



NESTERS CROSSING HOLDINGS LTD.

NESTERS CROSSING PHASE 2

UPDATED DP DRAWINGS PER ADP COMMENTS -
JULY 29, 2020

ARCHITECTURAL

A000 COVER SHEET
A100 CONTEXT PLAN
A101 SITE PLAN
A102 SITE SECTIONS
A200 FLOOR PLAN, ROOF PLAN & BUILDING SECTIONS
A201 BUILDING ELEVATIONS & PERSPECTIVES

CIVIL

SS1 SITE SERVICING
SG1 SITE GRADING

LANDSCAPE

L1.0 LANDSCAPE PLAN
L2.0 CONTEXT PLAN
190880-1 EXISTING LANDSCAPE AREAS
- EXISTING PLANTING ON ADJACENT SITES

REGULATORY AGENCIES

PLANNING/ZONING: RESORT MUNICIPALITY OF WHISTLER PLANNING DEPARTMENT
4325 BLACKCOMB WAY
WHISTLER, BC V0N 1B4
TEL: 604.935.8170
FAX: 604.935.8109

BUILDING INSPECTION: RESORT MUNICIPALITY OF WHISTLER BUILDING DEPARTMENT
4325 BLACKCOMB WAY
WHISTLER, BC V0N 1B4
TEL: 604.935.8150
FAX: 604.935.8109

FIRE DEPARTMENT: WHISTLER FIRE RESCUE
4325 BLACKCOMB WAY
WHISTLER, BC V0N 1B4
TEL: 604.935.8260

WATER SERVICE: RESORT MUNICIPALITY OF WHISTLER SEWER AND WATER
4325 BLACKCOMB WAY
WHISTLER, BC V0N 1B4
TEL: 604.935.8320

SEWER SERVICE: RESORT MUNICIPALITY OF WHISTLER SEWER AND WATER
4325 BLACKCOMB WAY
WHISTLER, BC V0N 1B4
TEL: 604.935.8320

ENVIRONMENTAL HEALTH: VANCOUVER COASTAL HEALTH - WHISTLER
202-4380 LORIMER ROAD
WHISTLER, BC V0N 1B4
TEL: 604.932.3202
FAX: 604.932.6953

TELEPHONE SERVICE: TELUS
7009 NESTERS ROAD
WHISTLER, BC V0N 1B7
TEL: 604.905.3442
FAX: 604.938.3239

NATURAL GAS SERVICE: FORTISBC ENERGY INC.
16705 Fraser Highway
SURREY, BC V4N 0E8
TEL: 1-888-224-2710
FAX: 1-888-224-2720

ROAD/SAFETY: RESORT MUNICIPALITY OF WHISTLER ROADS DEPARTMENT
4325 BLACKCOMB WAY
WHISTLER, BC V0N 1B4
TEL: 604.935.8334

ELECTRICAL SERVICE: FORTISBC ENERGY INC.
16705 Fraser Highway
SURREY, BC V4N 0E8
TEL: 1-888-224-2710
FAX: 1-888-224-2720

POLICE DEPARTMENT: POLICE RCMP
4315 BLACKCOMB WAY
WHISTLER, BC V0N 1B4
TEL: 604.932.3044

ABBREVIATIONS:

