

Project Directory

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Sheet Title:  
**COVER PAGE**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
1340 & 1360 MOUNT FEE ROAD, WHISTLER BC

Sealed By:

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Drawn By: Scale:  
BM/JL/NM  
Project No: Sheet No:  
1902 **A-0.0**

DEVELOPMENT STATS - BP APPLICATION

Civic Address: 1340 & 1360 MOUNT FEE ROAD, WHISTLER BC  
Legal: PORTION OF BLOCK A, LEGAL PLAN EPP277, DL 8073  
P.I.D.: 026-772-213  
Zoning: UR-1

SITE AREA: 15.5 ha / 38.31 ac / 155 042.97 m2 / 1,668,868.6 s.f.  
1668868.6 sq.ft. 155042.97 m2

HEIGHT (permitted) 18.00 m 59.1 ft

HEIGHT - BUILDING A (proposed) 11.41 m 37.4 ft  
HEIGHT - BUILDING B (proposed) 11.71 m 38.4 ft

SETBACKS (TYP.): 6.00 m  
REAR YARD SETBACK (BUILDING A): 2.00 m

TOTAL GROSS FLOOR AREA (permitted) 450469.63 sf 41850.00 m2  
TOTAL GROSS FLOOR AREA (proposed) 90497.80 sf 8407.52 m2

<b>GROSS FLOOR AREA:</b>			
<b>BUILDING A - 1340 MOUNT FEE ROAD</b>			
Underground Parkade P1	504.4 sq.ft.	46.9 m2	
Ground Floor	10913.0 sq.ft.	1013.8 m2	
Second Floor	10089.3 sq.ft.	937.3 m2	
Third Floor	9997.4 sq.ft.	928.8 m2	
Fourth Floor	8588.5 sq.ft.	797.9 m2	
Total Building A	40092.6 sq.ft.	3724.7 m2	
<b>BUILDING B - 1360 MOUNT FEE ROAD</b>			
Underground Parkade P2	761.9 sq.ft.	70.8 m2	
Underground Parkade P1	506.5 sq.ft.	47.1 m2	
Ground Floor	13305.3 sq.ft.	1236.1 m2	
Second Floor	12478.0 sq.ft.	1159.2 m2	
Third Floor	12348.6 sq.ft.	1147.2 m2	
Fourth Floor	11004.9 sq.ft.	1022.4 m2	
Total Building B	50405.2 sq.ft.	4682.8 m2	

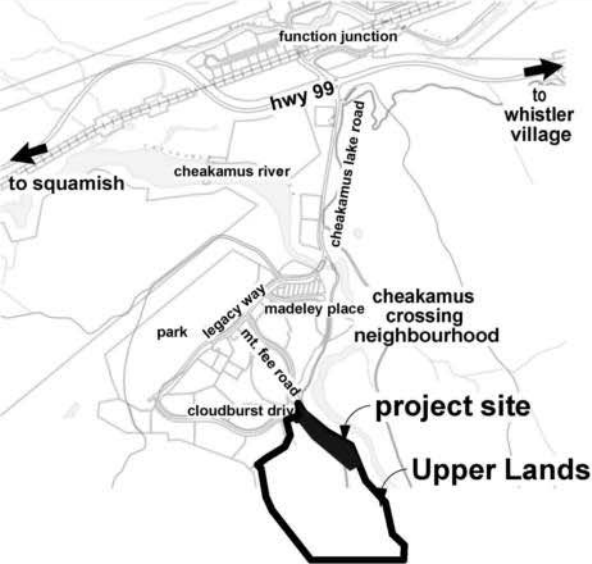
TOTAL GFA: Buildings A & B 90497.8 sq.ft. 8407.5 m2

<b>Unit Count: 100 units total</b>			
Building A	16	UNIT A (2BR @ 776.25 sf)	
	10	UNIT B (2 BR @ 832.25 sf)	
	16	UNIT C (1 BR @ 528.75 sf)	
	4	UNIT D (3 BR @ 1017.40 sf)	
	46	UNITS	
Total A:	46		
Building B	32	UNIT A (2BR @ 776.25 sf)	
	10	UNIT B (2 BR @ 832.25 sf)	
	8	UNIT C (1 BR @ 528.75 sf)	
	4	UNIT D (3 BR @ 1017.40 sf)	
	54	UNITS	
Total B:	54		

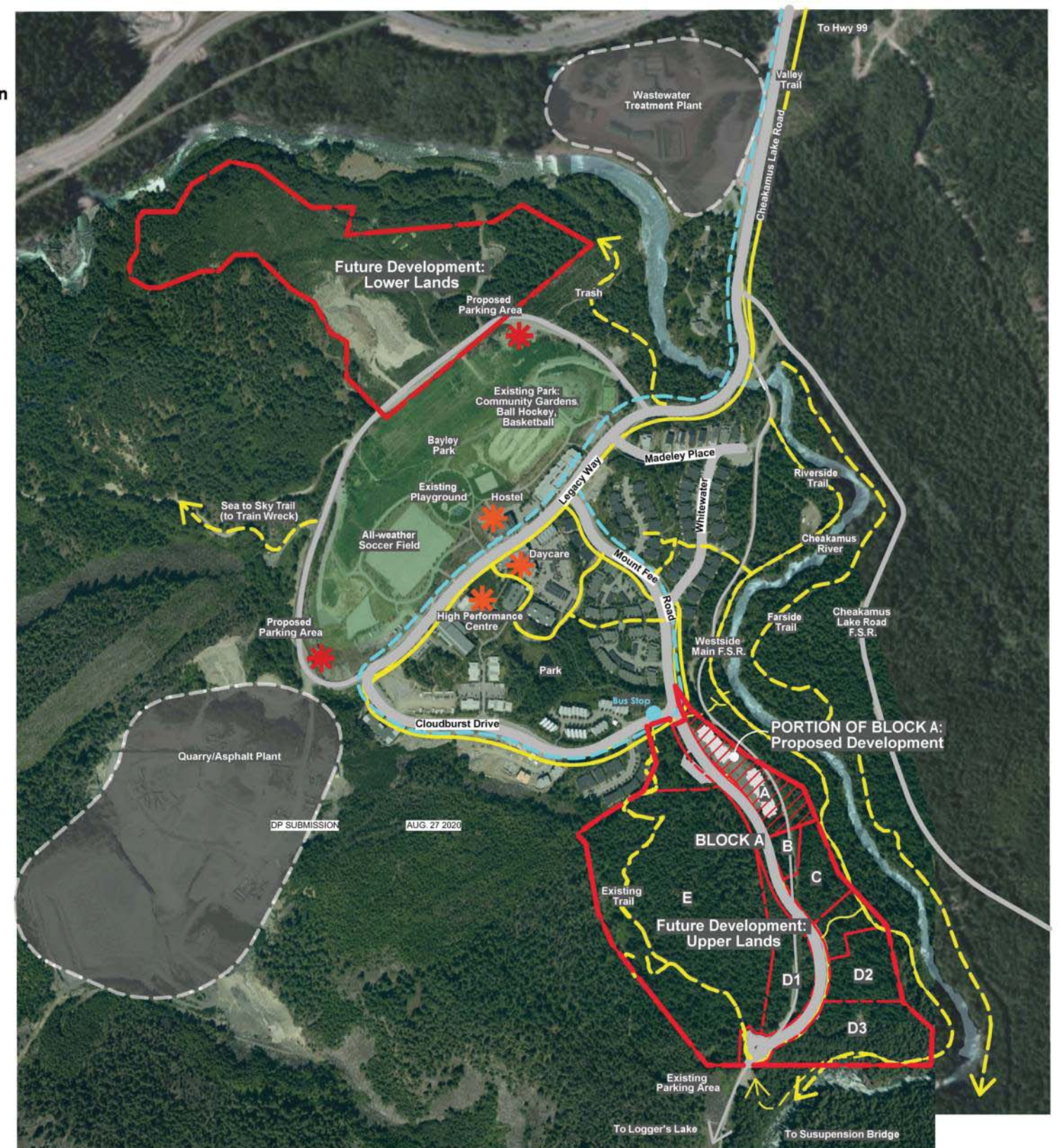
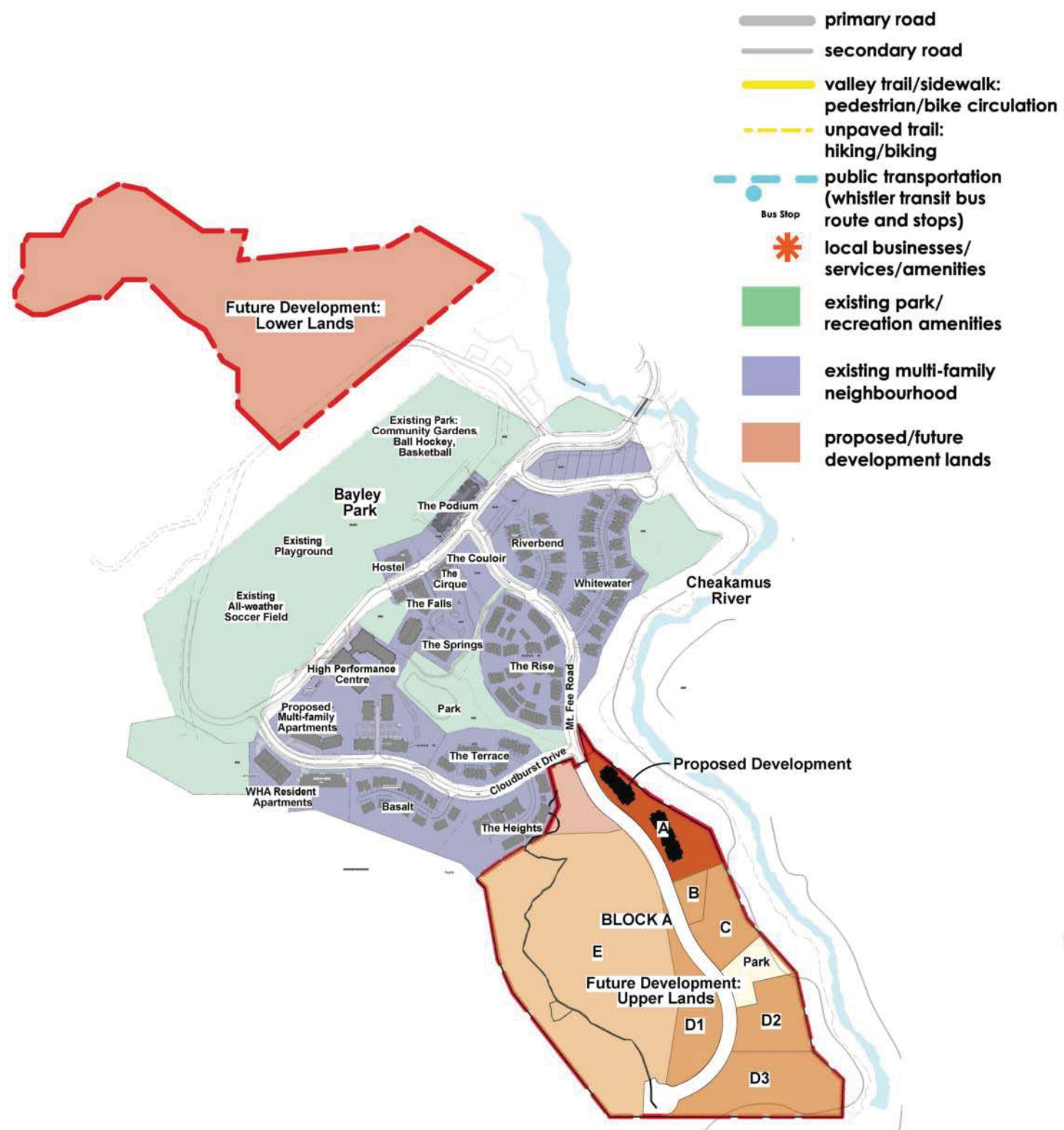
**PARKING CALCULATION:**  
Required:  
1 space per unit 55m2 GFA or less 24 units x 1 24 cars  
0.5 space per additional 40m2, max. 2 per unit 76 units x 1.5 114 cars  
**Total parking required = 138 cars**

**TOTAL PARKING PROVIDED:** 138 cars (129 u/g + 9 surface)  
Common Bike Storage Locker -760 sf  
Recycling and Garbage Room - 920 sf

Design Under Part 3 2018 BC Building Code



project location



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Sheet Title:

## SITE LOCATION & CONTEXT

Project

**WHISTLER DEVELOPMENT CORPORATION**

BLOCK A, 1340 & 1360 Mount Fee Road, Whistler, BC

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BM/JL

Project No:

1902

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Sheet Title:

**EXISTING SITE - AERIAL OVERLAY**

Project

**WHISTLER DEVELOPMENT CORPORATION**

BLOCK A, 1340 & 1360 Mount Fee Road, Whistler, BC

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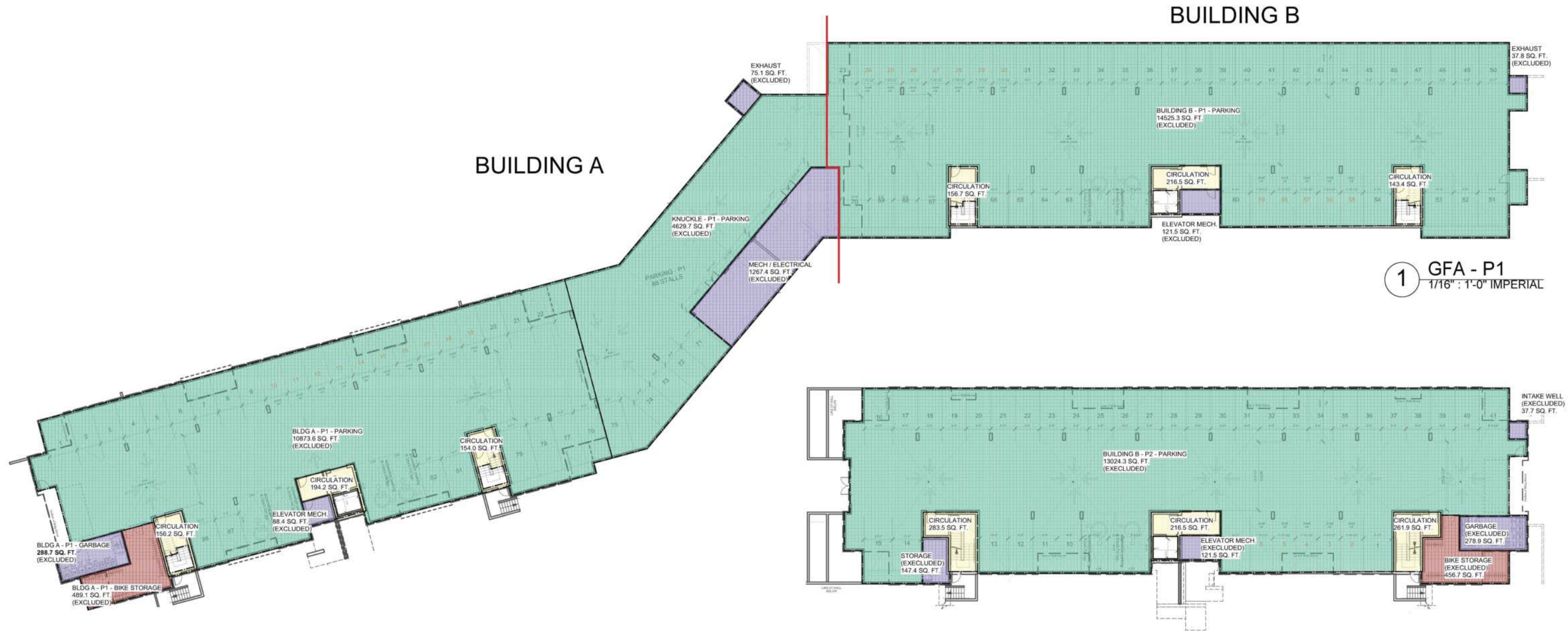
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BM/JL	1:1000 metric
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1902	<b>L-0.1</b>

EXISTING SITE - AERIAL OVERLAY



1 GFA - P1  
1/16" = 1'-0" IMPERIAL

2 GFA - P2  
1/16" = 1'-0" IMPERIAL

MUNICIPAL GROSS FLOOR AREA - UNDERGROUND PARKING

	PARKING (SQ. FT.)	CIRCULATION (SQ. FT.)	SERVICE (SQ. FT.)	BIKE STORAGE (SQ. FT.)
BUILDING A - P1:	10873.6 SQ. FT.	504.4 SQ. FT.	377.1 SQ. FT.	489.1 SQ. FT.
KNUCKLE - P1	4629.7 SQ. FT.	0 SQ. FT.	1342.5 SQ. FT.	0 SQ. FT.
BUILDING B - P1	14525.3 SQ. FT.	506.5 SQ. FT.	159.3 SQ. FT.	0 SQ. FT.
BUILDING B - P2	13024.3 SQ. FT.	761.9 SQ. FT.	585.6 SQ. FT.	456.7 SQ. FT.
SUB-TOTAL:	43052.9 SQ. FT.	1772.8 SQ. FT.	2464.5 SQ. FT.	945.8 SQ. FT.
TOTAL PARKADE GFA:	1772.8 SQ. FT.			
TOTAL AREA EXCLUDED:	45771.5 SQ. FT.			
TOTAL AREA BUILT:	48236 SQ. FT.			

- GENERAL NOTES:
1. OUTER EDGE OF CALCULATED GFA TAKEN 150 mm FROM INSIDE FACE OF EXTERIOR WALL
  2. PARKING, SERVICE, AND BIKE STORAGE EXCLUDED FROM GFA TOTALS PER RMOW BYLAWS
  3. AREA BELOW STAIR & ELEVATOR EXCLUDED FROM GFA TOTALS

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Sheet Title:  
**GFA - UNDERGROUND PARKING PLAN**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 & 1360 MOUNT FEE ROAD, WHISTLER BC

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1902 **A-1.2**



1 GFA - FIRST FLOOR  
1/16" : 1'-0" IMPERIAL



2 GFA - SECOND FLOOR  
1/16" : 1'-0" IMPERIAL



3 GFA - THIRD FLOOR  
1/16" : 1'-0" IMPERIAL



4 GFA - FOURTH FLOOR  
1/16" : 1'-0" IMPERIAL

**LEGEND:**

- CIRCULATION
- UNIT TYPE 'A'
- UNIT TYPE 'B'
- UNIT TYPE 'C'
- UNIT TYPE 'D'

**GENERAL NOTES:**

1. OUTER EDGE OF CALCULATED GFA TAKEN 150 mm FROM INSIDE FACE OF EXTERIOR WALL
2. PARKING, SERVICE, AND BIKE STORAGE EXCLUDED FROM GFA TOTALS PER RMoW BYLAWS
3. AREA BELOW STAIR & ELEVATOR EXCLUDED FROM GFA TOTALS
4. REFER TO A-1.5 FOR UNIT GFA DIMENSIONS AND BIKE STORAGE EXCLUSION AREAS

**MUNICIPAL GROSS FLOOR AREA - BUILDING A**

	GFA / UNIT (SQ.FT.)	QUANTITY	BIKE STORAGE / UNIT (SQ.FT.)
UNIT TYPE 'A'	776.25 SQ.FT.	16	48 SQ.FT.
UNIT TYPE 'B'	832.25 SQ.FT.	10	27 SQ.FT.
UNIT TYPE 'C'	528.75 SQ.FT.	16	45.5 SQ.FT.
UNIT TYPE 'D'	1019.4 SQ.FT.	4	32.2 SQ.FT.
<hr/>			
TOTAL BIKE STORAGE (EXCLUDED)	1894.8 SQ.FT.		
TOTAL ELECTRICAL (EXCLUDED)	164 SQ.FT.		
TOTAL AREA EXCLUDED	2058.8 SQ.FT.		
<hr/>			
TOTAL CIRCULATION GFA	6343.4 SQ.FT.		
TOTAL UNIT GFA	33280.1 SQ.FT.		
TOTAL GFA	39623.5 SQ.FT.		
<hr/>			
TOTAL AREA BUILT:	41682.3 SQ.FT.		

