

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Sheet Title:
UNIT PLANS
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

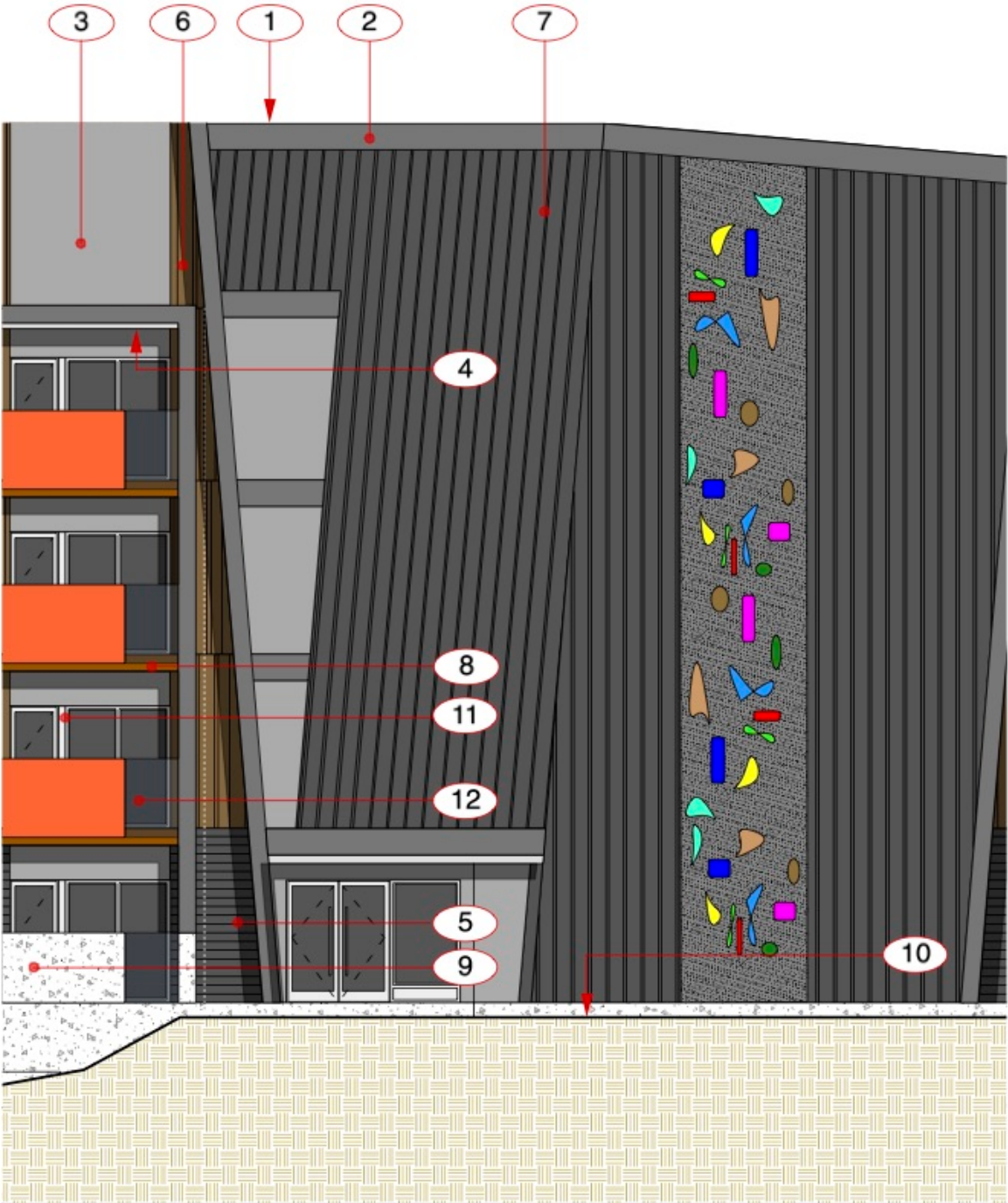
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Drawn By: BM/JL
Project No:
Scale: 1/4" = 1'0"
Sheet No:

A-8.1

UNIT PLANS



EXTERIOR FINISHES LEGEND	
1	• 2 Ply torch -on SBS membrane - Grey
2	• Prefinished metal flashing light grey colour
3	• Painted hardie panel w/ prefinished metal reveal
4	• 1 x 6 T & G Hemlock soffit - clear stain
5	• Horizontal hardie siding - color by Arch.
6	• Random spaced hardie board and batten paint by arch.
7	• Standing Seam Metal Wall cladding
8	• Glulam posts and beams- stained
9	• Cast in place Concrete
10	• Pre cast concrete slabs - natural
11	• PVC windows and doors - aluminum finish
12	• Pre painted aluminum guardrails

1

TWO PLY TORCH ON ROOFING

2

PREFINISHED METAL FLASHING

3

HARDI PANEL WITH REVEALS

4

1x6 T&G HEMLOCK SOFFIT- CLEAR STAIN

5

HORIZONTAL HARDIE SIDING, COLOUR BY ARCH.