ACT. ACUSTIC TILE	C.J. CONTROL JOINT	GA. GAUGE	L. LENGTH	O.C.M. OLD CONTROL MONUMENT	R.O. ROUGH OPENING	U.H. UNIT HEATER
AD. AREA DRAIN	DIA. DIAMETER	GL. GLASS	L.H. LEFT HAND	PRECAST	SD. SOAP DISPENSER	VEST. VESTIBULE
AL. ALUM.	DCJ DRYWALL CONTROL JOINT	G.T.S. GOOD ONE SIDE	LP. LAMP POST	PRECAST CONCRETE	S.C.W. SOLID CORE WOOD	V.B. VAPOUR BARRIER
ANOD. ANODIZED	DWG. DRAWING	GRG. GLASS REINFORCED GYPSUM	L.S. LAMP STANDARD	PREFAB. PREFABRICATED	STRUC. STRUCTURAL	V.C.T. VINYL COMPOSITE TILE
A.F.F. ABOVE FINISHED FLOOR	ELEV. ELEVATION	G.W.B. GYPSUM WALL BOARD	M.H. MECHANICAL	PREFIN. PREFINISHED	S.T.C. SOUND TRANSMISSION COEFFICIENT	V.L.F. VERIFY IN FIELD
BB. BENCH MARK	ENCL. ENCLOSURE	H.C. HANDICAP	MAX. MAXIMUM	PL. PROP. PROPERTY LINE	SPEC. SPECIFICATION	V. WC. VINYL WALL COVERING
BLKG. BLOCKING	EQ. EQUAL	HR. HOUR	MET. METAL	PAINTED	S.G. STAIN GRADE	VERT. VERTICAL
B.C. BUILDING GRADE	EXT. EXTERIOR	HDW. HARDWARE	MIN. MINIMUM	PAINT GRADE	S.S. STAINLESS STEEL	W.C. WATER CLOSET
BLDG. BUILDING	ELEC. ELECTRICAL	H.C.W. HOLLOW CORE WOOD	MIR. MIRROR	PLASTIC LAMINATED	ST. STAIR	W.P. WATERPROOFING
BOL. BOLLARD	EXIST. EXISTING	HDWD. HARDWOOD	MISC. MISCELLANEOUS	PLY. PLYWOOD	S.F., SQ. FT. SQUARE FEET	WOOD. WOOD
CPT. CARPET	FHC. FIRE HOSE CABINET	HT. HEIGHT	N.I.C. NOT IN CONTRACT	RUBBER BASE	STL. STEEL	
CLG. CEILING	F. EXT. FIRE EXTINGUISHER	HORIZ. HORIZONTAL	N.T.S. NOT TO SCALE	RIGHT OF WAY	TEL. TELEPHONE	
C.B. CATCH BASIN	F.D. FLOOR DRAIN	H.M. HOLLOW METAL	NO. NUMBER	RAIN WATER LEADER	T&G. TONGUE AND GROOVE	
C.T. CERAMIC TILE	FTG. FOOTING	H.B. HOSE BIB	OIP. OLD IRON POST FOUND	ROLLING SHUTTER	TR. TREAD	
C/W. COMPLETE WITH	FDTN. FOUNDATION	I.D. INSIDE DIAMETER	OLP. OLD LEAD POST FOUND	R.H. RIGHT HAND	TYP. TYPICAL	
CONC. CONCRETE	F.S. FULL SIZE	I.P. IRON POST	O.C. ON CENTRE	R. RAD. RADIUS	T/O. TOP OF	
C.M.U. CONCRETE MASONRY UNITS	FIN. FINISH	JT. JOINT	O.D. OUTSIDE DIAMETER	RESILIENT TILE	T.O.W. TOP OF WALL	
CORR. CORRIDOR	F.O. FINISHED OPENING	K.D. KNOCK DOWN	O/O. OUT TO OUT	REQUIRED	U/G. UNDERGROUND	
CG. CORNER GUARD	GALV. GALVANIZED	L.P. LEAD POST	O/A. OVERALL	REVISION	U/S. UNDER SIDE	
	G.I. GALVANIZED IRON	L.D. LAWN DRAIN		ROOF DRAIN	UNFIN. UNFINISHED	

OWNER NESTERS CROSSING HOLDINGS LTD. #1430 - 1100 MELVILLE STREET VANCOUVER, BC V6E 4A6 CONTACT: MICHELLE CHARTON T 604.683.6123 EMAIL: michelle@chartoninc.ca	ARCHITECTURAL ABBARCH ARCHITECTURE INC. #120 - 4333 STILL CREEK DRIVE BURNABY, BC V5C 6S6 CONTACT: MICHAEL BURTON-BROWN T 604.669.4041 EMAIL: mbb@abbarch.com	CIVIL BINNIE & ASSOCIATES LTD. 201-40147 GLENALDER PLACE SQUAMISH, BC V8B 0G2 ROB DOSSANTOS T 604.892.8222 EMAIL: RDoSantos@binnie.com
LANDSCAPE TOM BARRATT LTD. 8605 DRIFTER WAY WHISTLER, BC V0N 1B8 TOM BARRATT T 604.932.3040 EMAIL: tom@tbilla.com	GEOTECHNICAL GEOPACIFIC CONSULTANTS LTD. 215-1200 WEST 73 AVENUE VANCOUVER, BC V6P 6G5 STEVE FOFOONOFF T 604.439.0922 EMAIL: fofoonoff@geopacific.ca	SURVEYOR DOUG BUSH SURVEY SERVICES LTD. UNIT 18-1370 ALPHA LAKE ROAD WHISTLER, BC V0N 1B1 STU PINKNEY T 604.932.3314 EMAIL: stu@dbss.ca

SHEET NOTES

	2020 JUL 29	UPDATED DP DRAWINGS
	2020 JUL 29	RESPONSE TO ADP COMMENTS
	2020 JUL 29	ISSUED FOR DEVELOPMENT PERMIT - PHASE 2
NO	DATE	ISSUE / ADDENDUM / REVISION