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Sheet Title:

**GFA - BLDG A**

Project

**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 CHEAKAMUS LAKE ROAD, WHISTLER BC

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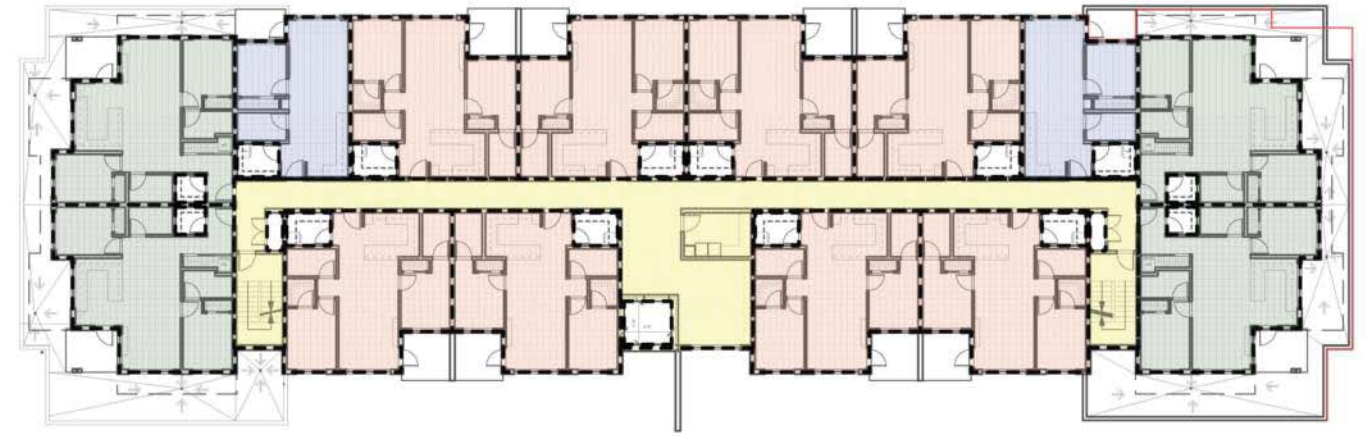
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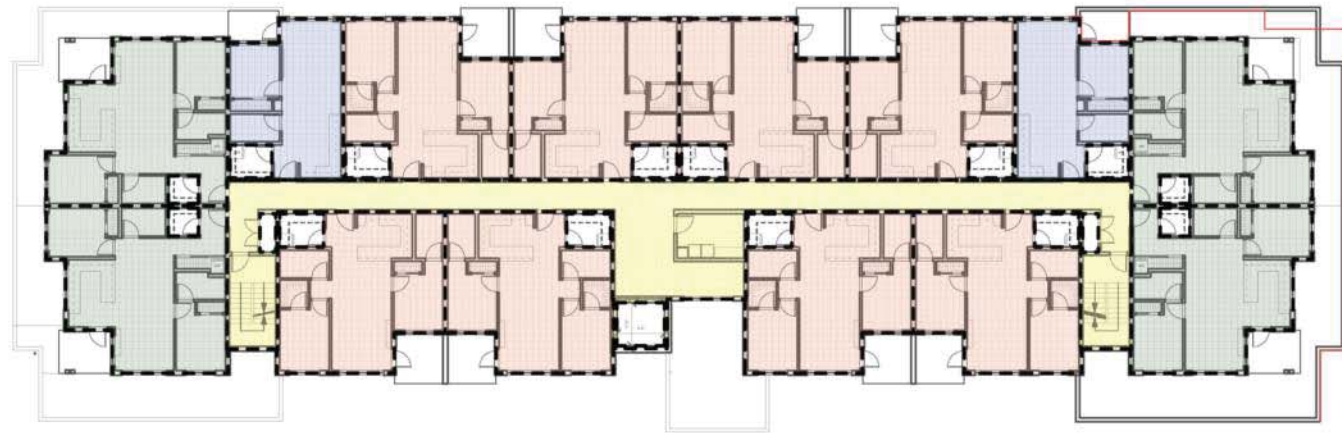
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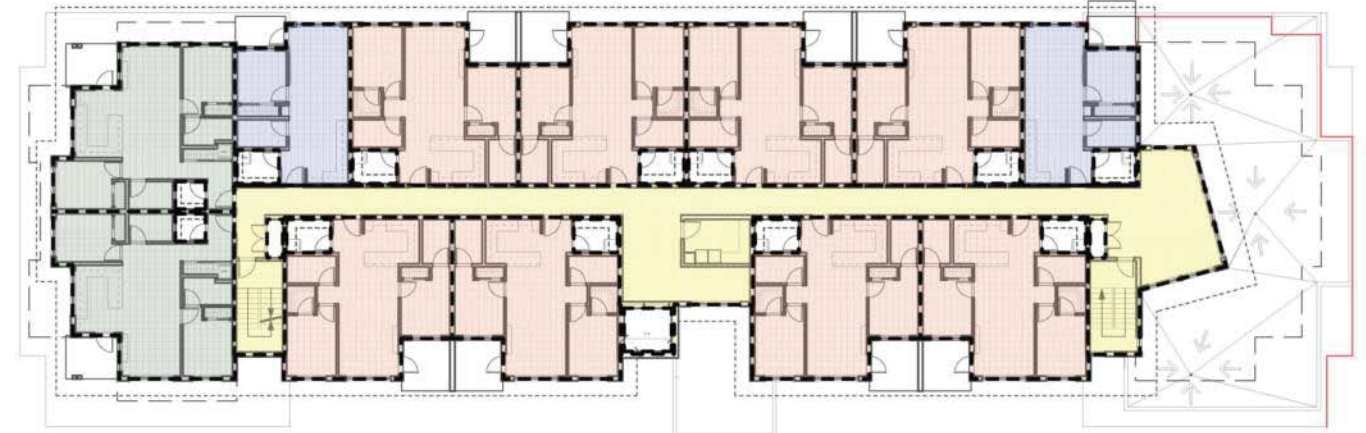
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1/16" = 1'-0" IMPERIAL



2 GFA - SECOND FLOOR  
1/16" = 1'-0" IMPERIAL



3 GFA - THIRD FLOOR  
1/16" = 1'-0" IMPERIAL



4 GFA - FOURTH FLOOR  
1/16" = 1'-0" IMPERIAL

**LEGEND:**

- CIRCULATION
- UNIT TYPE 'A'
- UNIT TYPE 'B'
- UNIT TYPE 'C'
- UNIT TYPE 'D'

**GENERAL NOTES:**

1. OUTER EDGE OF CALCULATED GFA TAKEN 150 mm FROM INSIDE FACE OF EXTERIOR WALL
2. PARKING, SERVICE, AND BIKE STORAGE EXCLUDED FROM GFA TOTALS PER RMoW BYLAWS
3. AREA BELOW STAIR & ELEVATOR EXCLUDED FROM GFA TOTALS
4. REFER TO A-1.5 FOR UNIT GFA DIMENSIONS AND BIKE STORAGE EXCLUSION AREAS

**MUNICIPAL GROSS FLOOR AREA - BUILDING B**

	GFA / UNIT	QUANTITY	BIKE STORAGE / UNIT
UNIT TYPE 'A'	776.25 SQ.FT.	32	48 SQ.FT.
UNIT TYPE 'B'	832.25 SQ.FT.	10	27 SQ.FT.
UNIT TYPE 'C'	528.75 SQ.FT.	8	45.5 SQ.FT.
UNIT TYPE 'D'	1019.4 SQ.FT.	4	32.2 SQ.FT.
TOTAL BIKE STORAGE (EXCLUDED)	2298.8 SQ.FT.		
TOTAL ELECTRICAL (EXCLUDED)	164 SQ.FT.		
TOTAL AREA EXCLUDED	2462.8 SQ.FT.		
TOTAL CIRCULATION GFA	7709.4 SQ.FT.		
TOTAL UNIT GFA	41470.1 SQ.FT.		
TOTAL GFA	49179.5 SQ.FT.		
TOTAL AREA BUILT:	51642.3 SQ.FT.		

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Sheet Title:

GFA - BLDG B - 1360 MOUNT FEE ROAD

Project

**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1360 MOUNT FEE ROAD, WHISTLER BC

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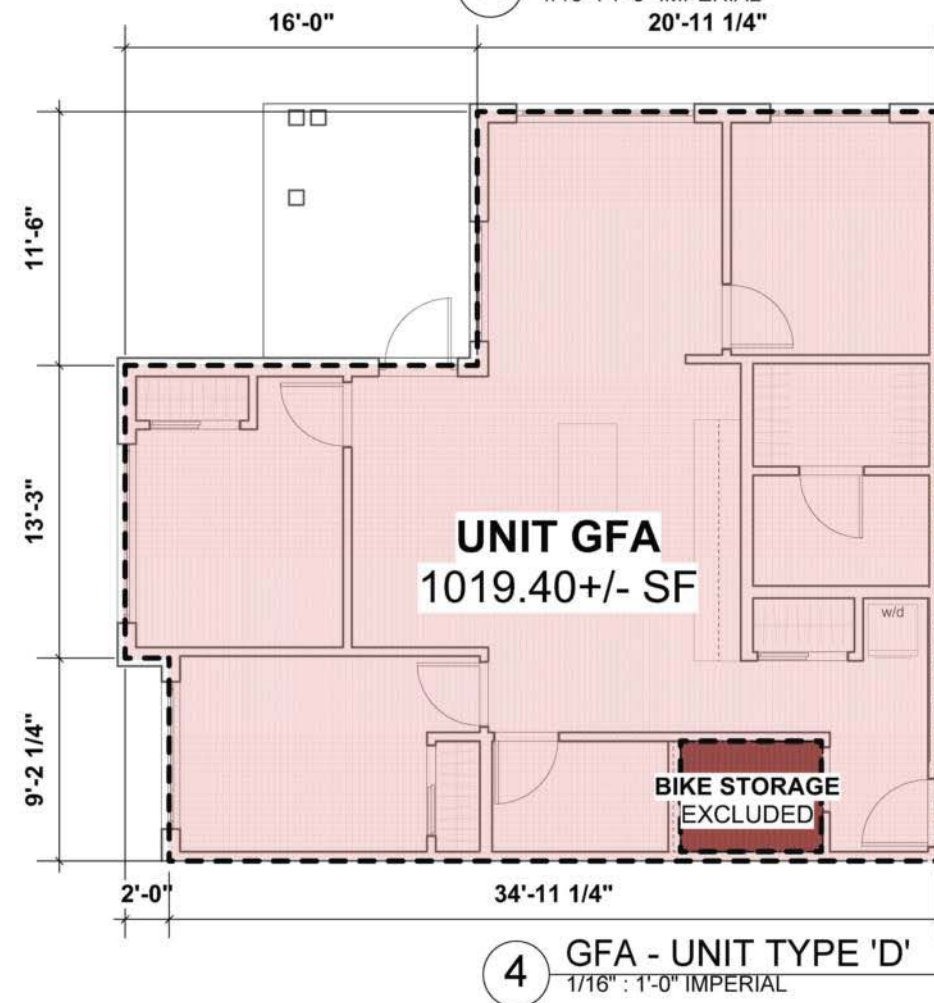
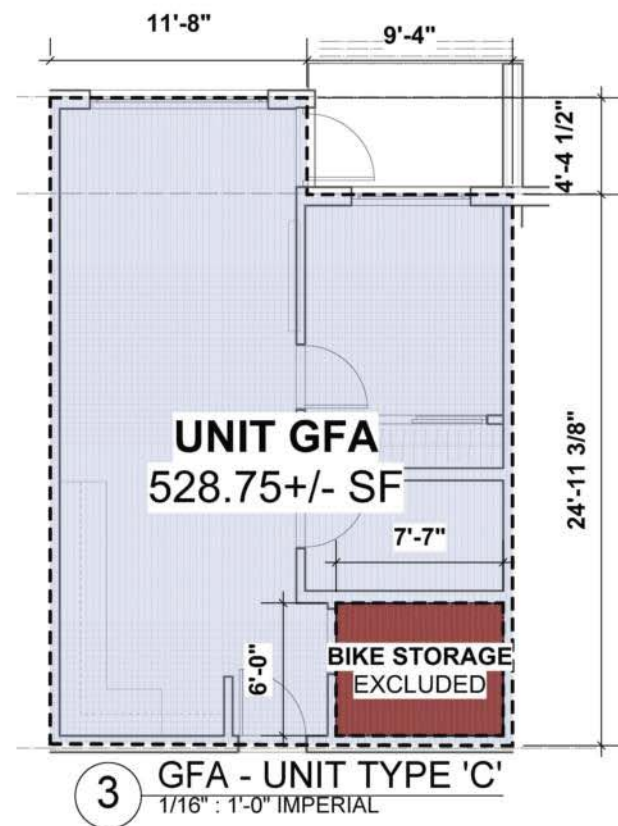
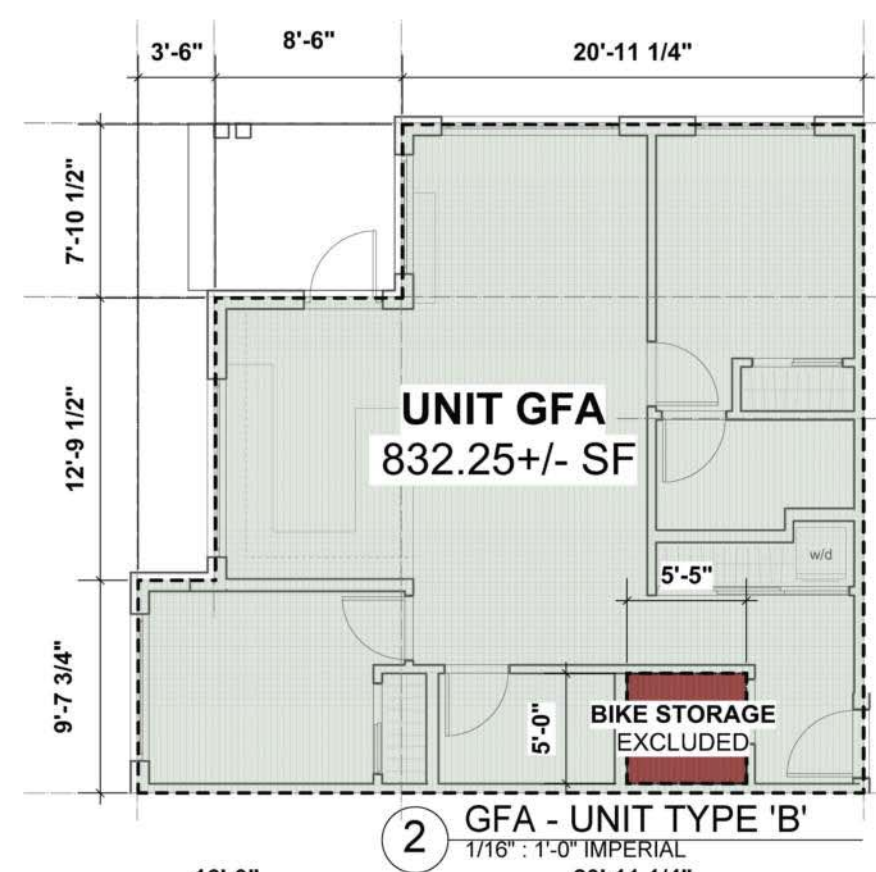
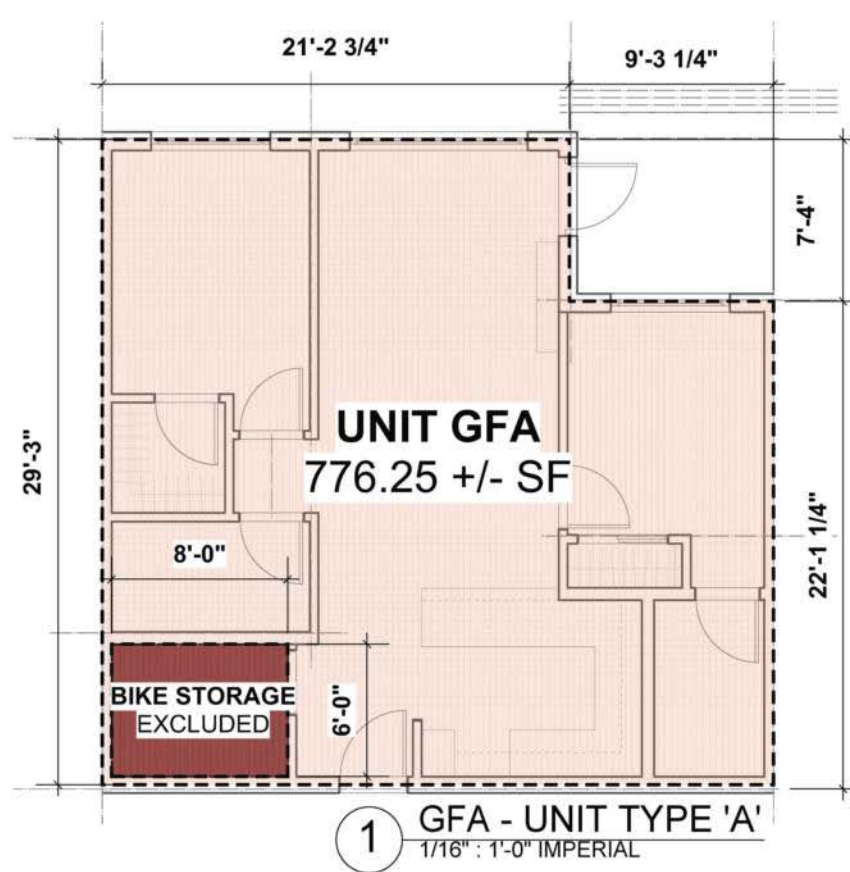
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GFA - BLDG B - 1360 MOUNT FEE ROAD



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GFA - UNITS PLANS - BLDG A & B

Project

**WHISTLER DEVELOPMENT CORPORATION**  
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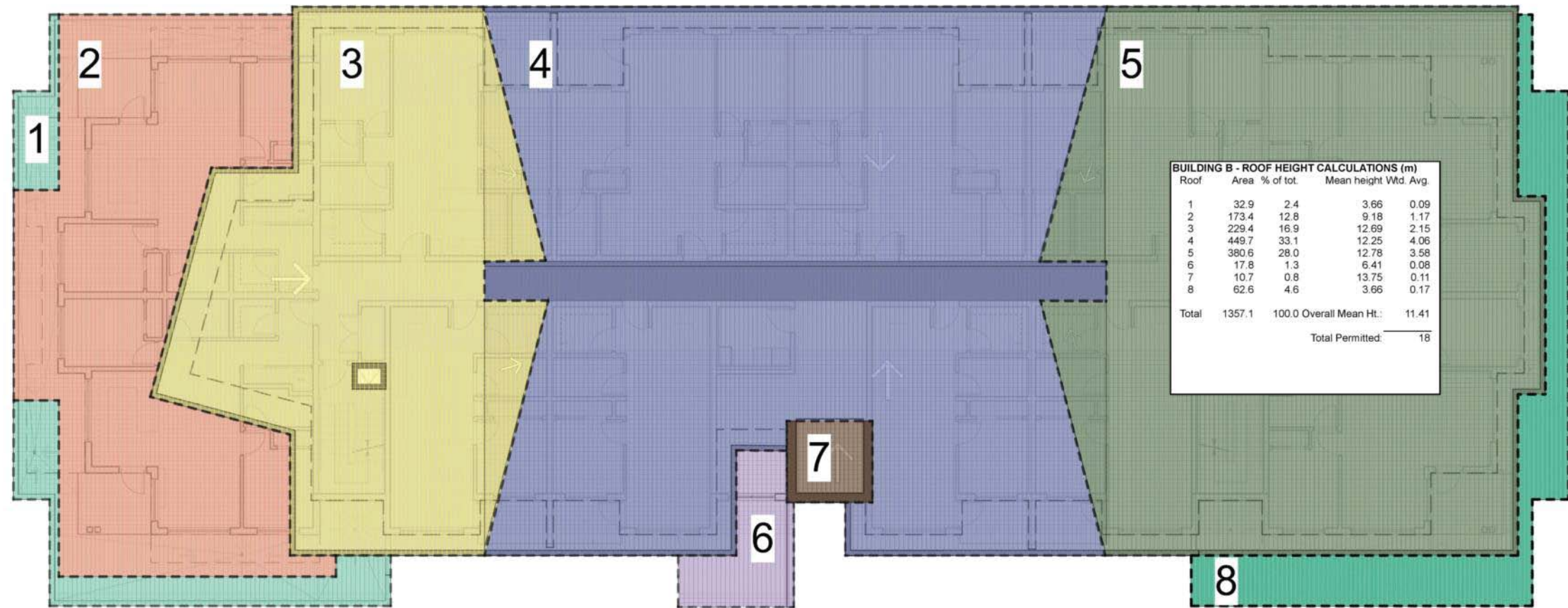
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GFA - UNITS PLANS - BLDG A & B