6

RANDOM SPACED BOARD & BATTEN COLOR BY ARCH.

7

STANDING SEAM METAL WALL CLADDING

8

GLULAM POSTS & BEAMS - STAINED

9

CAST IN PLACE CONCRETE

10

PRE CAST CONCRETE SLABS

11

PVC WINDOWS & WOOD DOORS

12

PRE PAINTED ALUM. GUARDRAILS

1 South Elevation
1/4" : 1'-0"

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Sheet Title:
MATERIAL BOARD
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

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BM/JL	AS NOTED
Project No:	Sheet No:
	A-9.1
MATERIAL BOARD	



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REVISED: RMOW comments/ADP	MAY 02, 2019		
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Sheet Title:
SITE GRADING PLAN
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

Sealed By:

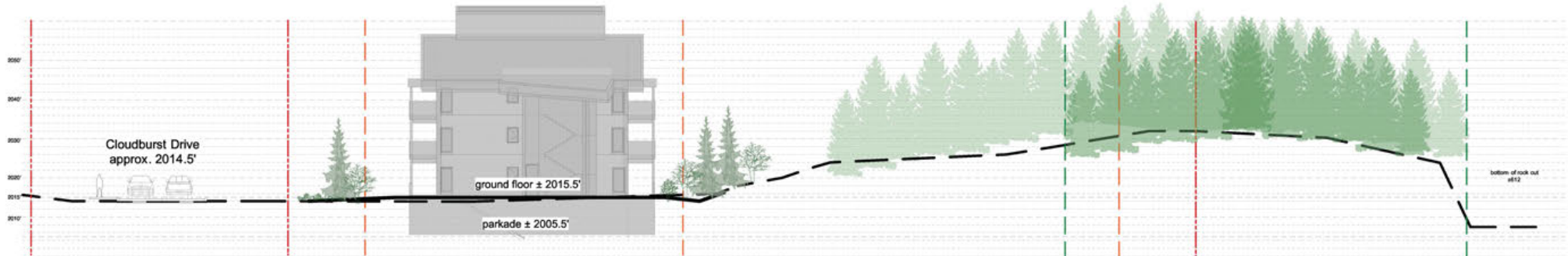
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Scale: 1/16" = 1'0"
Project No: 1714
Sheet No: L-1.1

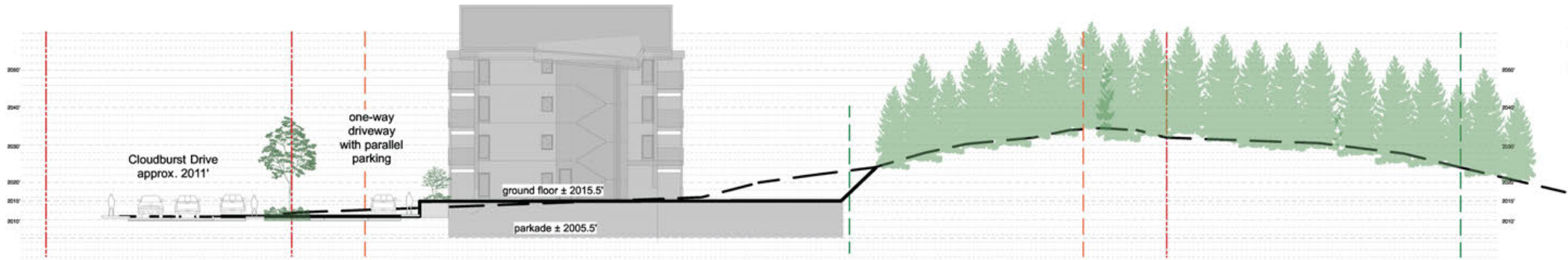
SITE GRADING PLAN



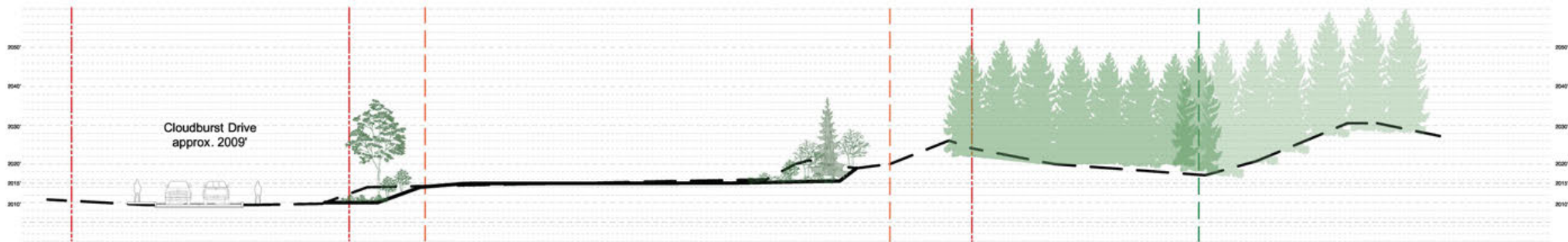
Site Section A - Streetscape Elevation, Cloudburst Drive