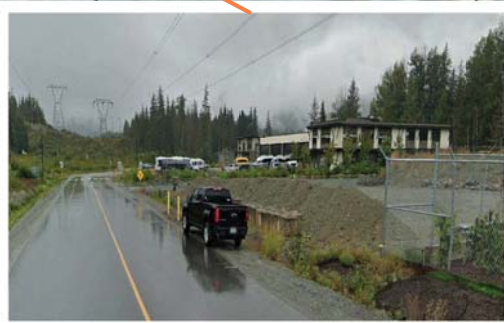
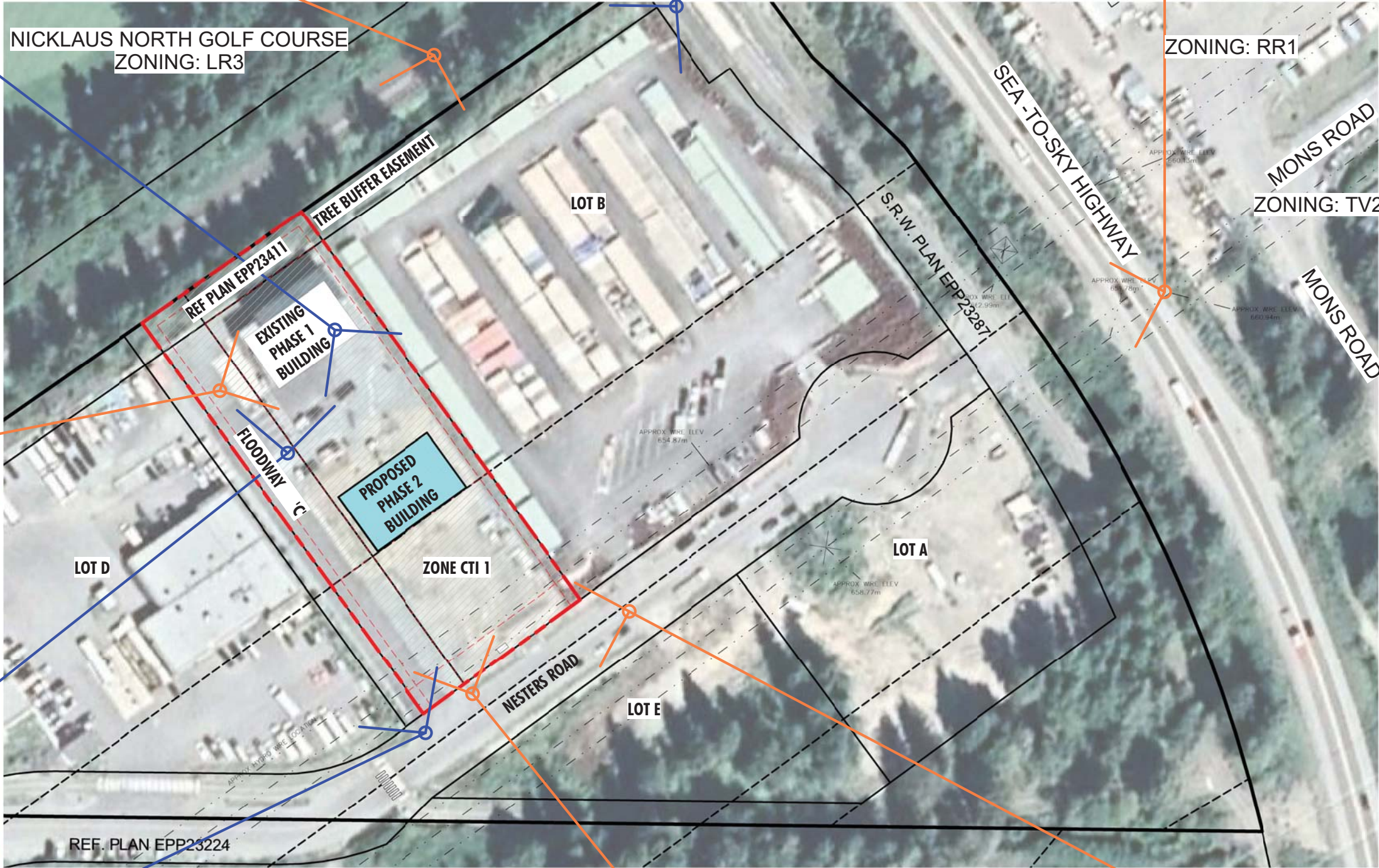
NESTERS CROSSING
HOLDINGS LTD. - PHASE 2
8060 NESTERS ROAD, WHISTLER, BC

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Engaging Design™
VANCOUVER, BC 604.669.4041
TORONTO, ON 416.340.8441