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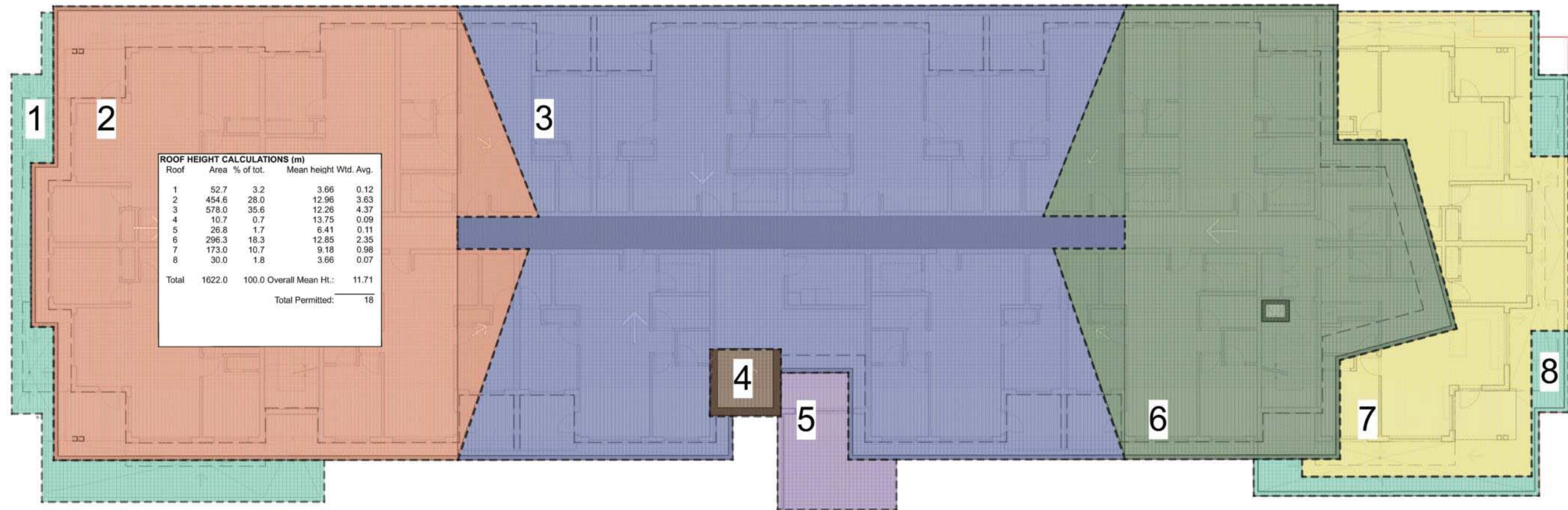
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**ROOF HEIGHT CALCULATION - BUILDING A**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 MOUNT FEE ROAD, WHISTLER BC

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e-mail murdoch@telus.net

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ROOF HEIGHT CALCULATION - BUILDING A



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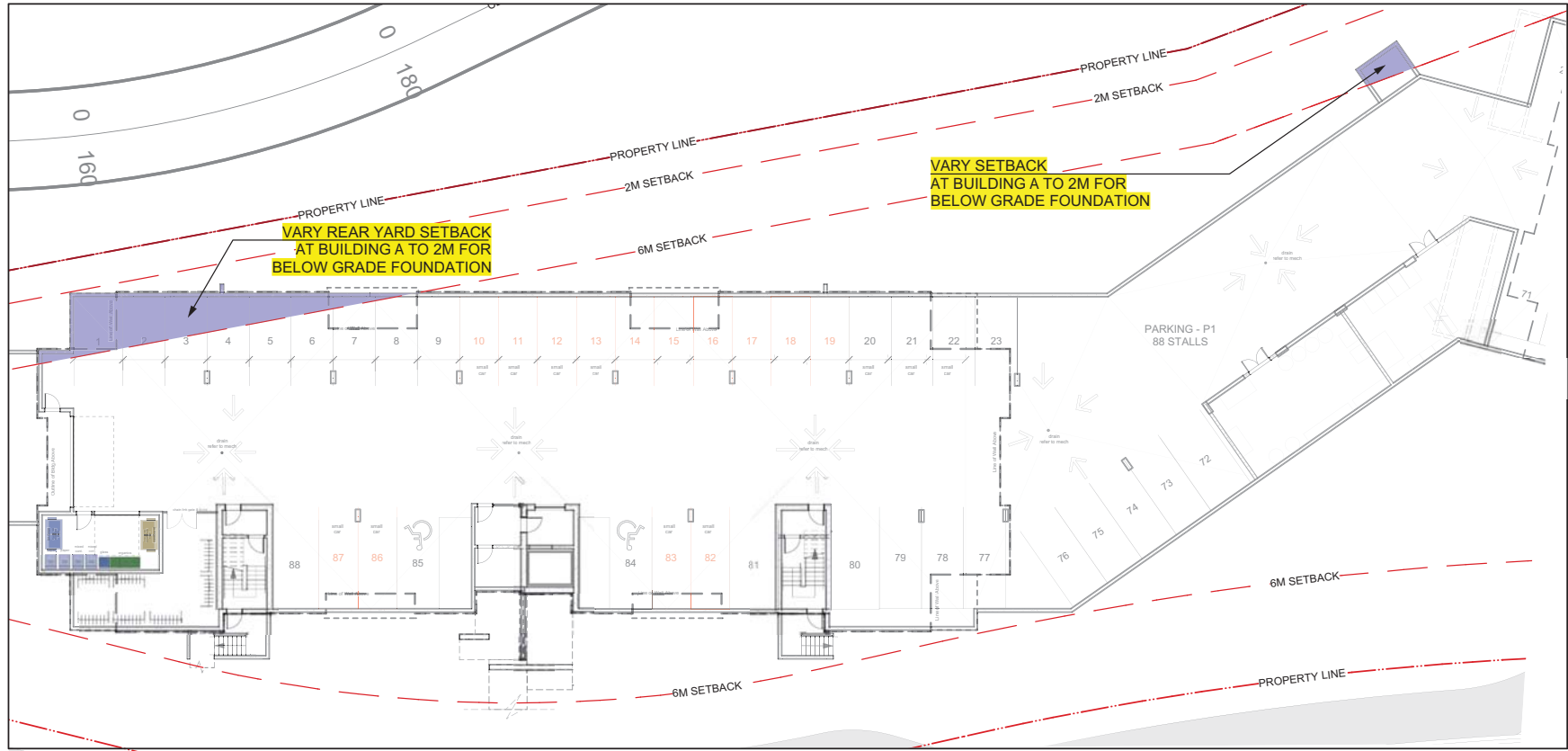
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**ROOF HEIGHT CALCULATION - BUILDING B**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
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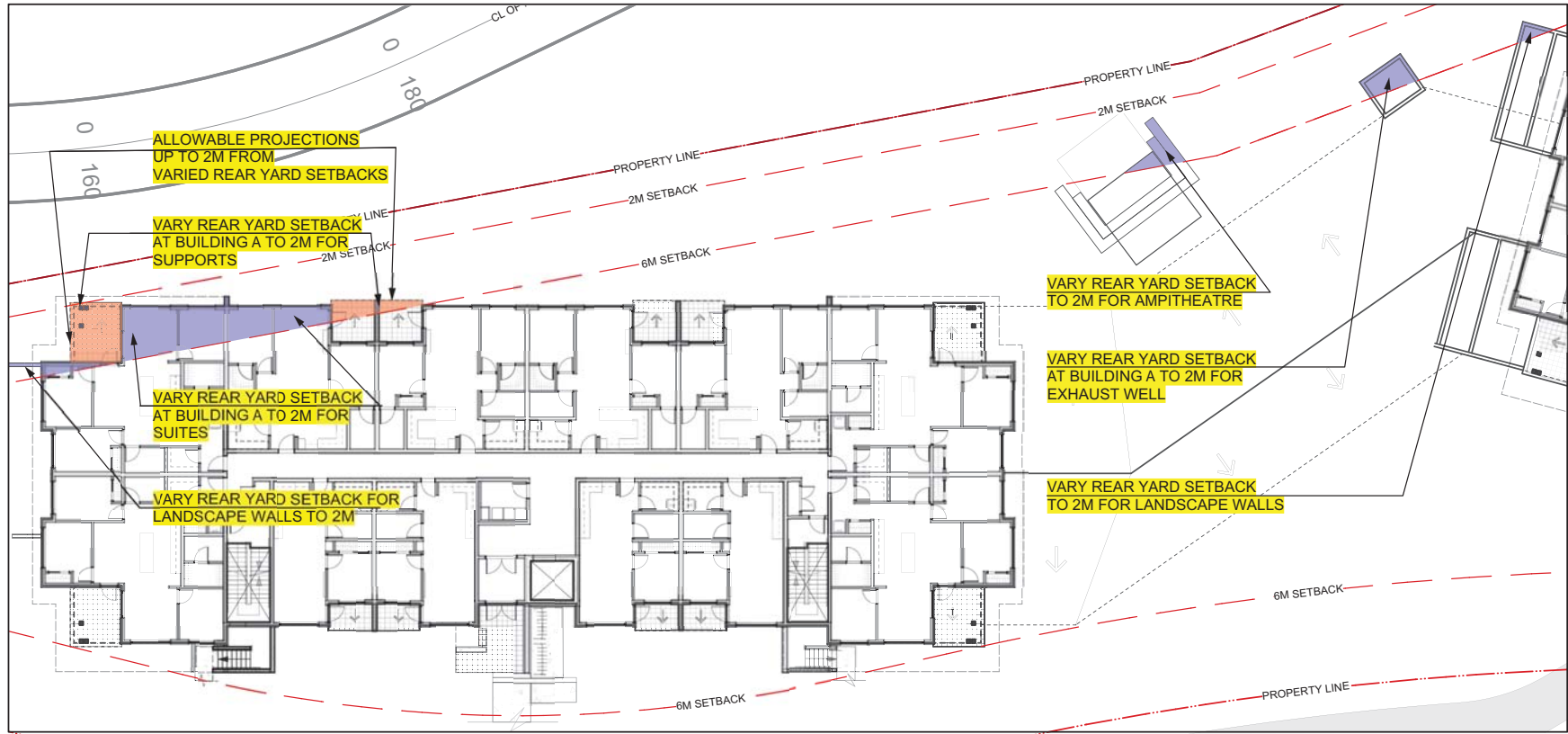
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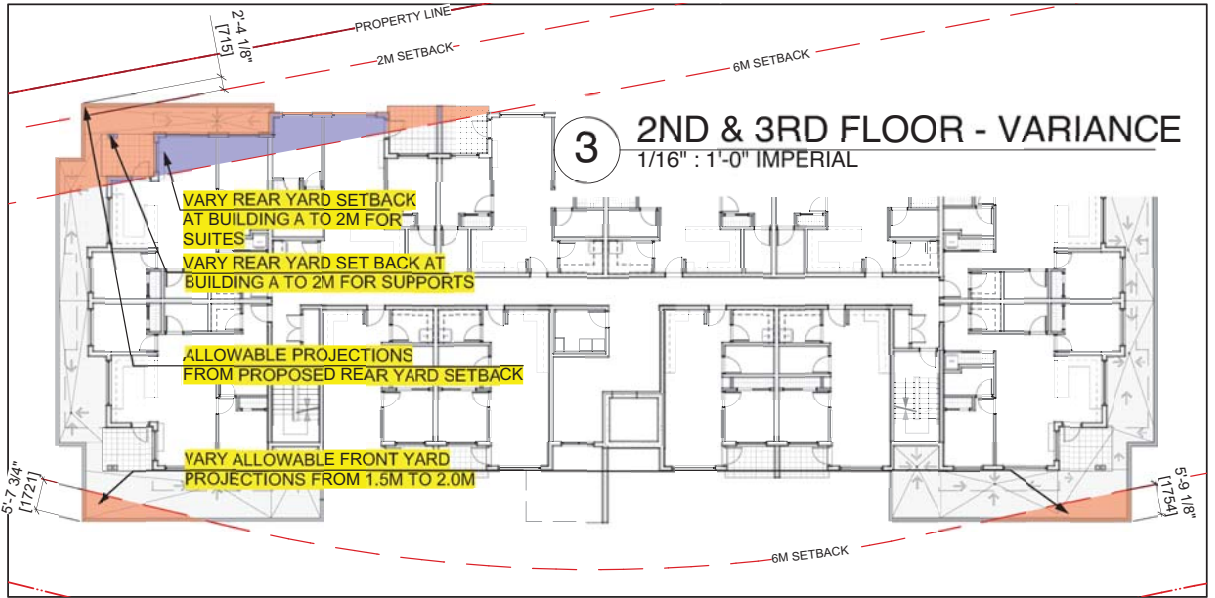
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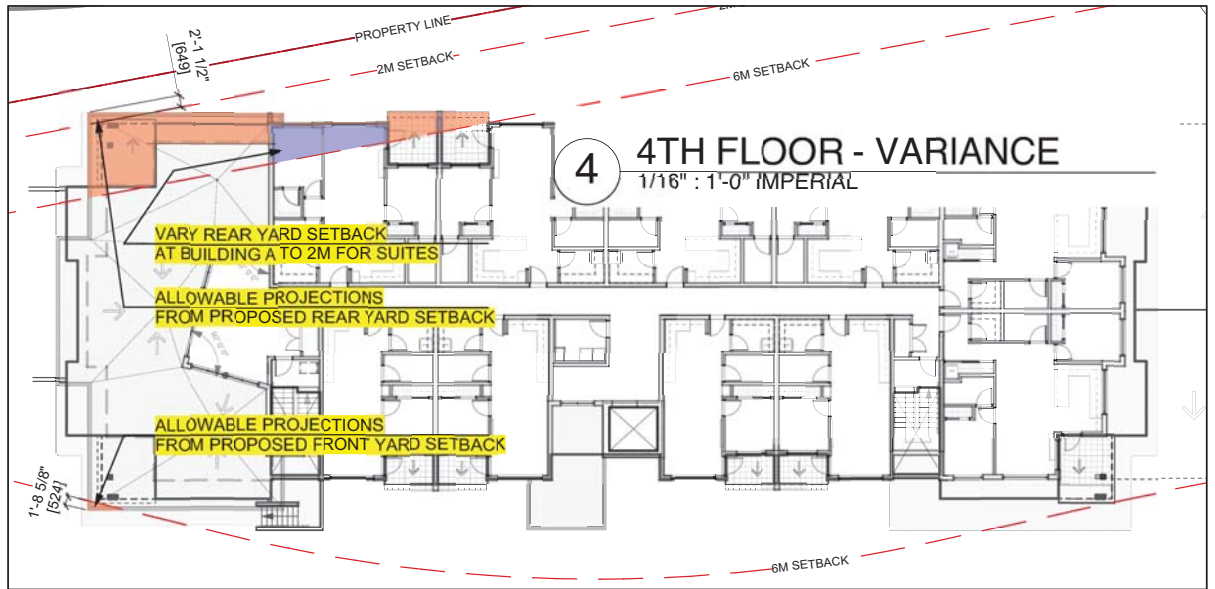
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1/16" : 1'-0" IMPERIAL



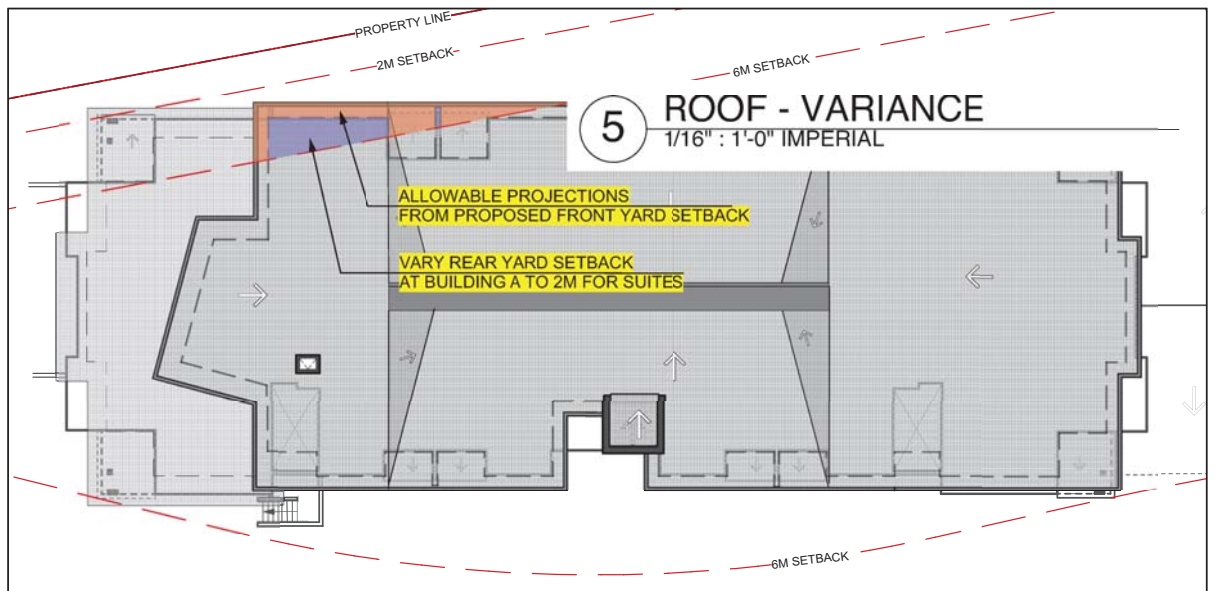
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1/16" : 1'-0" IMPERIAL