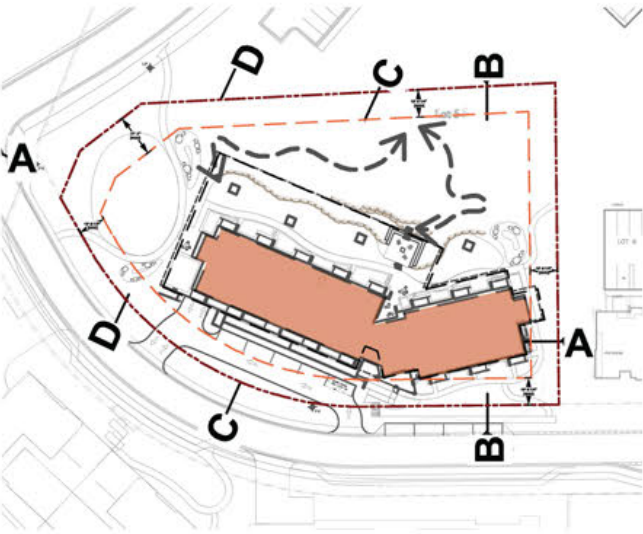
Site Section B



Site Section C



Site Section D



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North

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Sheet Title:
SITE SECTIONS
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

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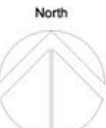
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BM/JL	1/16" = 1'0"
Project No:	Sheet No:
1714	L-1.2

SITE SECTIONS



PROJECT: 1315 Cloudburst Drive, Whistler				
APRIL 18/19				
PLANT LIST				
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
Ac	21	Acer circinatum	Vine Maple (multistem)	1.5 m ht.
Aq	21	Acer ginnala	Amur Maple (multistem)	1.5 m ht.
Ar	11	Acer rubrum "Sun Valley"	Sun Valley Red Maple	7 cm cal.
Pg	3	Picea glauca	White Spruce	2 m ht.
Po	1	Picea omarika	Serbian Spruce	2 m ht.
Pl	7	Populus tremuloides	Trembling Aspen	5 cm cal.
Pm	9	Pseudotsuga menziesii	Douglas Fir	2 m ht.
Th	6	Thuja heterophylla	Western Hemlock	2 m ht.
SHRUBS				
aa	24	Amelanchier alnifolia	Serviceberry	1.0 m ht.
ca	41	Cornus alba "Vivory Halo"	"Vivory Halo" Dogwood	#2
cs	47	Cornus sericea	Redtwig Dogwood	#2
mc	29	Mahonia aquifolium "Compactum"	Compact Oregon Grape	#2
pd	48	Physocarpus opulifolius "Diabolo"	Diabolo Purple Ninebark	#2
rr	34	Rosa rugosa "Alba"	Rugosa Rose (White)	#2
rw	51	Rosa woodsii	Wood's Rose	#2
GROUNDCOVERS				
bu	45	Arctostaphylos uva-ursi	Kinnikinnik	SP3
PERENNIALS				
ble	30	Blechnum spicant	Deer Fern	#1
ech	78	Echinacea purpurea "Magnus"	Purple Coneflower	#1
hsg	30	Hosta "Great Expectations"	Great Expectations Hosta	#1
nep	90	Nepeta x faassenii	Garden Catmint	#1
rud	110	Rudbeckia fulgida "Goldsturm"	Black-Eyed Susan	#1
GRASSES				
c	80	Calamagrostis "Karl Foerster"	Feather Reed Grass	#1
h	71	Helictotrichon sempervirens	Evergreen Oat Grass	#1
m	55	Miscanthus sinensis purpureus	Dwarf Purple Flame Grass	#1

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Sheet Title:
LANDSCAPE PLAN
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

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Scale: 1/16" = 1'0"
Project No: 1714
Sheet No: L-2.1

LANDSCAPE PLAN



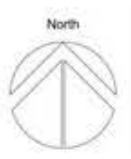
1 STREET OVERVIEW
Scale = N/A

1315 CLOUDBURST DRIVE



2 AERIAL OVERVIEW
Scale = N/A

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Sheet Title:
3D MASSING
Project
WHISTLER SPORT LEGACIES
1315 CLOUDBURST DRIVE

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Drawn By:

BM/DK

Project No:

Scale:

N/A

Sheet No:

3D-1

3D MASSING



1 ENTRY OVERVIEW
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2 NORTH-WEST CONTEXT
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3 SOUTH-EAST CONTEXT
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BM/DK N/A

Project No: Sheet No:

3D-2

3D MASSING



1 KNOLL / LANDSCAPE TERRACE
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2 KNOLL / LANDSCAPE - LOUNGE TERRACE
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BM/DK

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Scale:

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Sheet No:

3D-3

3D MASSING