SHEET TITLE:
COVER SHEET

PROJECT NO:	2543
DRAWN BY:	AL
CHECKED BY:	JC
DATE:	06/29/20
SCALE:	12" = 1'-0"
SHEET:	A000



SHEET NOTES

	2020 JUL 29	UPDATED DP DRAWINGS
	2020 JUL 15	RESPONSE TO ADP COMMENTS
	2020 JUN 30	ISSUED FOR DEVELOPMENT PERMIT - PHASE 2
NO	DATE	ISSUE / ADDENDUM / REVISION

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HOLDINGS LTD. - PHASE 2
8060 NESTERS ROAD, WHISTLER, BC

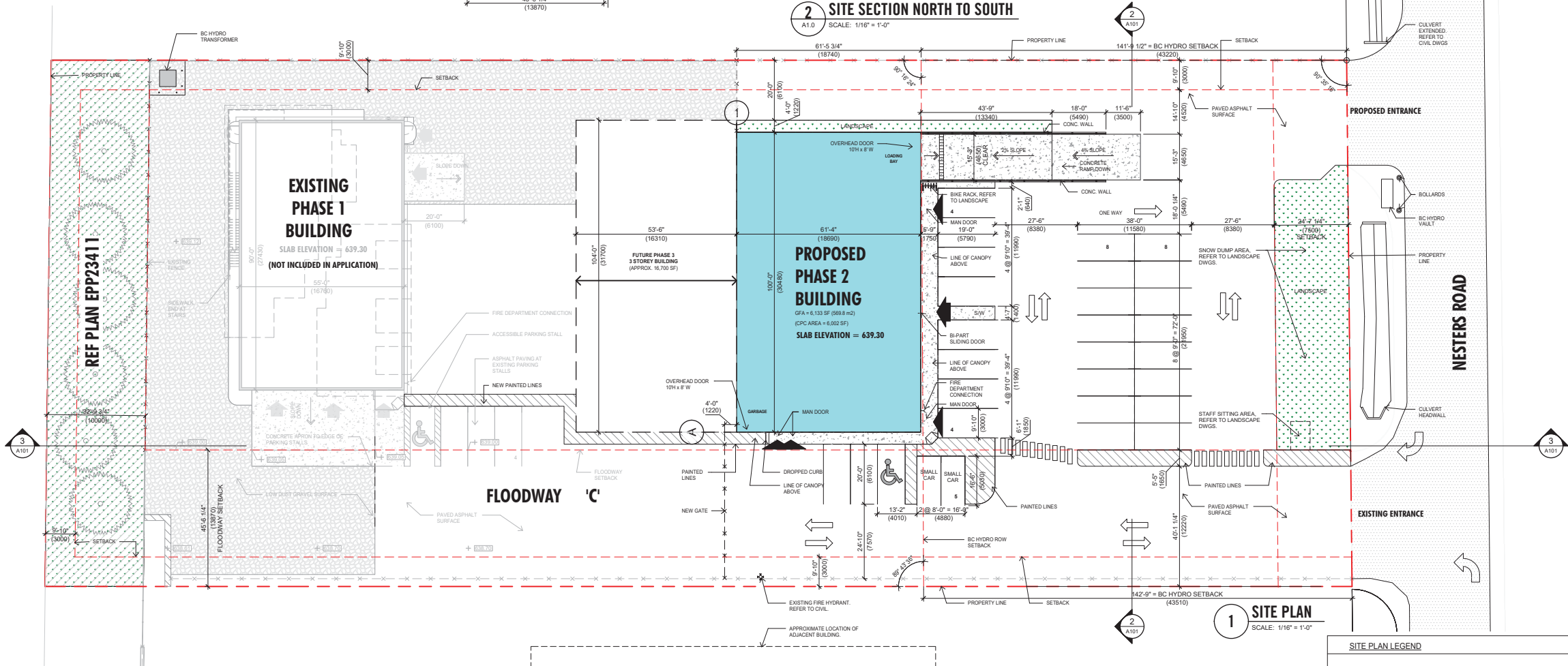
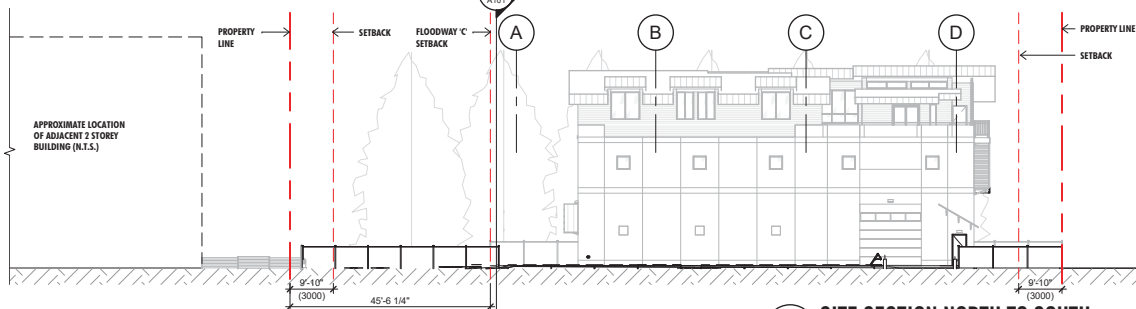
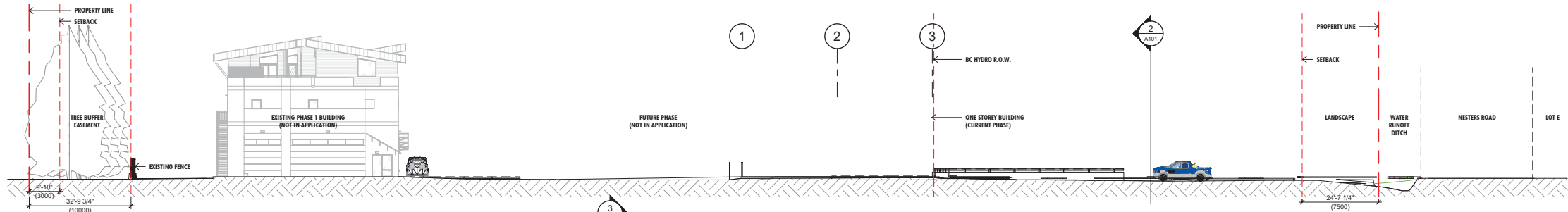
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SHEET TITLE:
CONTEXT PLAN