**3 2ND & 3RD FLOOR - VARIANCE**  
1/16" : 1'-0" IMPERIAL



**4 4TH FLOOR - VARIANCE**  
1/16" : 1'-0" IMPERIAL



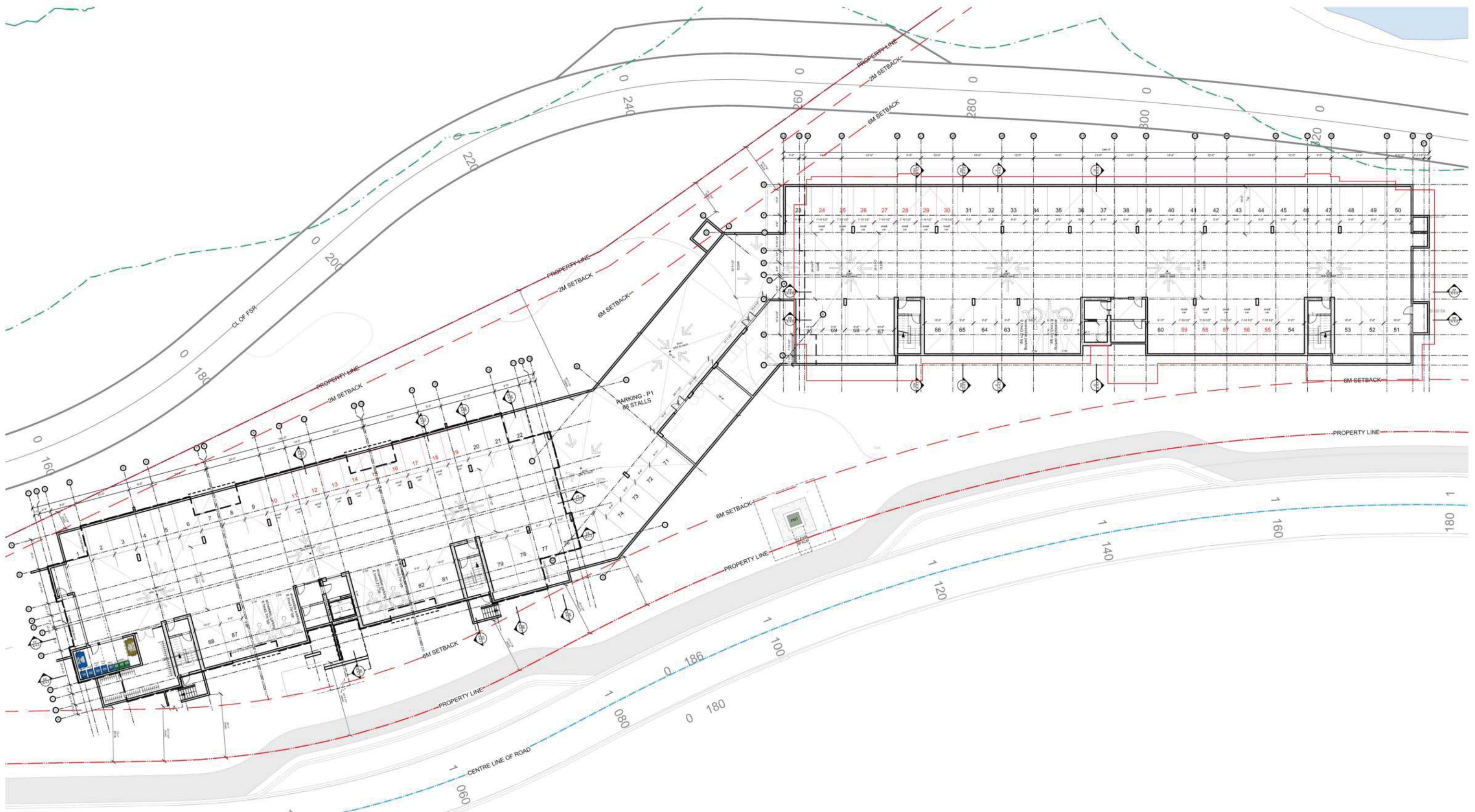
**5 ROOF - VARIANCE**  
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Sheet Title:  
**BUILDING A & LANDSCAPE - VARIANCES**  
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**1 UNDERGROUND PARKING PLAN - P1 OVERALL**  
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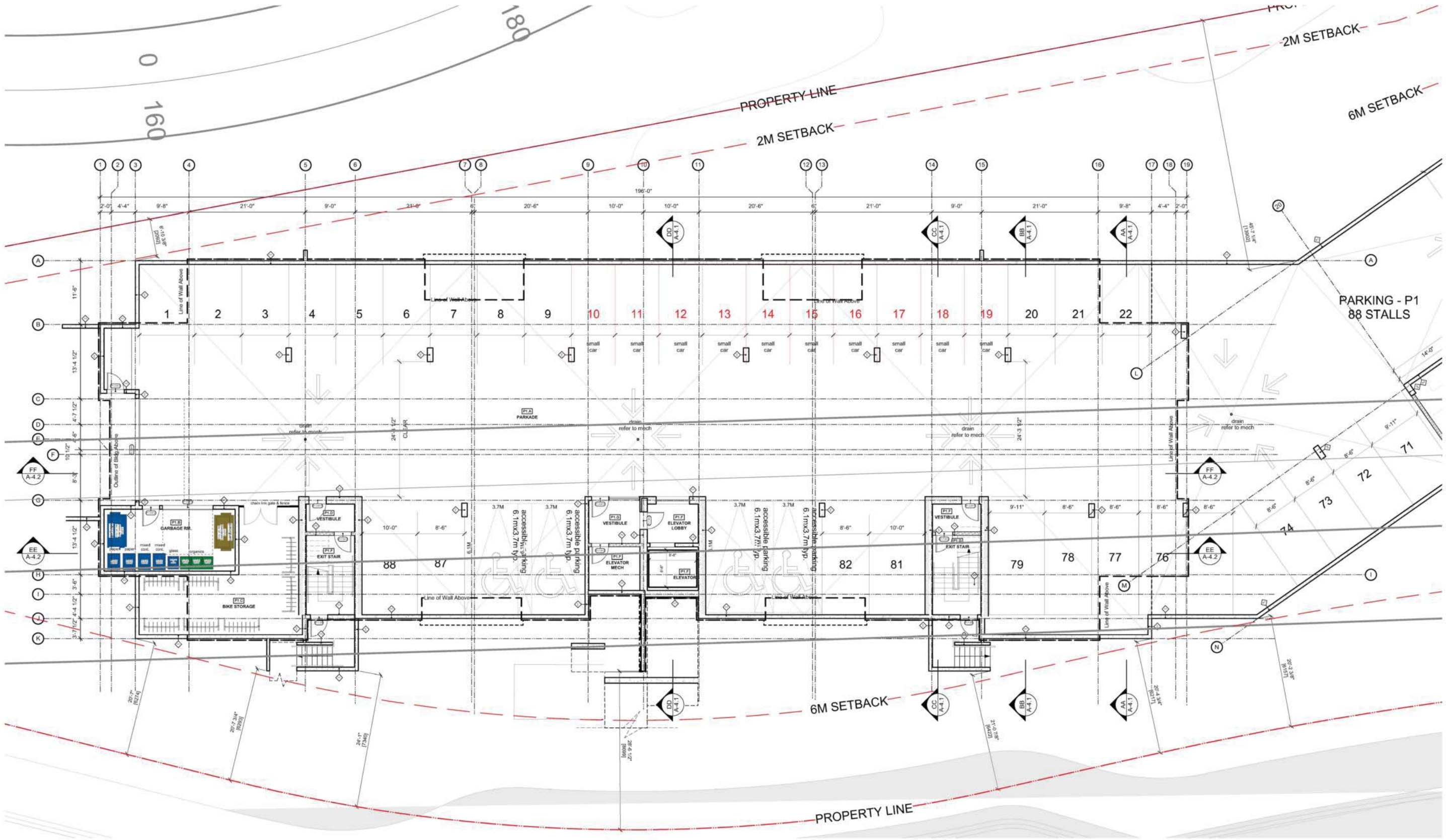
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**UNDERGROUND PARKADE PLAN - P1 OVERALL**  
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1 UNDERGROUND PARKING PLAN - BLDG A - P1  
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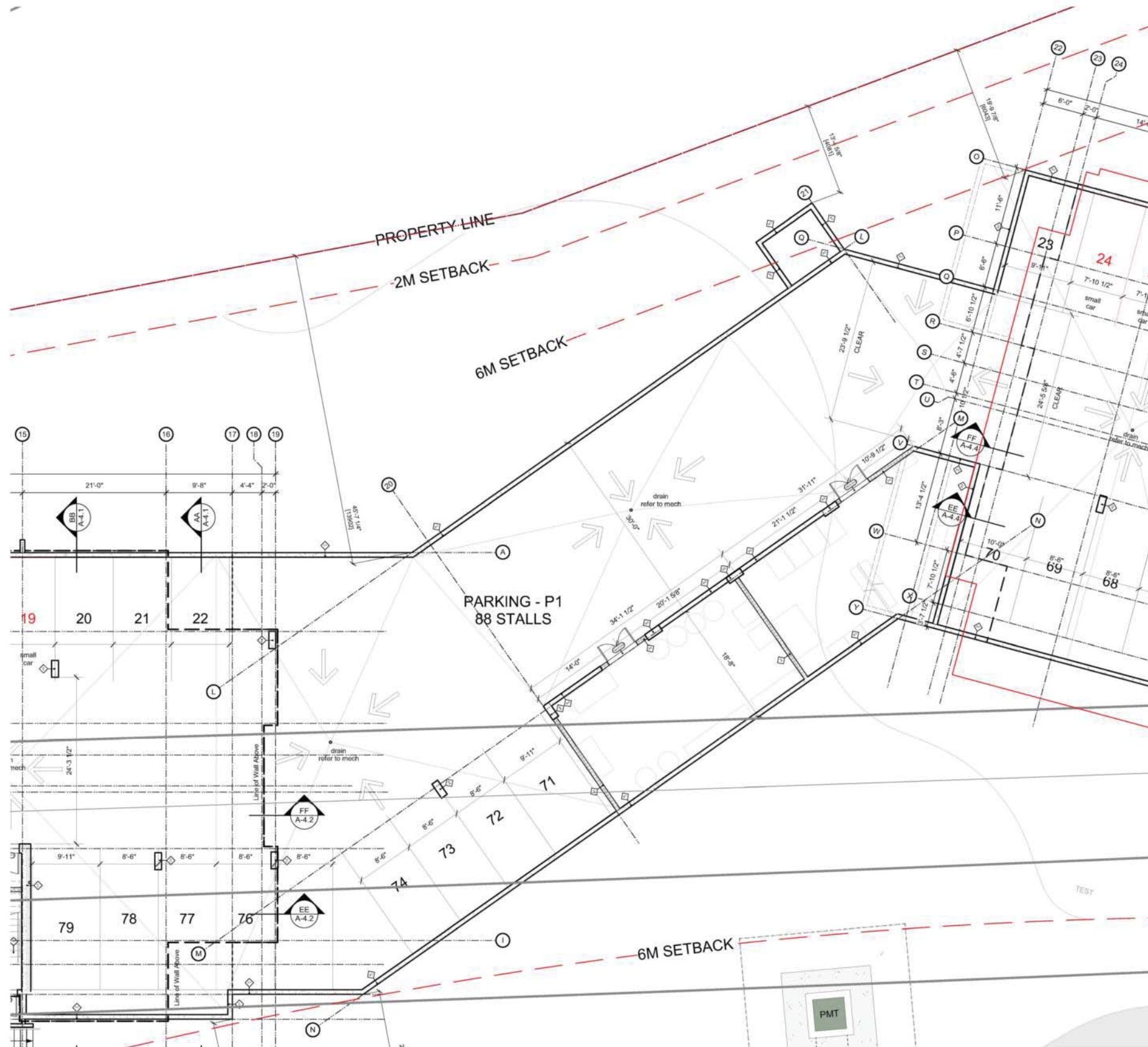
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1 UNDERGROUND PARKING PLAN - KNUCKLE - P1  
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UNDERGROUND PARKADE PLAN - KNUCKLE - P1

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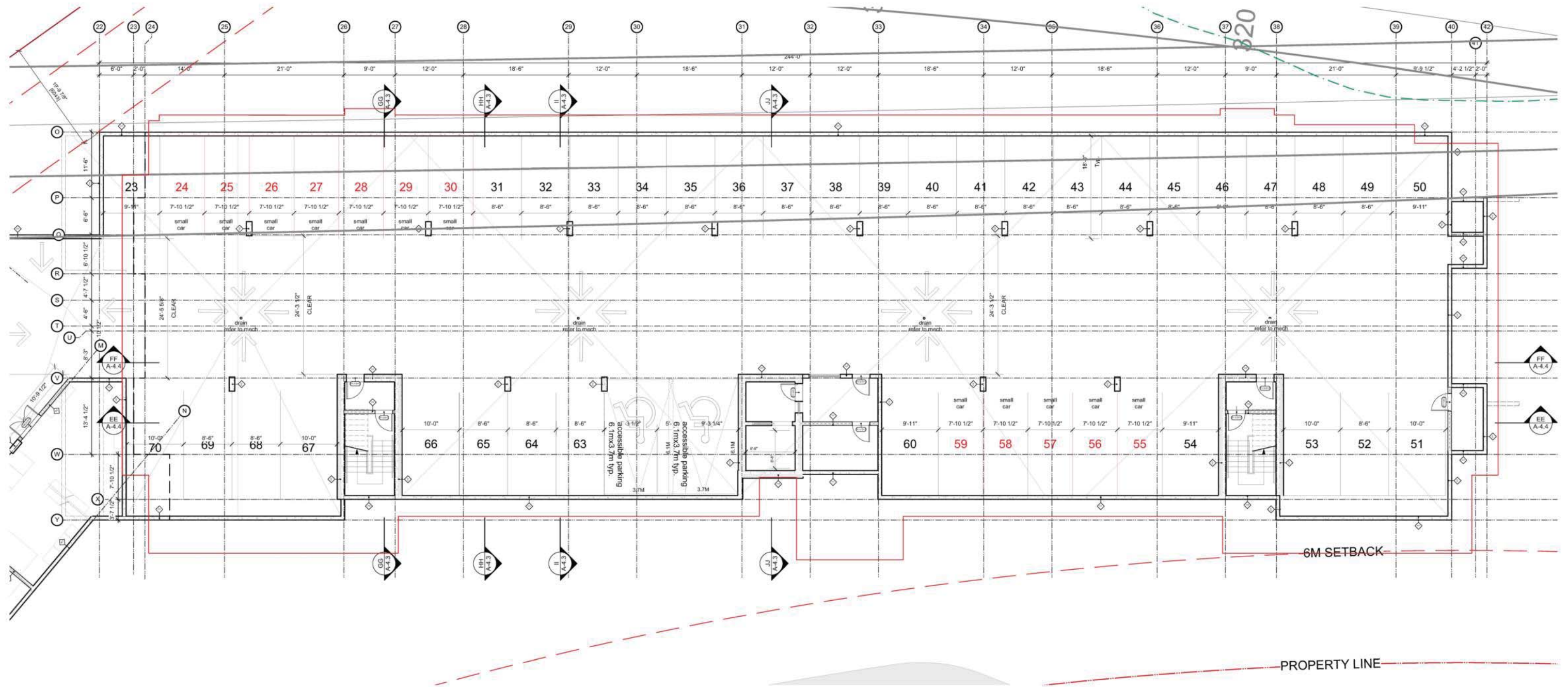
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UNDERGROUND PARKADE PLAN - KNUCKLE - P1



1 UNDERGROUND PARKING PLAN - BLDG B - P1  
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## UNDERGROUND PARKADE PLAN - BLDG B - P1

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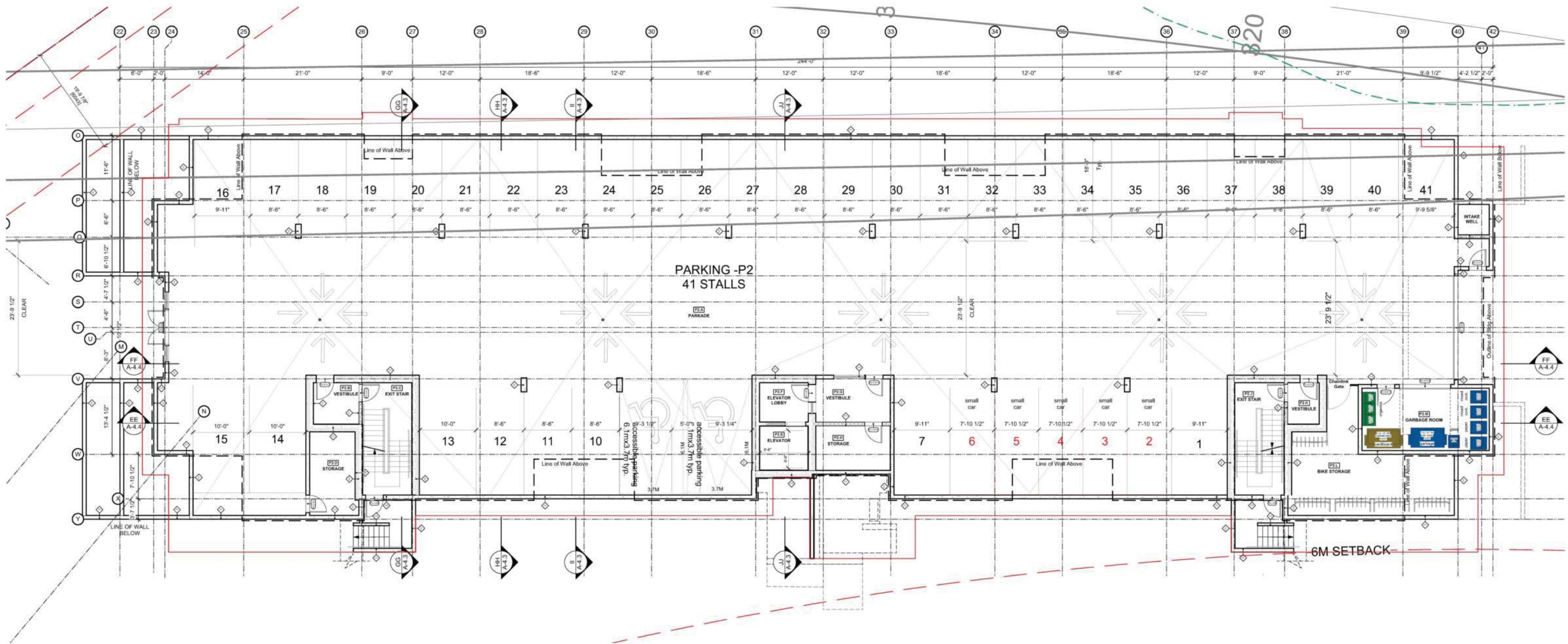
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UNDERGROUND PARKADE PLAN - BLDG B - P1



1 UNDERGROUND PARKING PLAN - BLDG B - P2  
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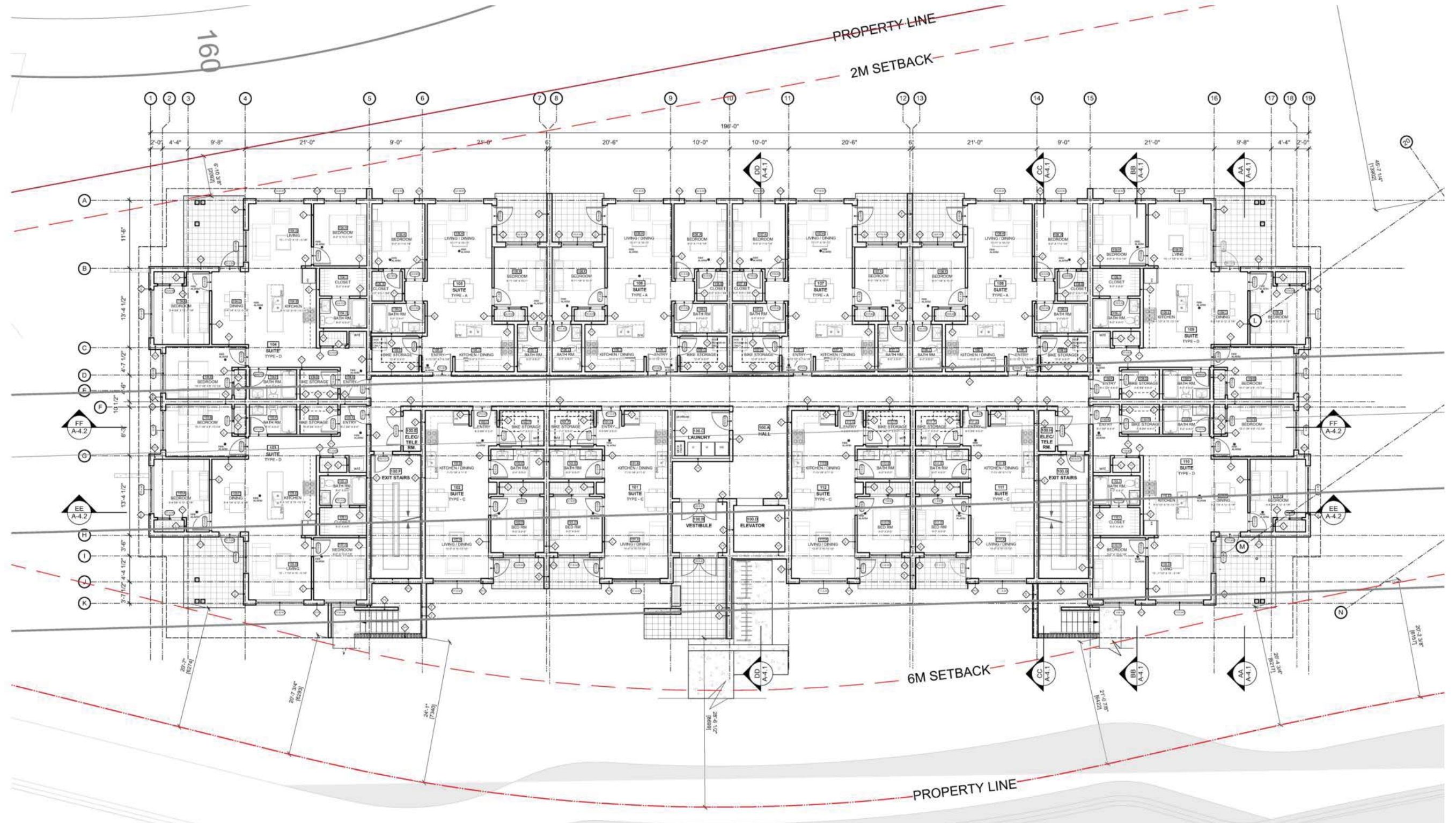
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**UNDERGROUND PARKADE PLAN - BLDG B - P2**  
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**1 GROUND FLOOR PLAN - BLDG A**  
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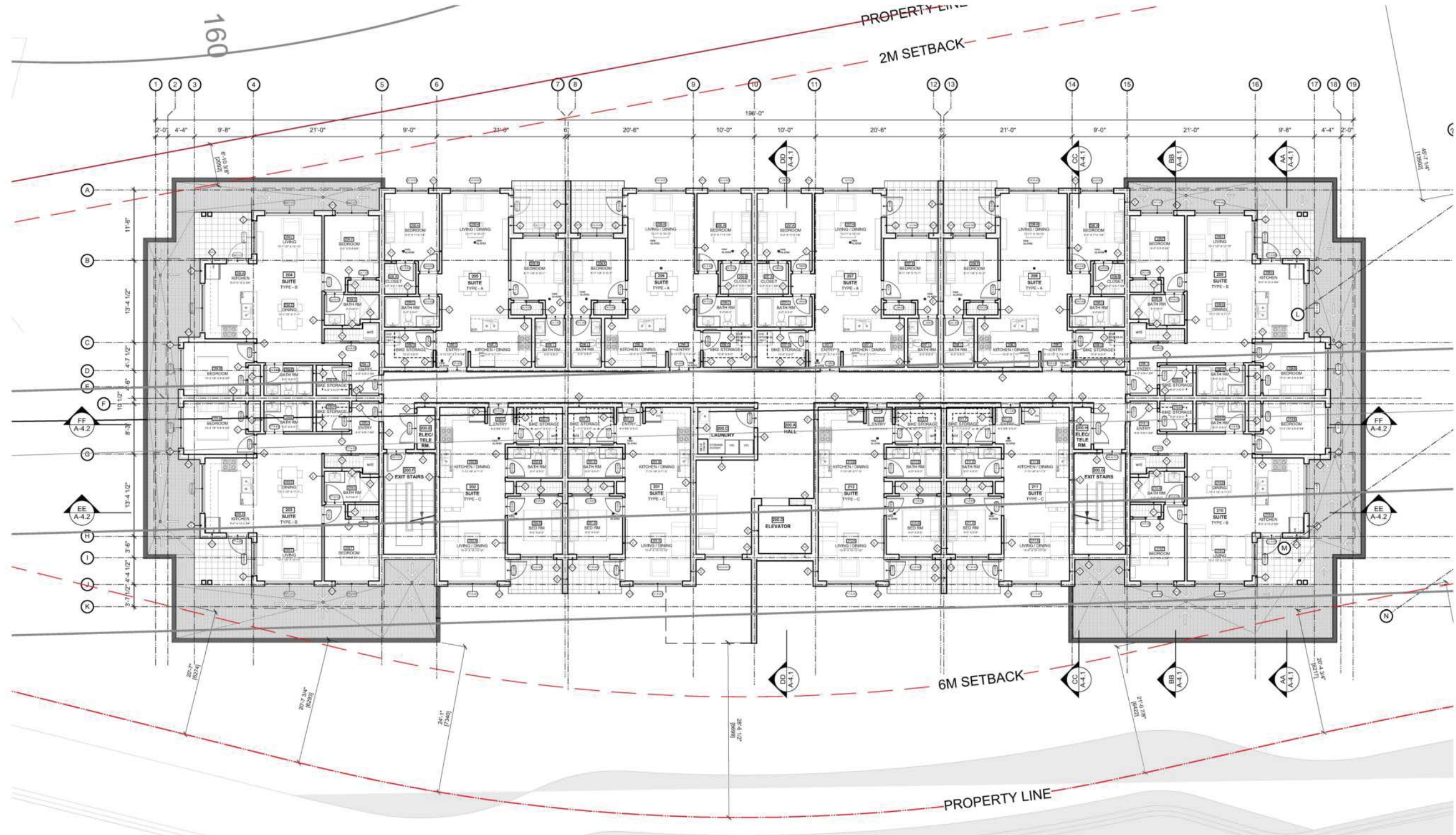
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GROUND FLOOR PLAN - BLDG A	



**1 SECOND FLOOR PLAN - BLDG A**  
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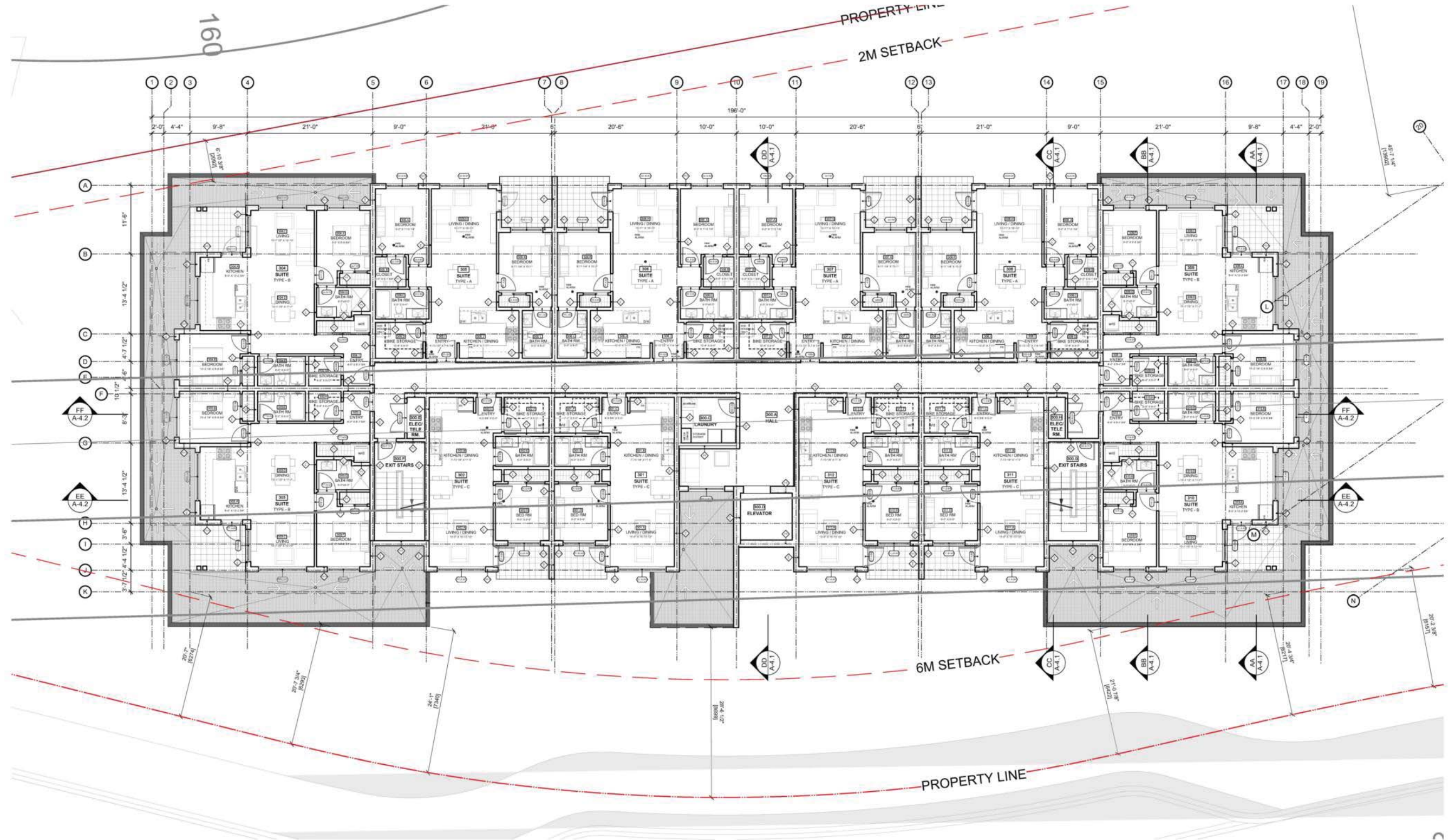
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SECOND FLOOR PLAN - BLDG A	



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## THIRD FLOOR PLAN - BLDG A

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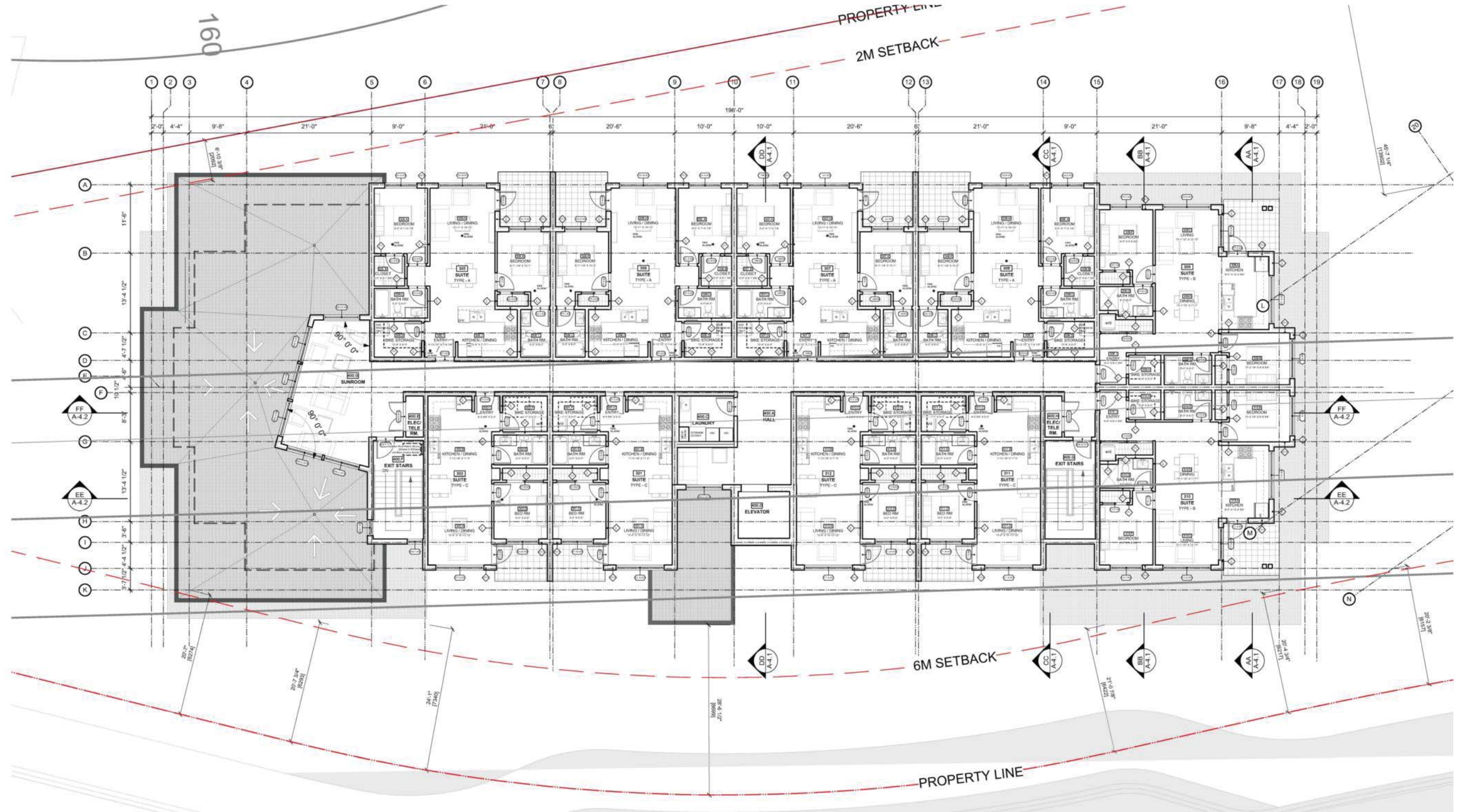
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THIRD FLOOR PLAN - BLDG A



1 FOURTH FLOOR PLAN - BLDG A  
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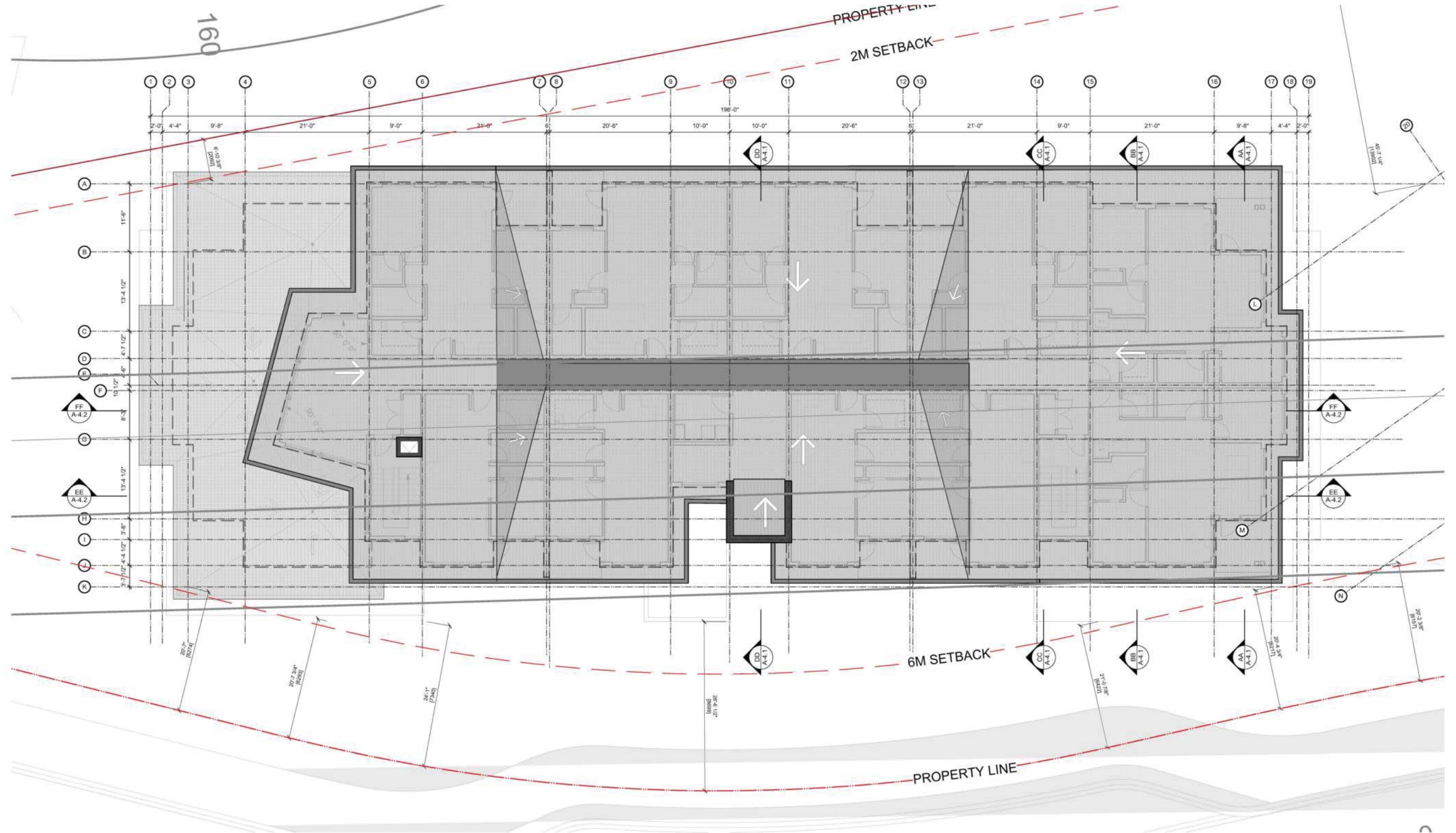
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FOURTH FLOOR PLAN - BLDG A



1 ROOF PLAN - BLDG A  
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## ROOF PLAN - BLDG A

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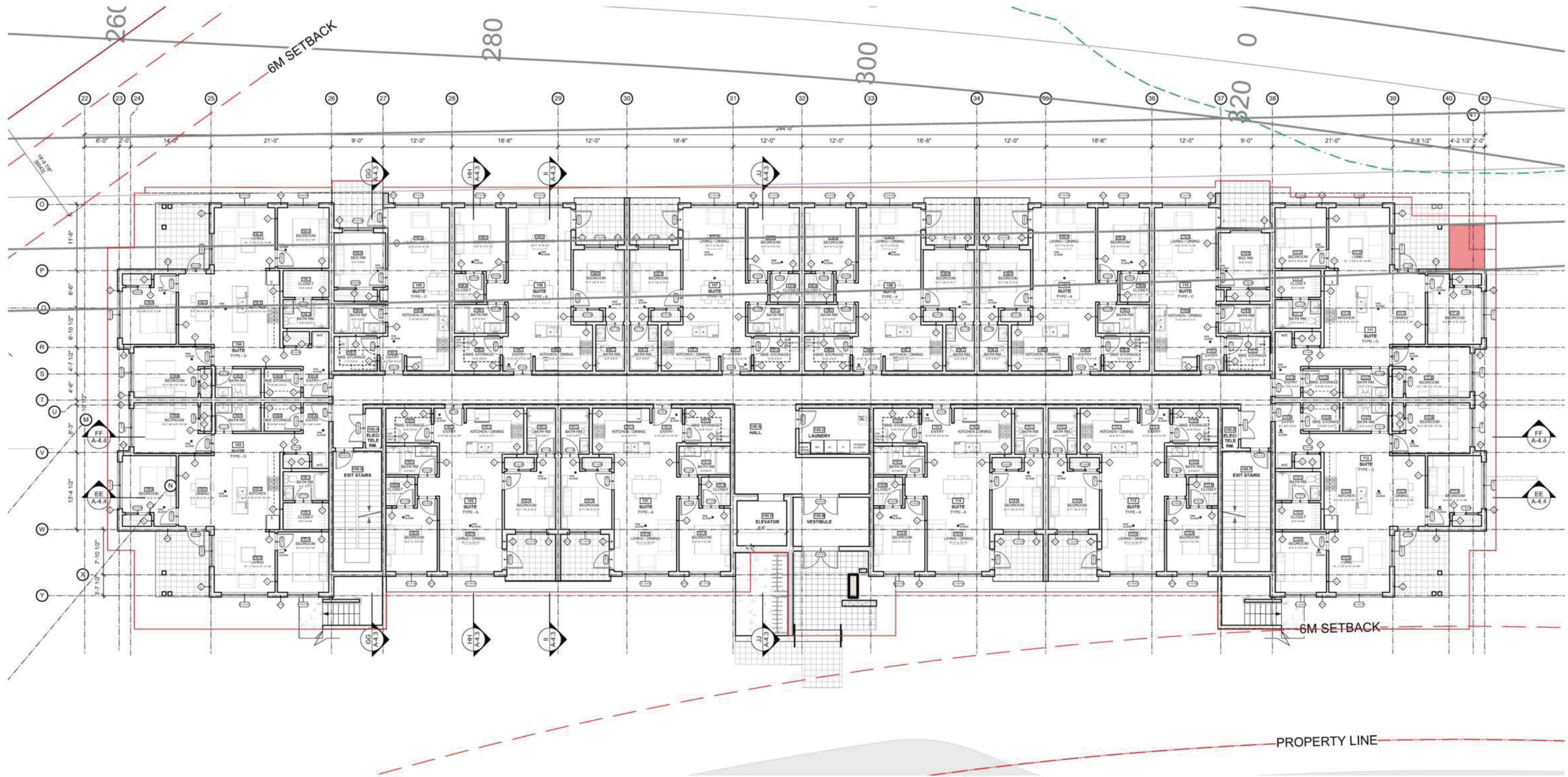
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ROOF PLAN - BLDG A



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GROUND FLOOR PLAN - BLDG B

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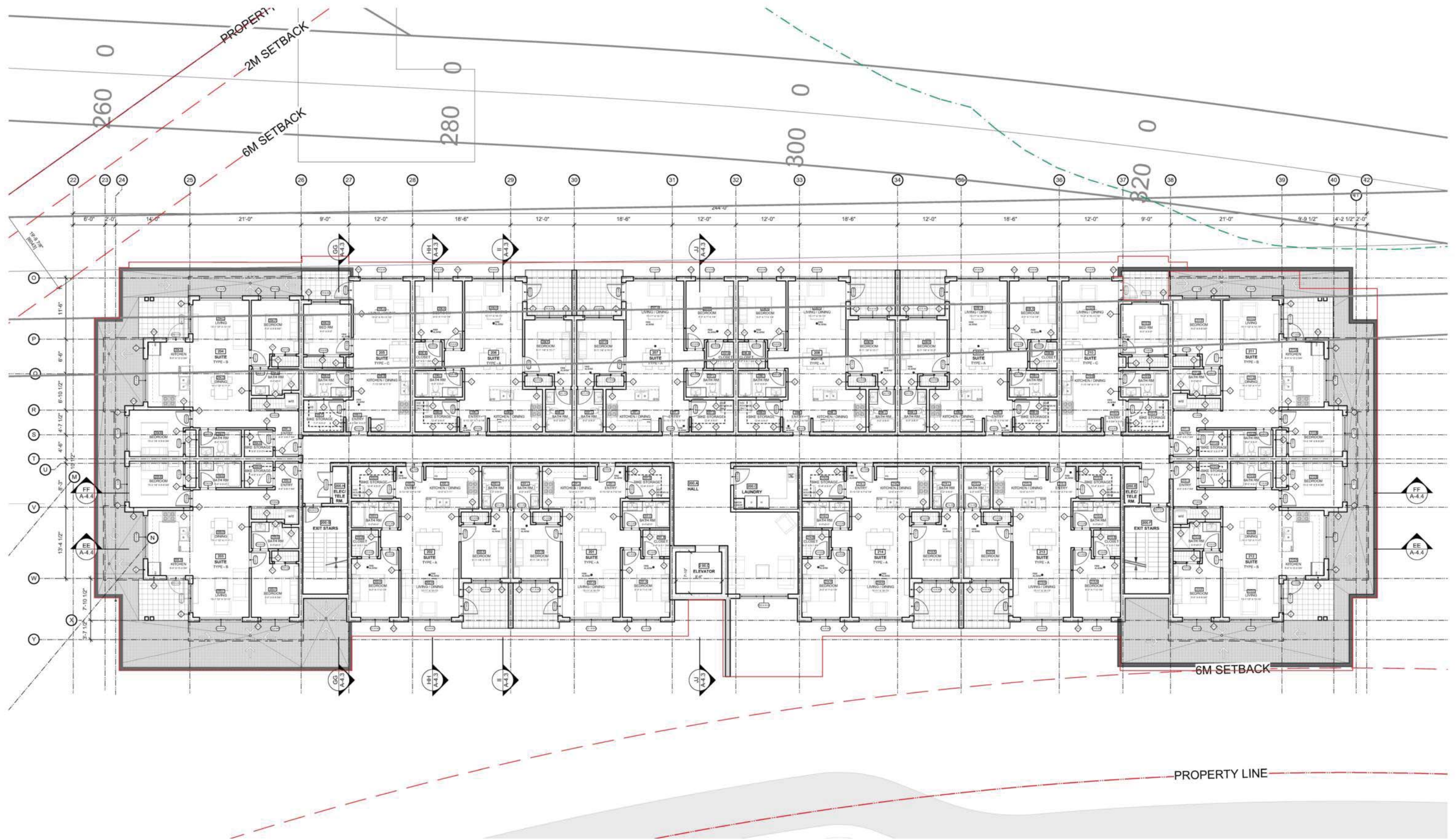
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GROUND FLOOR PLAN - BLDG B