PROJECT NO:	2543
DRAWN BY:	AL
CHECKED BY:	JC
DATE:	06/29/20
SCALE:	1" = 40' 0"
SHEET:	A100





SITE STATISTICS

LEGAL ADDRESS	LOT C, D.L. 1757 NWD PLAN EPP54641
MUNICIPAL ADDRESS	8060 NESTERS ROAD, WHISTLER, BC
PROPERTY OWNER	NESTERS CROSSING HOLDINGS LTD.
SITE ZONING	(CT1) COMMUNITY AND TRANSPORTATION INFRASTRUCTURE 1
AREA & PARKING CALCULATIONS	AS PER RESORT MUNICIPALITY OF WHISTLER STANDARDS
STANDARD STALL SIZE REQUIRED:	UNCOVERED, PAVED: 8'-0" WIDE x 20'-0" DEEP (2.6m WIDE x 6.1m DEEP)
SMALL CAR STALL SIZE ALLOWED (20% OF TOTAL PARKING):	UNCOVERED, PAVED: 7'-11" WIDE x 16'-5" DEEP (2.4m WIDE x 5.0m DEEP)
STANDARD STALL SIZE PROVIDED:	UNCOVERED, PAVED: 9'-0" WIDE x 20'-0" DEEP (2.6m WIDE x 6.1m DEEP)
SMALL CAR STALL SIZE PROVIDED:	UNCOVERED, PAVED: 9'-0" WIDE x 16'-6" DEEP (2.6m WIDE x 5.0m DEEP)

PHASE 1 - EXISTING GROSS FLOOR AREA:	
TOTAL	9,631 SF (894.8 m ²)
PHASE 2 - GROSS FLOOR AREA:	
MAIN FLOOR	6,002 SF (557.6 m ²)
POST OFFICE	131 SF (12.2 m ²)
GARAGE	6,133 SF (569.8 m ²)
TOTAL	12,266 SF (1,138.8 m ²)
TOTAL GROSS FLOOR AREA = (PHASE 1 + 2)	15,764 SF (1,464.6 m ²)
PARKING PROVIDED (PHASE 1 & 2):	
REGULAR - EXISTING	3
REGULAR - NEW	26
ACCESSIBLE - EXISTING	1
ACCESSIBLE - NEW	1
SMALL CAR - EXISTING	0
SMALL CAR - NEW	2
TOTAL PROVIDED:	33 STALLS

PHASE 1 - EXISTING PARKING REQUIRED:	
WAREHOUSE	443.8 m ² (4,950 SF) / 100 = 4.4 x 1.0 STALLS
MEZZANINE	190.3 m ² (2,011 SF) / 100 = 1.9 x 1.0 STALLS
OFFICE	137.5 m ² (1,480 SF) / 100 = 1.4 x 3.0 STALLS = 4.2
RESIDENTIAL	1 SPACE PER DWELLING
TOTAL:	13 STALLS
PHASE 2 - PARKING REQUIRED (PER WHISTLER ZONING BYLAW):	
WAREHOUSE	557.6 m ² (6,002 SF) / 100 = 5.6 x 1.0 STALL (POST OFFICE)
TOTAL:	6 STALLS
TOTAL PARKING REQUIRED (BYLAW): (PHASE 1 + 2)	19 STALLS
PHASE 2 - PARKING REQUIRED (PER TENANT REQUIREMENT):	
POST OFFICE	20 STALLS
TOTAL PARKING REQUIRED (TENANT REQ.): (PHASE 1 + 2)	33 STALLS