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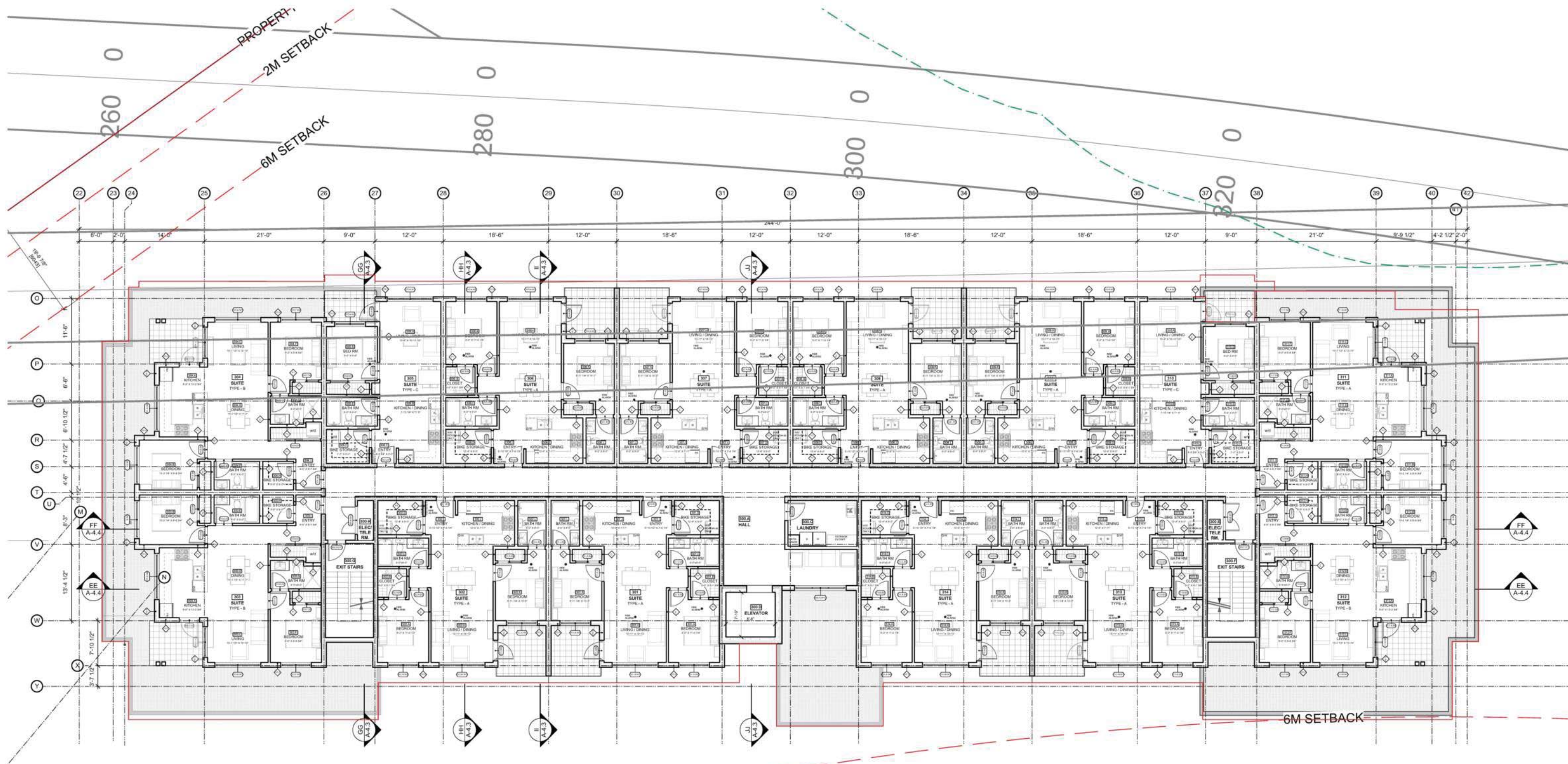
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SECOND FLOOR PLAN - BLDG B



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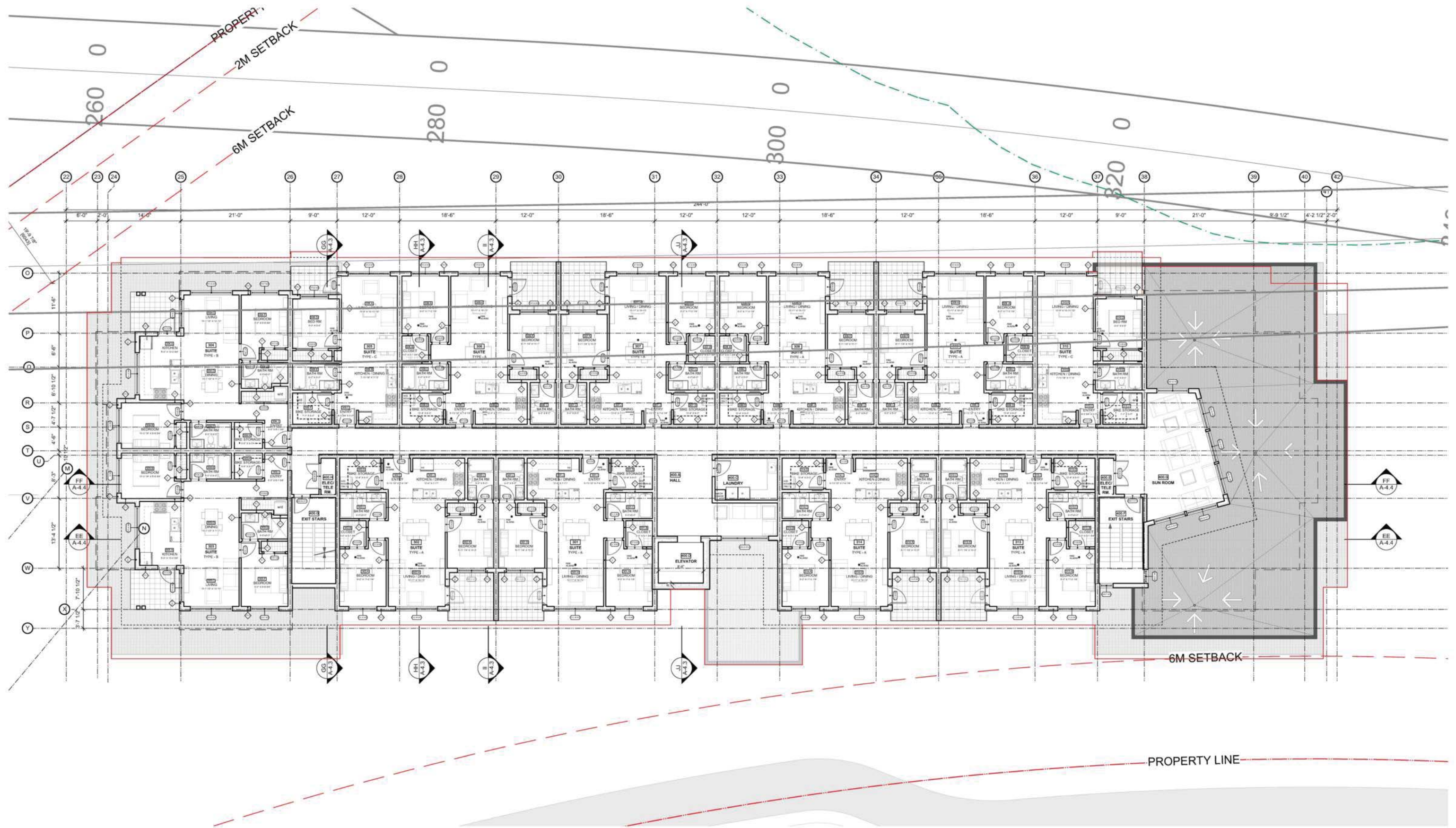
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THIRD FLOOR PLAN - BLDG B



1 FOURTH FLOOR PLAN - BLDG B  
1/8" = 1'-0" IMPERIAL

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## FOURTH FLOOR PLAN - BLDG B

Project

**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1360 MOUNT FEE ROAD, WHISTLER BC

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e-mail murdoch@telus.net

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Scale:

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1/8" = 1'0"

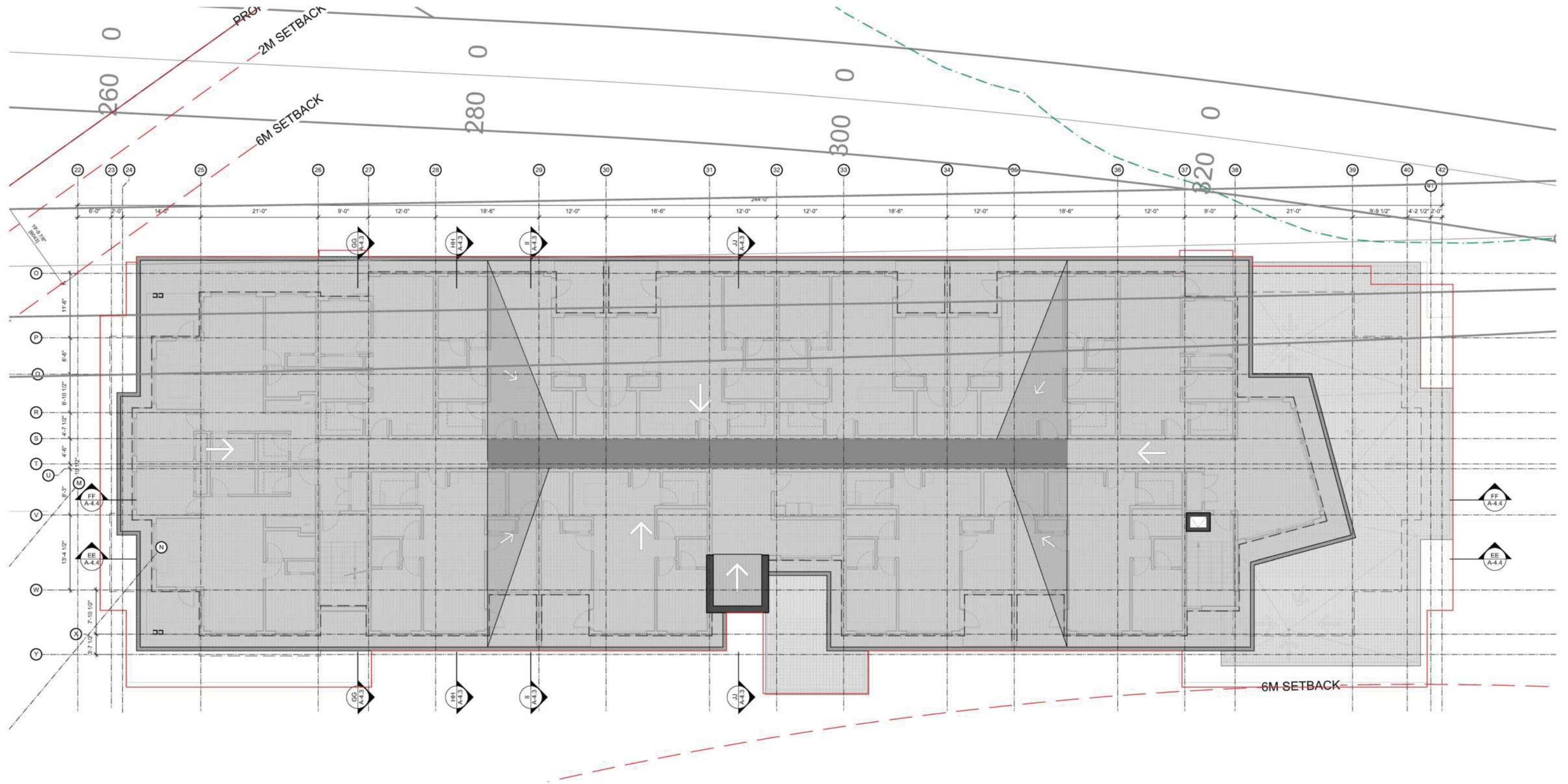
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Sheet No:

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**A-2.18**

FOURTH FLOOR PLAN - BLDG B



1 ROOF PLAN - BLDG B  
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Sheet Title:

ROOF PLAN - BLDG B

Project

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**A-2.19**

ROOF PLAN - BLDG B



1 SOUTH ELEVATION  
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2 NORTH ELEVATION  
1/8"=1'-0" IMPERIAL

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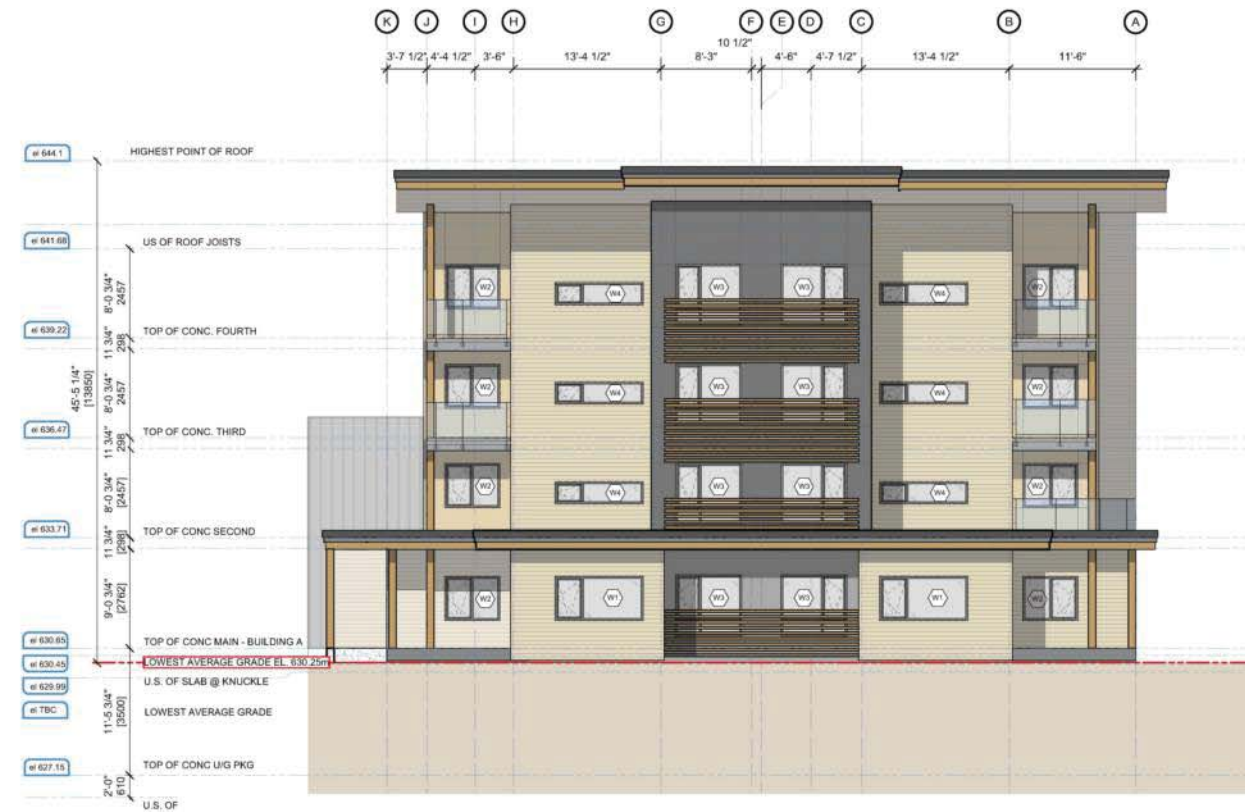
Sheet Title:  
**BUILDING ELEVATIONS I - BLDG A**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 MOUNT FEE ROAD, WHISTLER BC

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1902 **A-3.1**

BUILDING ELEVATIONS I - BLDG A



1 EAST ELEVATION  
1/8"=1'-0" IMPERIAL



2 WEST ELEVATION  
1/8"=1'-0" IMPERIAL

#### EXTERIOR FINISHES LEGEND - BUILDING A

- 1 • 2 Ply torch-on SBS membrane - Grey
- 2 • Prefinished metal flashing - Charcoal colour
- 3 • Painted hardie panel w/ prefinished metal reveal
- 4 • Painted hardie Soffit - Pearl Grey (James Hardie) .
- 5 • Horizontal hardie siding - Khaki Brown (James Hardie).
- 6 • Standing Seam Metal Wall cladding - Charcoal colour
- 7 • Glulam posts and beams - Broda - Light Oak
- 8 • Cast in place Concrete - Natural
- 9 • Pre cast concrete slabs - Natural
- 10 • PVC windows and doors - Aluminum finish
- 11 • Slatted wood screen - Broda - Light Oak
- 12 • Glass guardrails / Slatted guards w/ glass infill

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Sheet Title:

BUILDING ELEVATIONS II - BLDG A

Project

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BLOCK A, 1340 MOUNT FEE ROAD, WHISTLER BC

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Sheet No:

1902

Scale:

1/8" = 1'0"

**A-3.2**

BUILDING ELEVATIONS II - BLDG A



1 SOUTH ELEVATION  
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2 NORTH ELEVATION  
1/8"=1'-0" IMPERIAL

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Sheet Title:

BUILDING ELEVATIONS III - BLDG B

Project

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Sheet No:

**A-3.3**

BUILDING ELEVATIONS III - BLDG B



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Sheet Title:  
**BUILDING ELEVATIONS IV - BLDG B**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1360 MOUNT FEE ROAD, WHISTLER BC

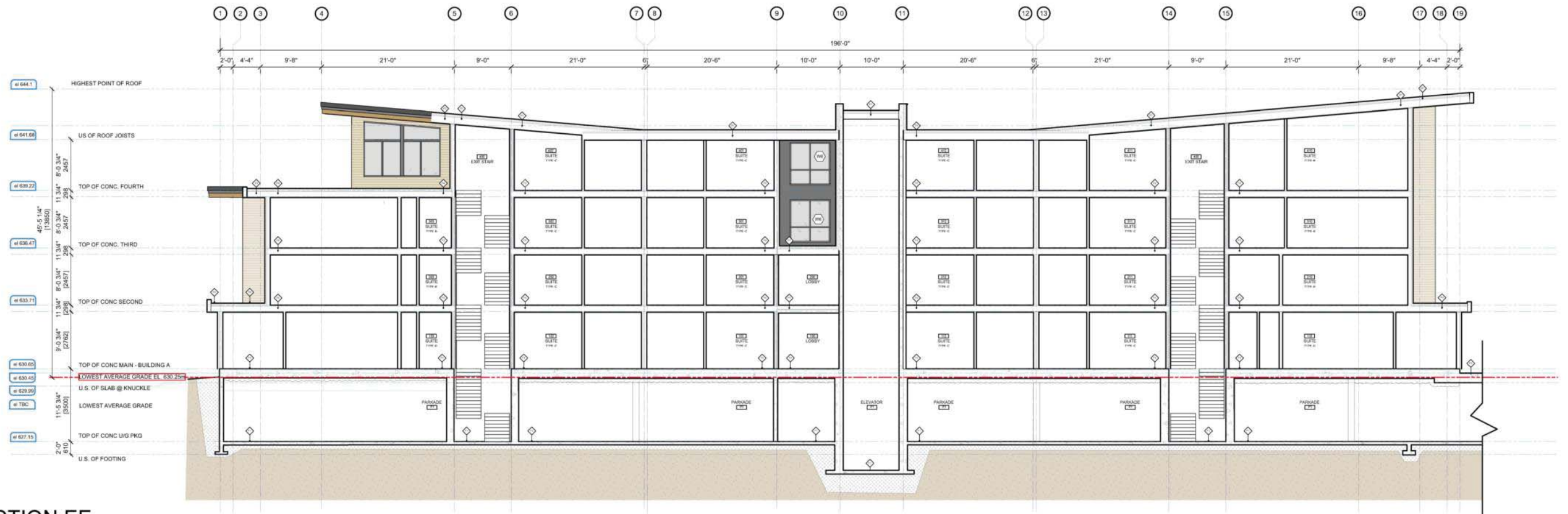
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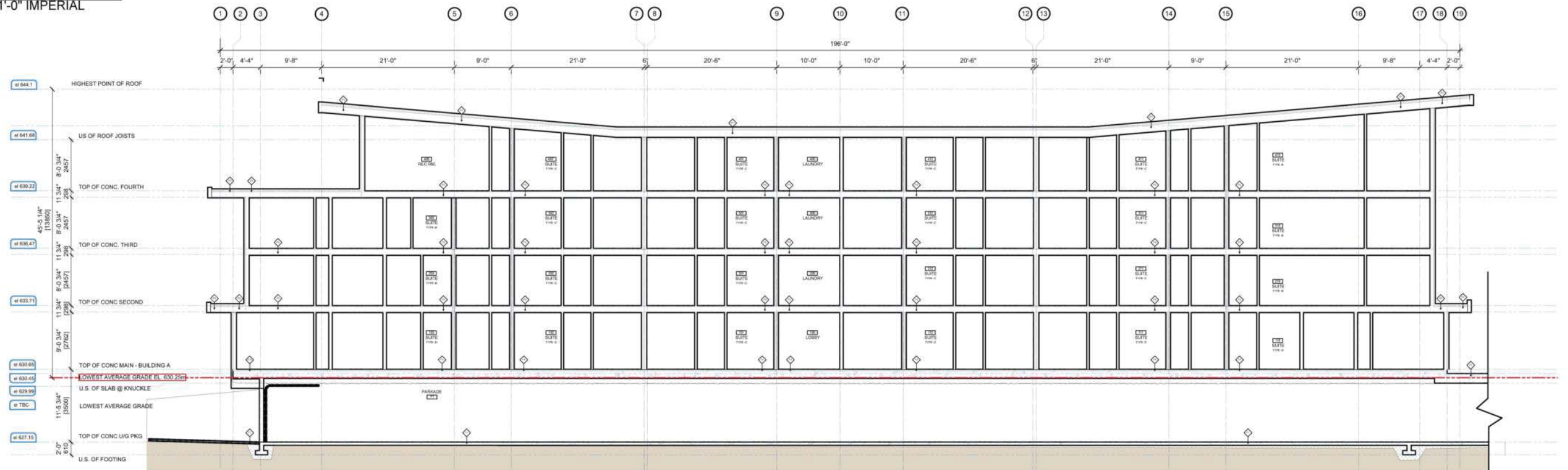
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Project No:	Sheet No:
1902	A-3

BUILDING ELEVATIONS IV - BLDG B



1 SECTION EE  
1/8" : 1'-0" IMPERIAL



2 SECTION FF  
1/8" : 1'-0" IMPERIAL

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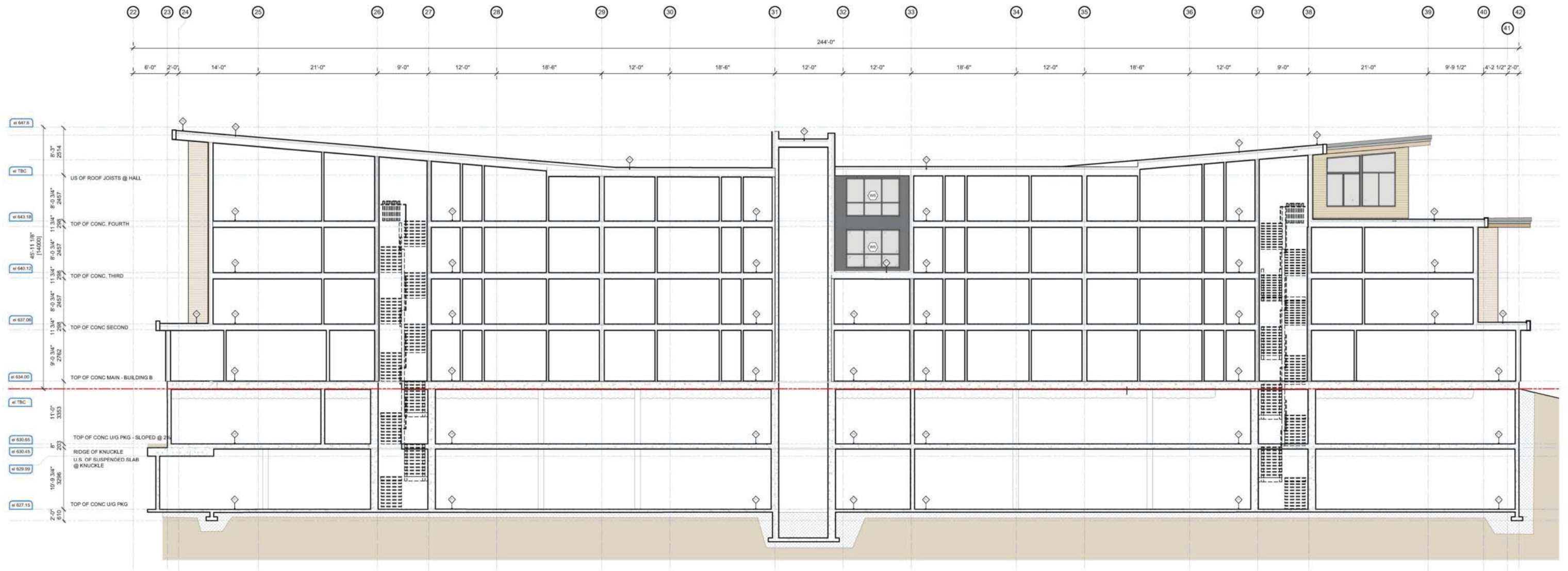
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Sheet Title:  
**BUILDING SECTIONS II - BLDG A**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 MOUNT FEE ROAD, WHISTLER BC

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BUILDING SECTIONS II - BLDG A



1 SECTION FF  
1/8" : 1'-0" imperial

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BUILDING SECTIONS V - BLDG B

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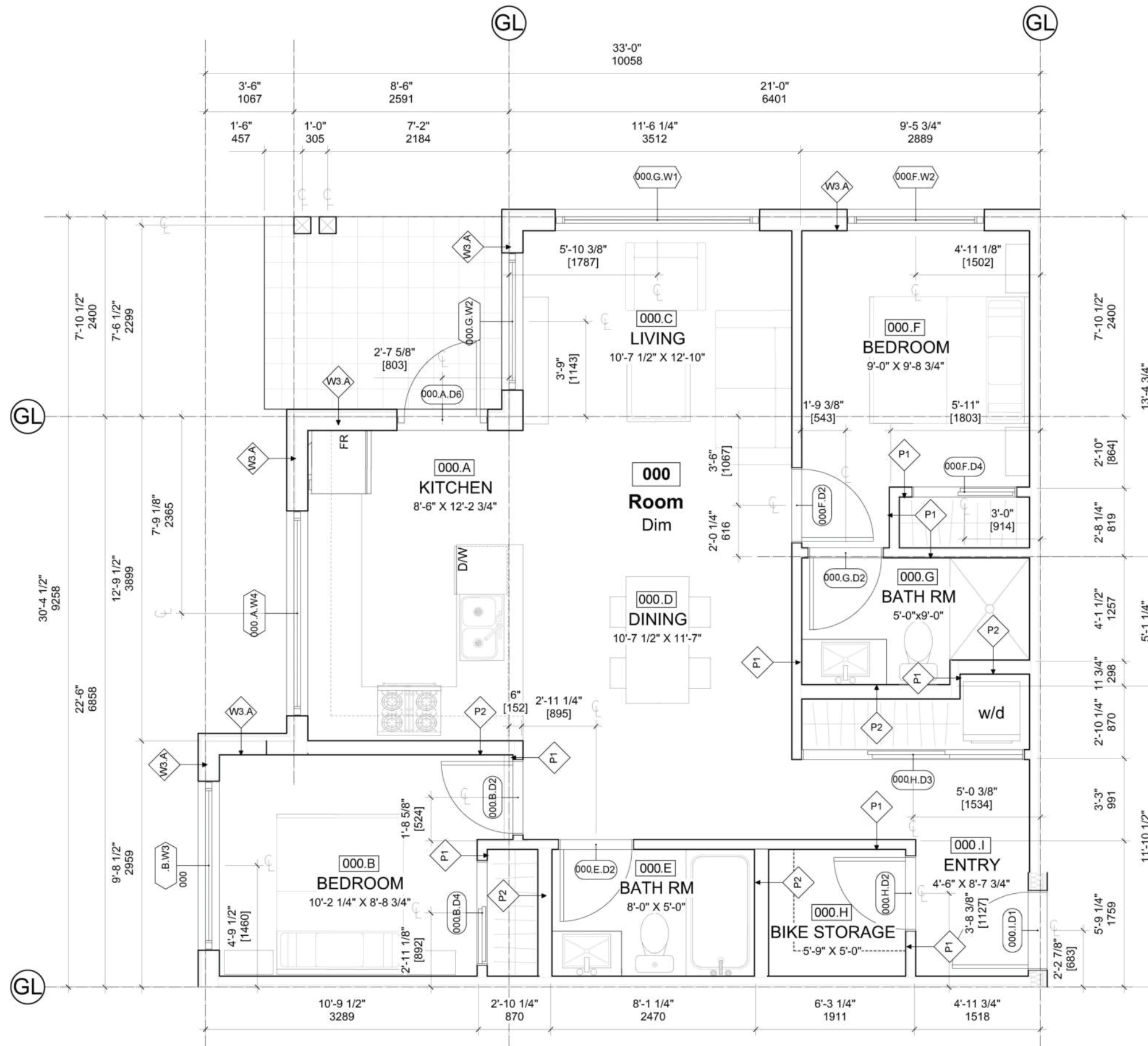
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BUILDING SECTIONS V - BLDG B





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Sheet Title:

## UNIT PLANS - TYPE 'B' - FLOOR PLAN

Project

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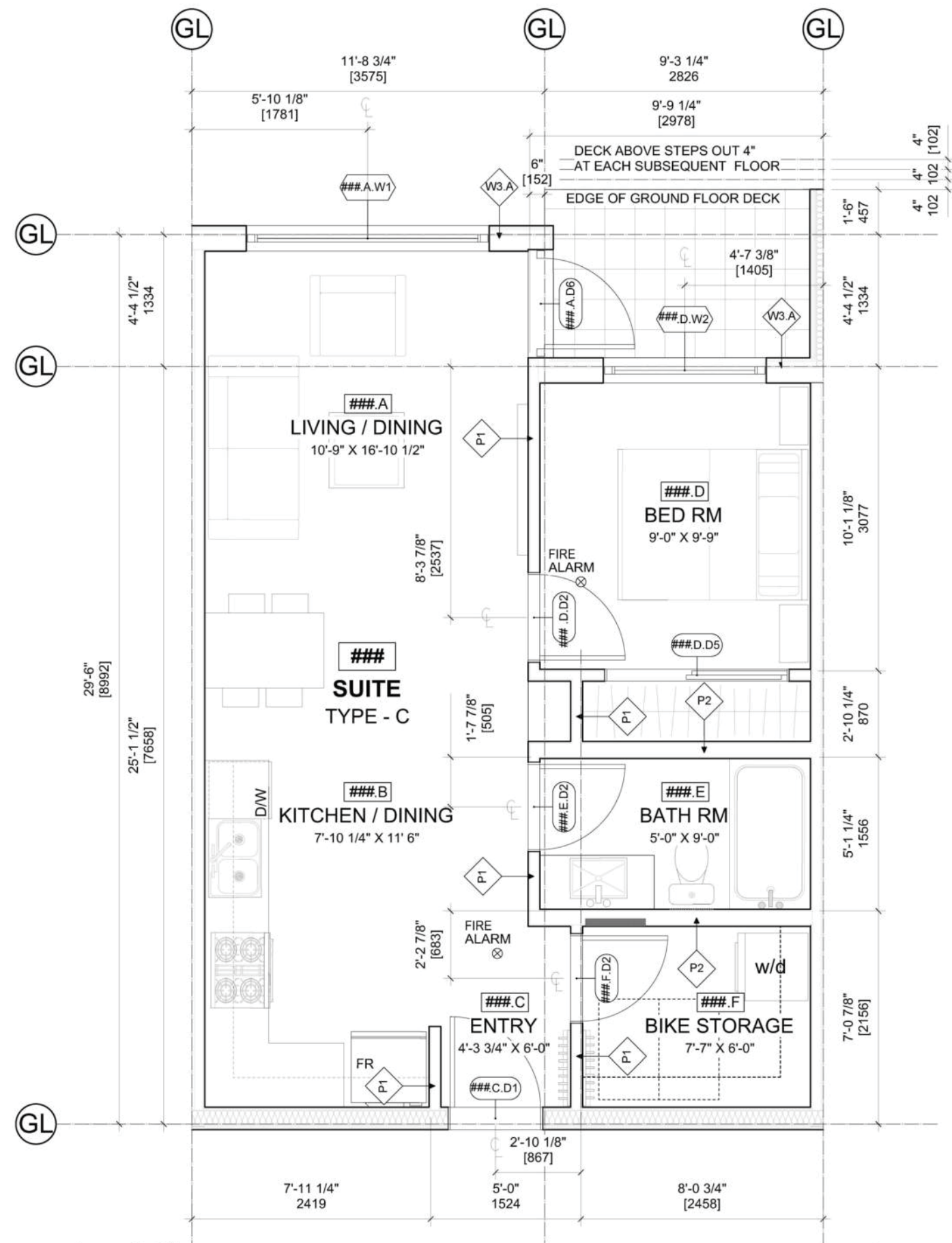
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Sheet No:

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**A-8.3**

UNIT PLANS - TYPE 'B' - FLOOR PLAN



Sheet Title:  
**UNIT PLANS - TYPE 'C' - FLOOR PLAN**  
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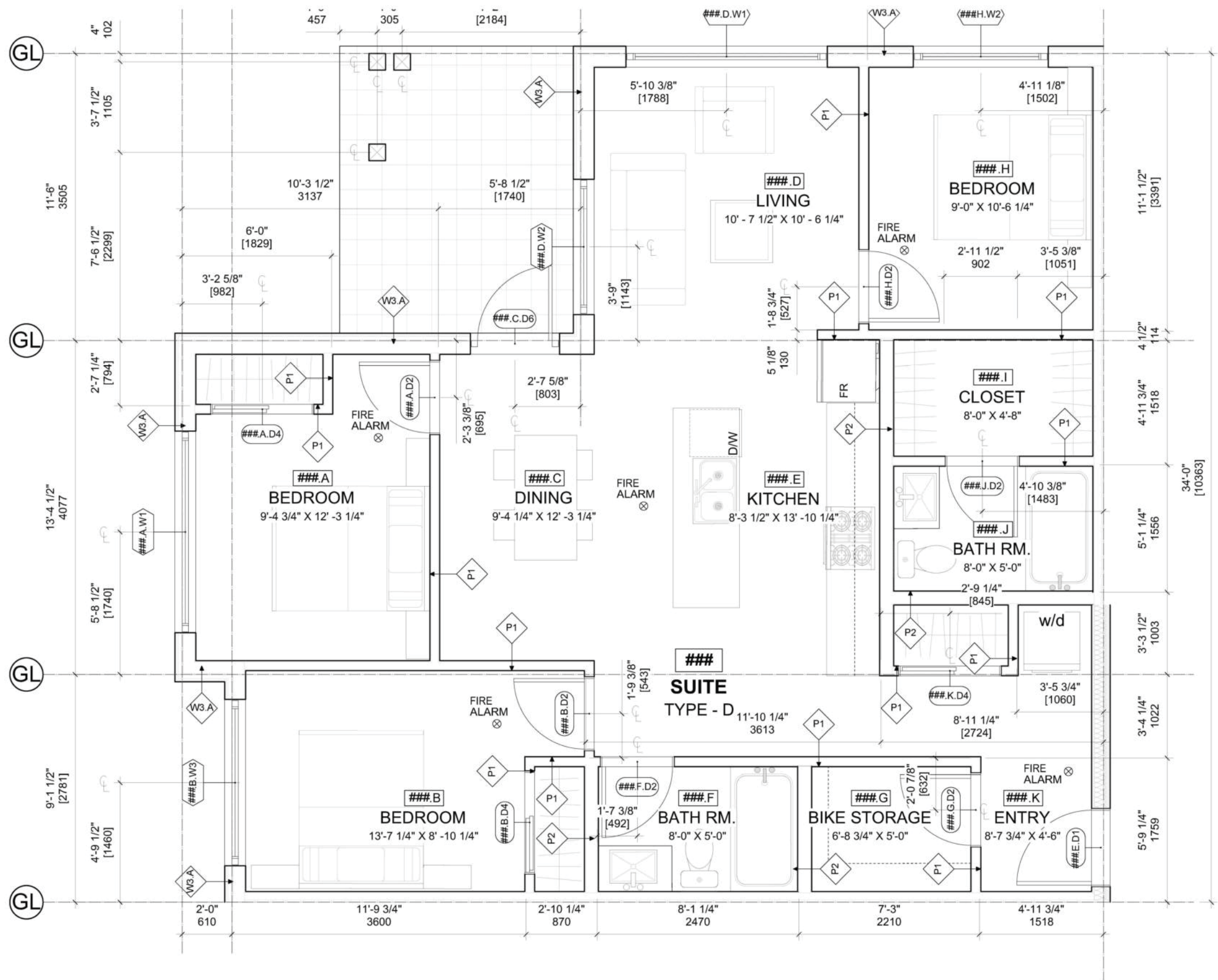
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UNIT PLANS - TYPE 'C' - FLOOR PLAN

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Sheet Title:

## UNIT PLANS - TYPE 'D' - FLOOR PLAN

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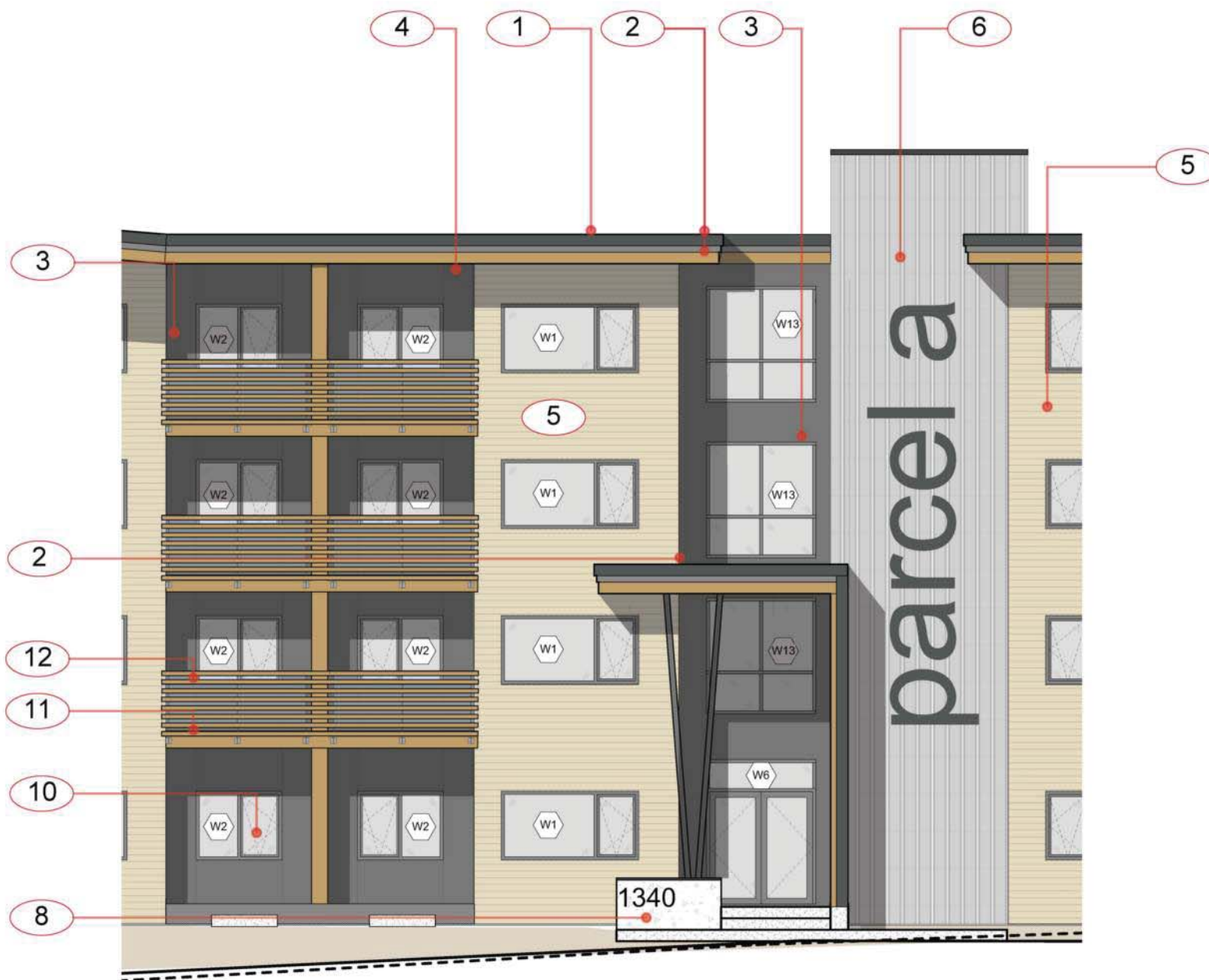
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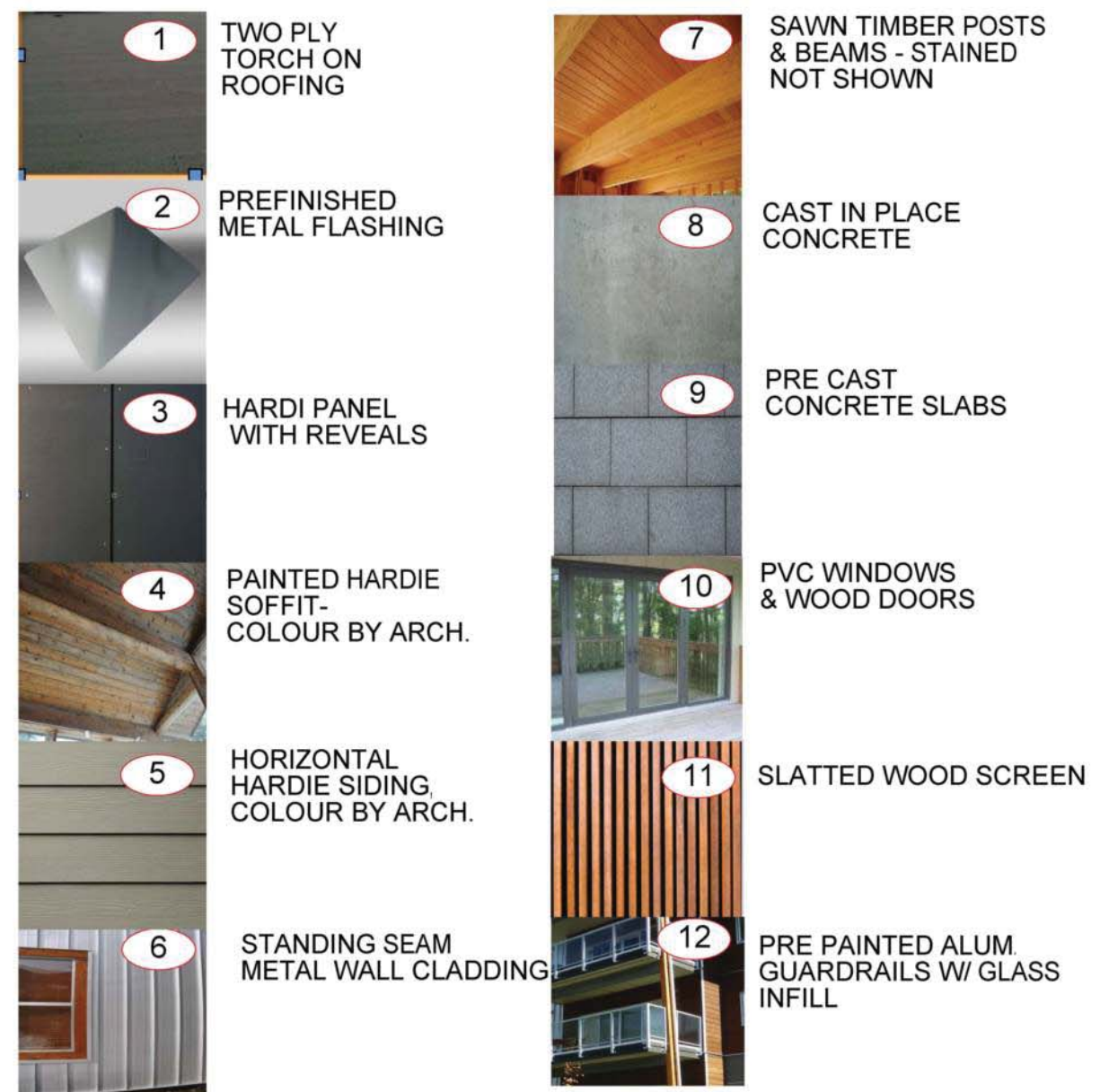
1902