SITE AREA:	1.75 ACRES (76,069 SF) (7,067.0 m ²)
BUILDABLE AREA (PER COVENANT)	35,000 SF (3,251.6 m ²)
TOTAL BUILDING AREA: *	11,093 SF (1,029.6 m ²)
(PHASE 1 = 4,950 SF (460 m ²) / PHASE 2 = 6,133 SF (569.8 m ²)	
*NOT INCLUDING MEZZANINE OR ADDITIONAL FLOORS	
SITE COVERAGE (F.A.R.):	14.6%
(BUILDING AREA/SITE AREA x 100)	
FLOOR SPACE RATIO (F.S.R.):	20.7%
(GROSS FLOOR AREA/SITE AREA x 100)	
NUMBER OF STOREYS	
PHASE 1 BLDG (EXISTING):	2 STOREYS + MEZZANINE
PHASE 2 BLDG (PROPOSED):	1 STOREY

SITE PLAN LEGEND

	EXTENT OF EXISTING ASPHALT PAVED SURFACE
	EXTENT OF PHASE 2 ASPHALT PAVED SURFACE
	EXTENT OF PERMANENT CONCRETE SURFACE
	EXTENT OF EXISTING LOW DUST GRAVEL SURFACE
	EXTENT OF PHASE 2 LANDSCAPED SURFACE
	EXTENT OF PHASE 1 LANDSCAPED SURFACE
	OUTLINE OF FUTURE PHASE(S)
	PROPERTY LINE
	SETBACKS
	FENCE

SHEET NOTES

- REFER TO CIVIL DRAWINGS FOR GRADING AND SERVING PLANS. ALSO REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION.

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NO	DATE
ISSUE / ADDENDUM / REVISION	

NESTERS CROSSING HOLDINGS LTD. - PHASE 2
8060 NESTERS ROAD, WHISTLER, BC

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SEAL:

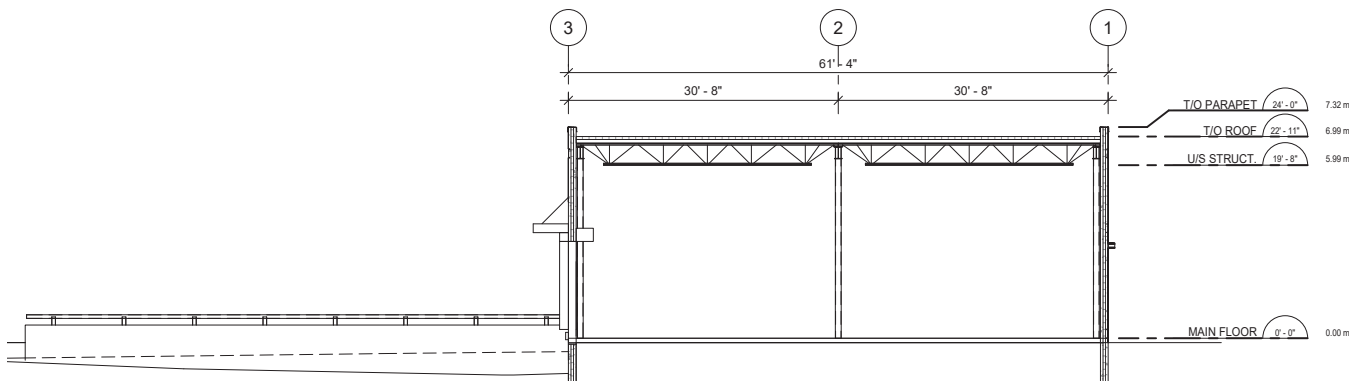


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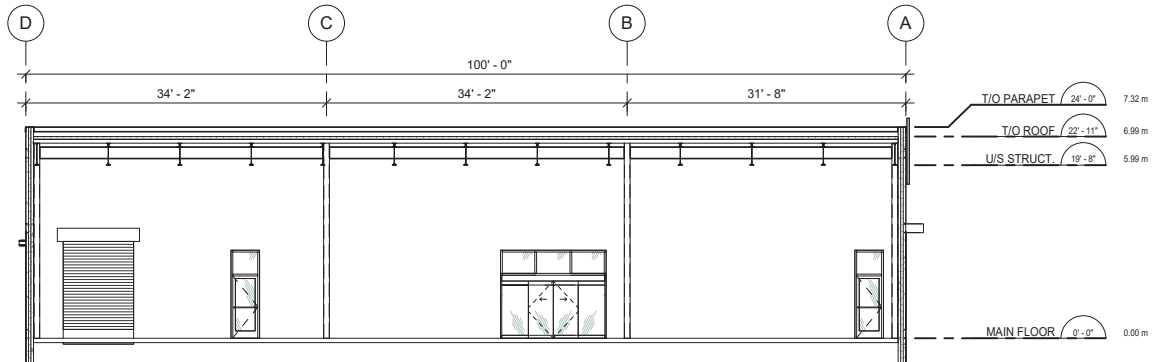
SITE PLAN

PROJECT NO:	2543
DRAWN BY:	JC
CHECKED BY:	MB
DATE:	09/11/2020
SCALE:	1/16" = 1'-0"
SHEET:	

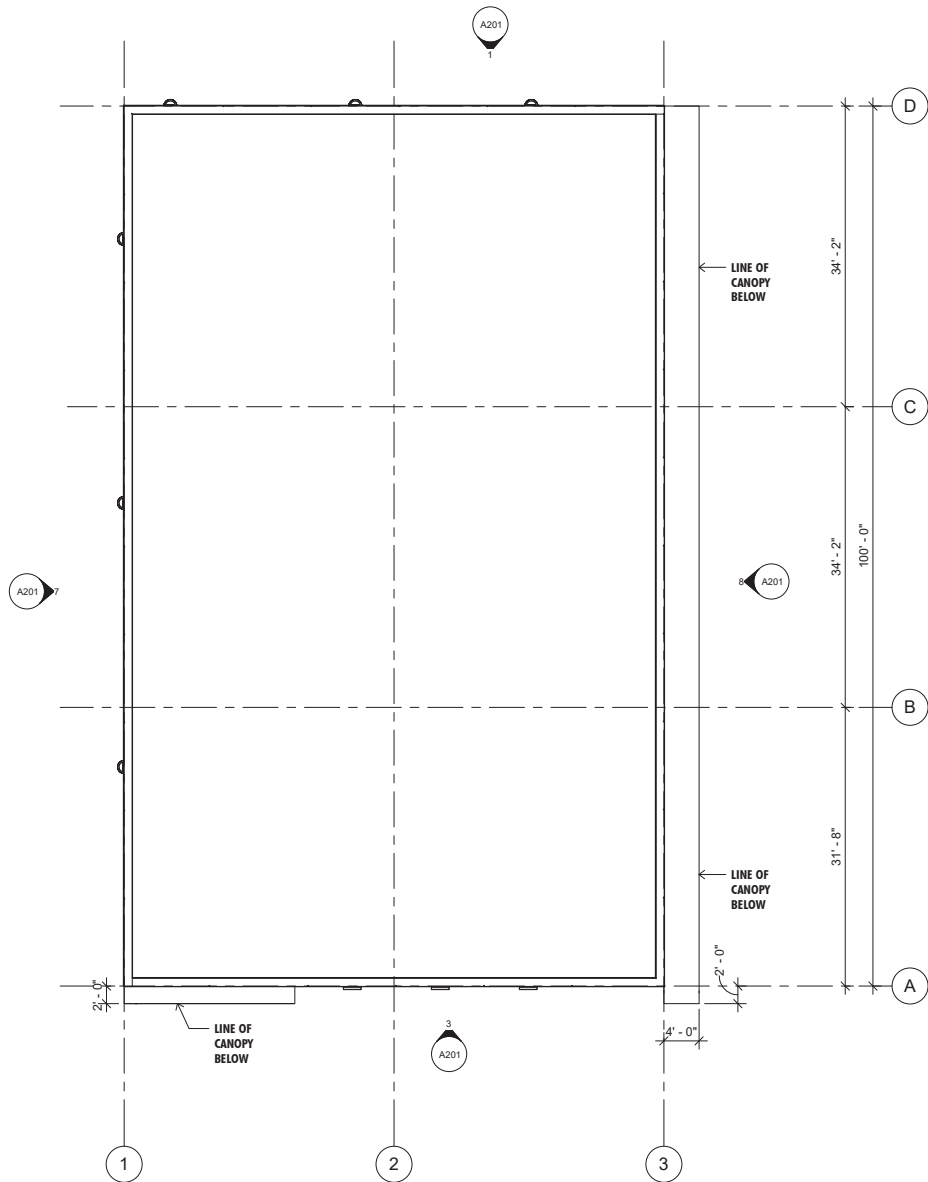
A101



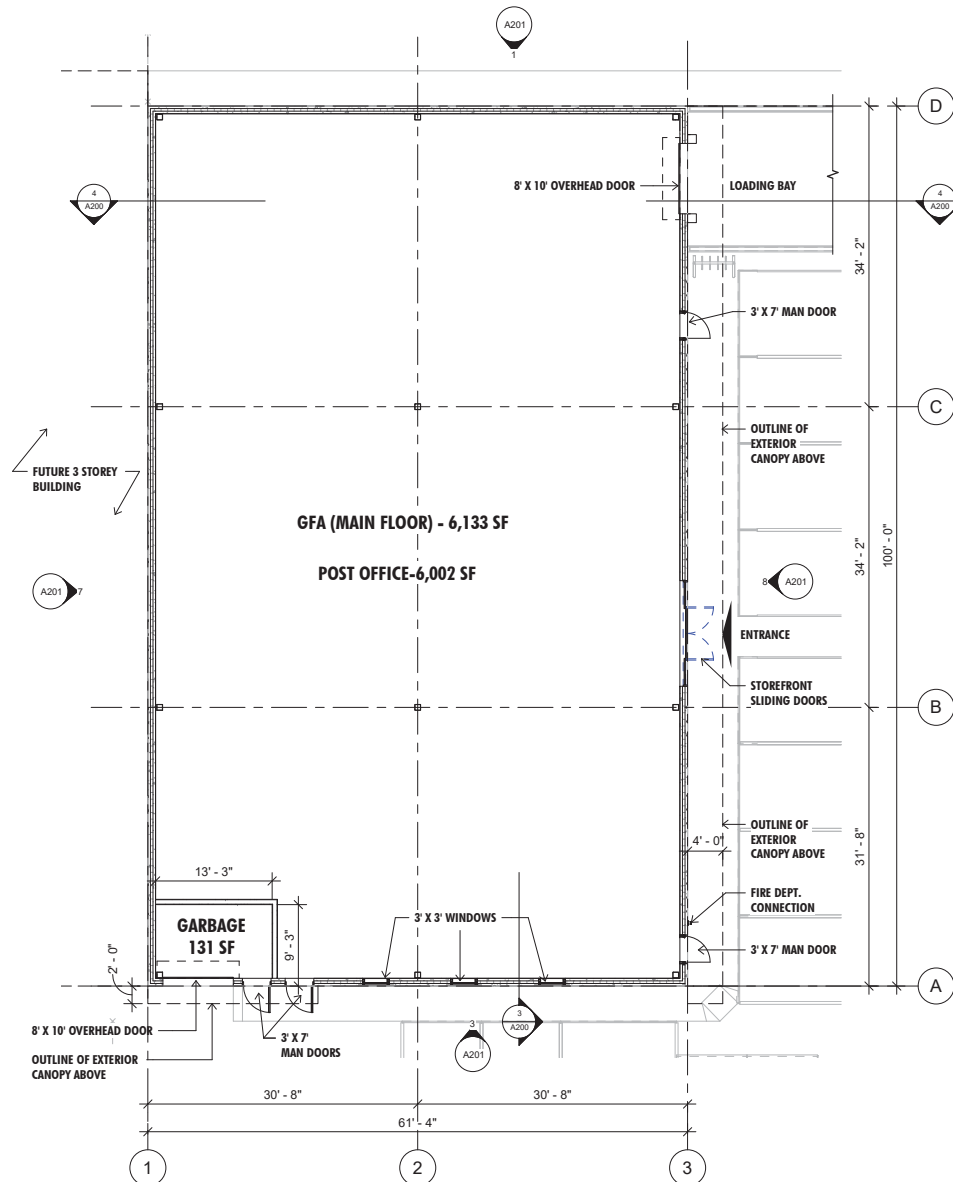
4 OVERALL SECTION - SOUTH
1/8" = 1'-0"



3 OVERALL SECTION - EAST
1/8" = 1'-0"



2 ROOF PLAN
1/8" = 1'-0"



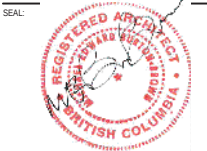
1 MAIN FLOOR
1/8" = 1'-0"

SHEET NOTES

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	2020 JUL 15	RESPONSE TO ADP COMMENTS
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NESTERS CROSSING
HOLDINGS LTD. - PHASE 2
8060 NESTERS ROAD, WHISTLER, BC

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SHEET TITLE:
FLOOR PLAN, ROOF PLAN
& SECTIONS

PROJECT NO: 2543
DRAWN BY: AL
CHECKED BY: MB, JC
DATE: 7/29/2020 2:22:18 PM
SCALE: 1/8" = 1'-0"
SHEET:

A200