**A-8.7**

UNIT PLANS - TYPE 'D' - FLOOR PLAN



1 South Elevation - Building A  
1/4" = 1'-0" imperial



EXTERIOR FINISHES LEGEND - BUILDING A

1	• 2 Play torch -on SBS membrane - Grey
2	• Prefinished metal flashing - Charcoal colour
3	• Painted hardie panel w/ prefinished metal reveal
4	• Painted hardie Soffit - Pearl Grey (James Hardie) .
5	• Horizontal hardie siding - Khaki Brown (James Hardie).
6	• Standing Seam Metal Wall cladding - Charcoal colour
7	• Glulam posts and beams - Broda - Light Oak
8	• Cast in place Concrete - Natural
9	• Pre cast concrete slabs - Natural
10	• PVC windows and doors - Aluminum finish
11	• Slatted wood screen - Broda - Light Oak
12	• Glass guardrails / Slatted guards w/ glass infill

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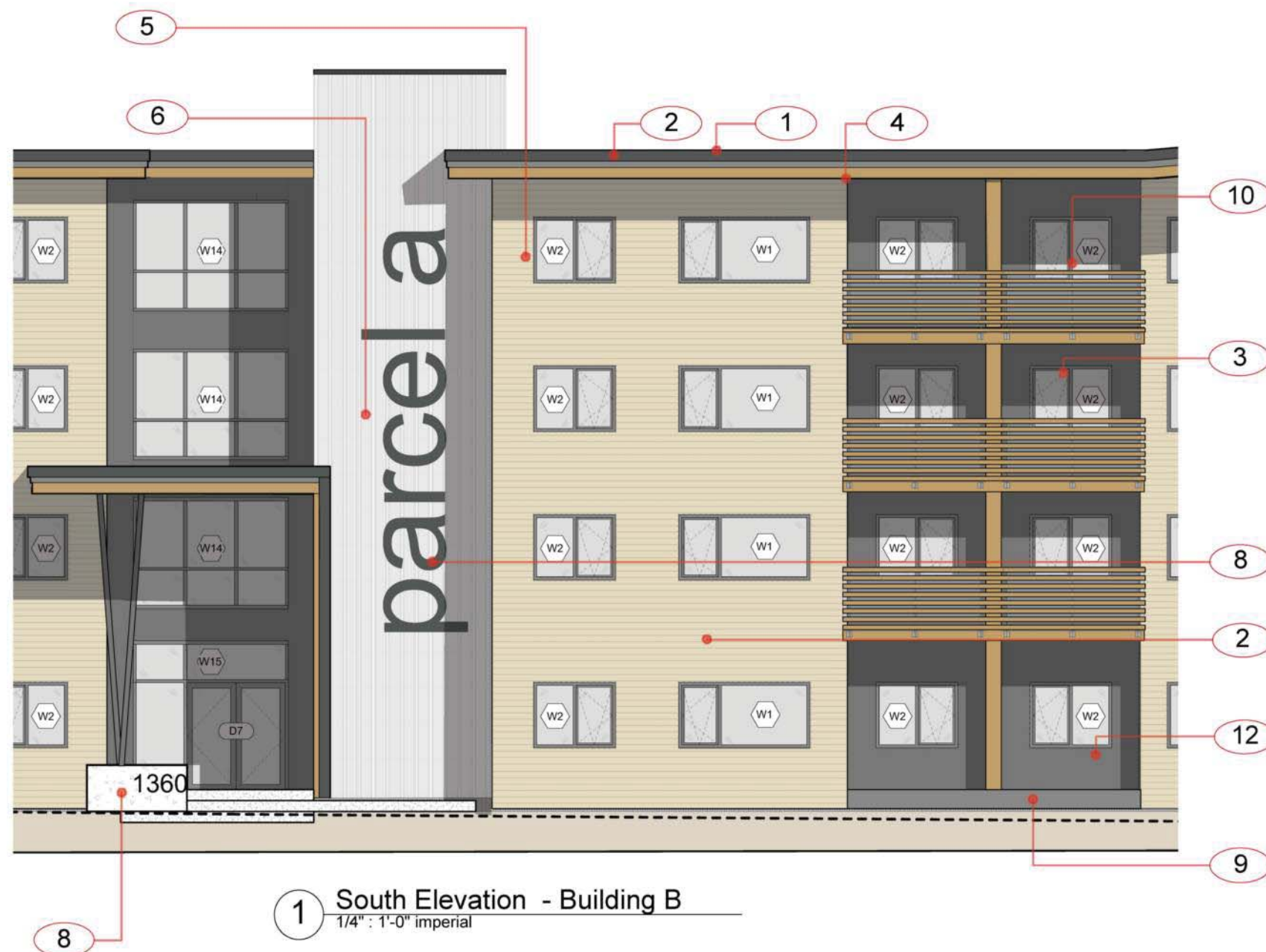
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Sheet Title:  
**MATERIAL BOARD - BUILDING A**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 & 1360 MOUNT FEE ROAD, WHISTLER BC

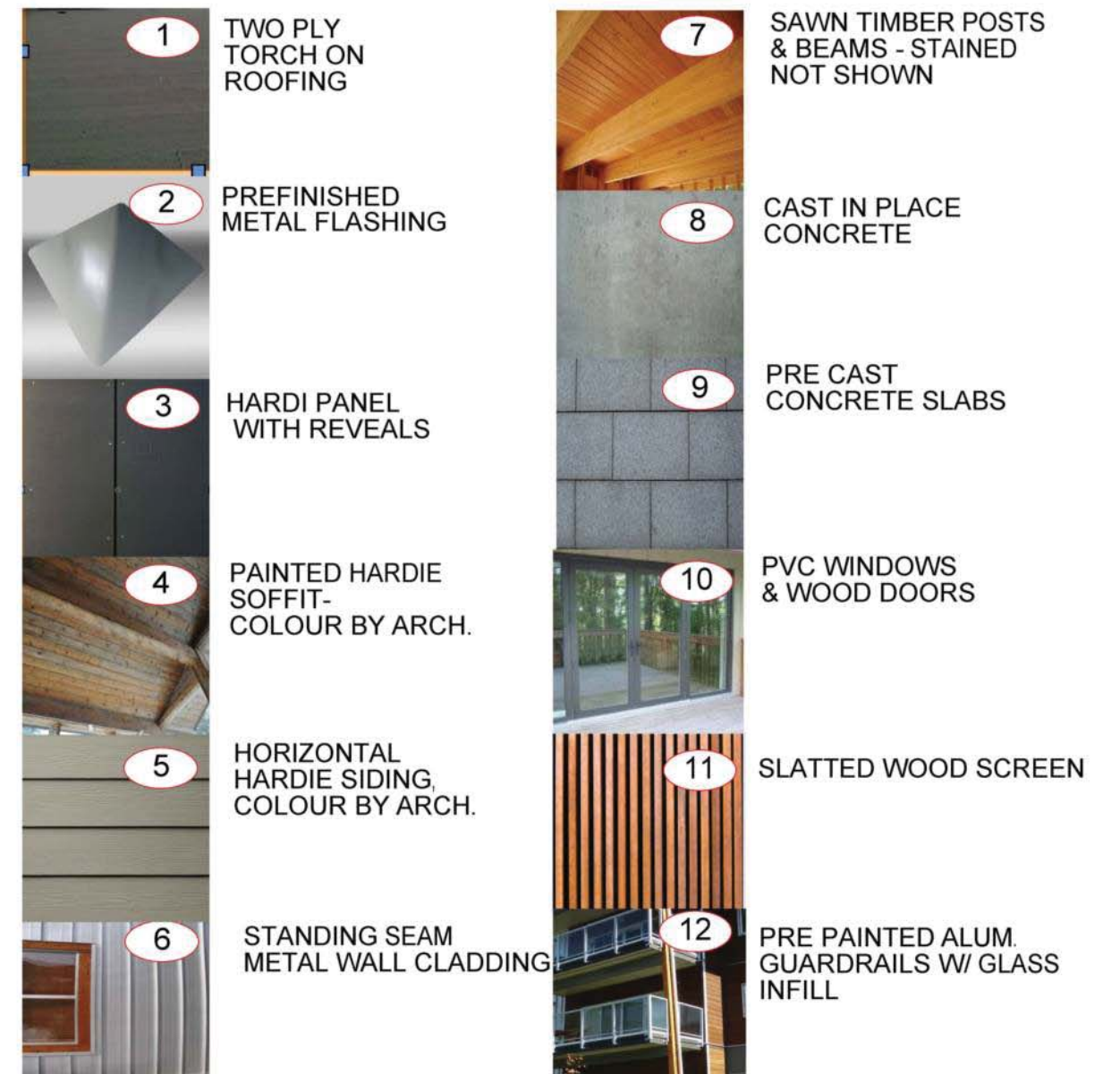
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Project No:	Sheet No:
1902	<b>A-9.1A</b>
MATERIAL BOARD - BUILDING A	



1 South Elevation - Building B  
1/4" = 1'-0" Imperial



EXTERIOR FINISHES LEGEND - BUILDING A

- 1 • 2 Ply torch-on SBS membrane - Grey
- 2 • Prefinished metal flashing - Charcoal colour
- 3 • Painted hardie panel w/ prefinished metal reveal
- 4 • Painted hardie Soffit - Pearl Grey (James Hardie)
- 5 • Horizontal hardie siding - Khaki Brown (James Hardie)
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Sheet Title:

## MATERIAL BOARD - BUILDING B

Project

**WHISTLER DEVELOPMENT CORPORATION**  
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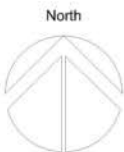
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MATERIAL BOARD - BUILDING B



RATA PLAN  
S26

INDER BLOCK A  
RICT LOT 8073

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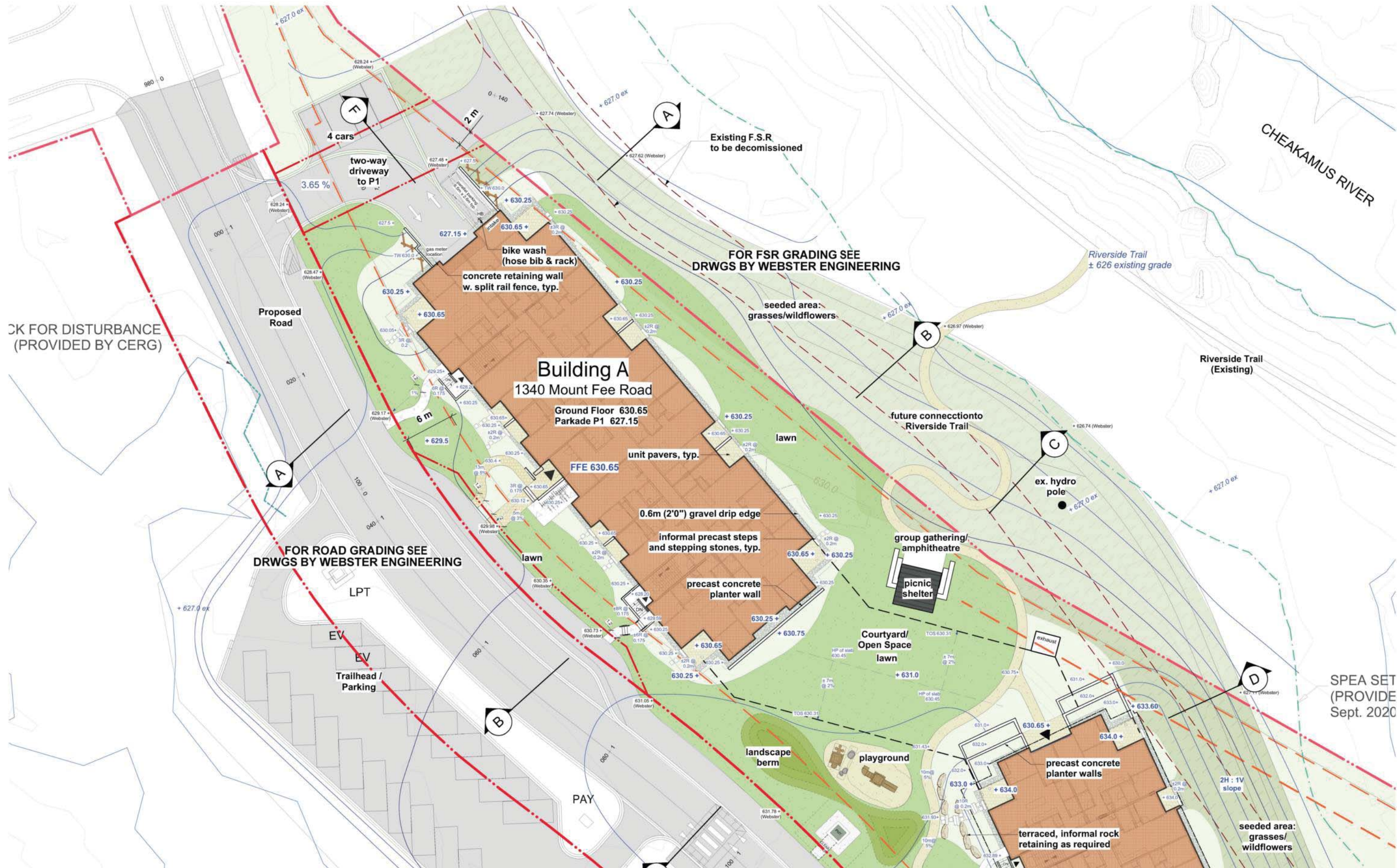
Sheet Title:  
**SITE GRADING PLAN**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 & 1360 Mount Fee Road, Whistler, BC

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Project No: 1902  
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SITE GRADING PLAN



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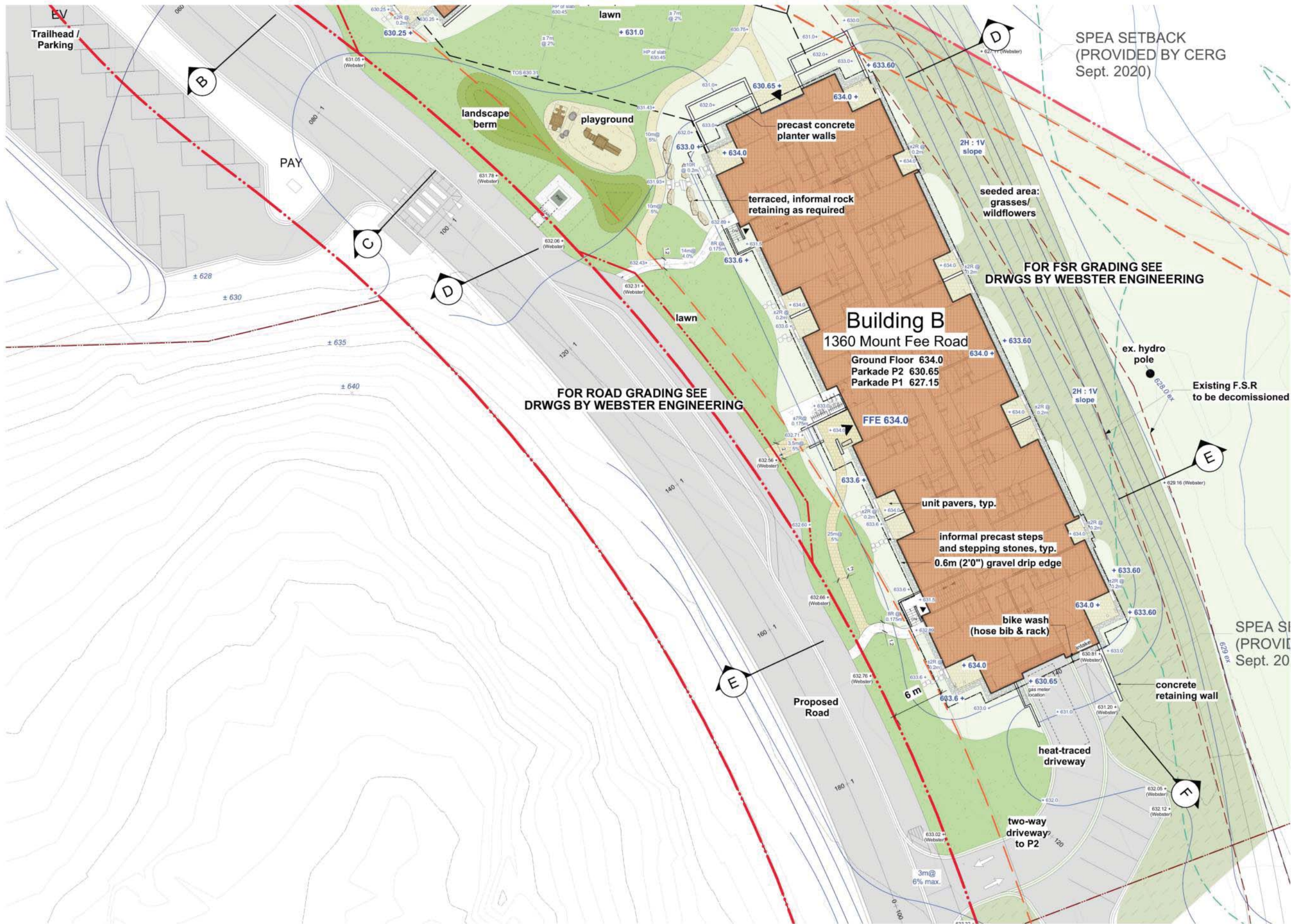
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**SITE GRADING - BUILDING A**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 & 1360 Mount Fee Road, Whistler, BC

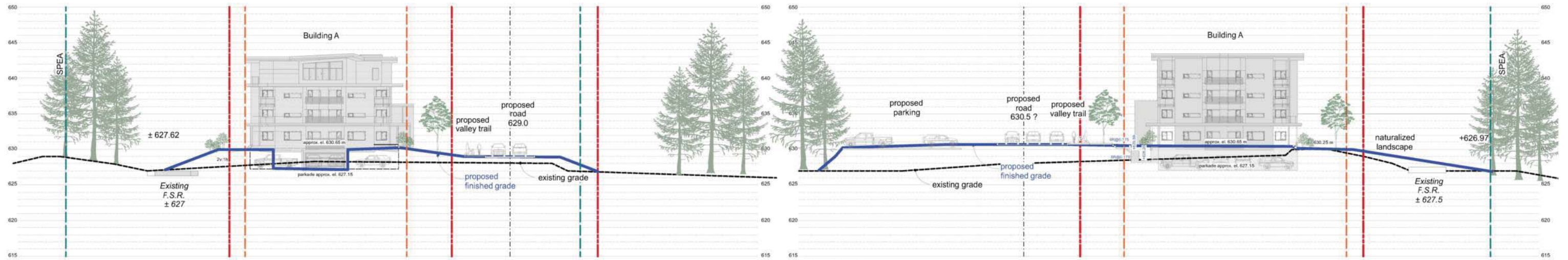
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Project No: 1902  
Sheet No: **L-1.1A**

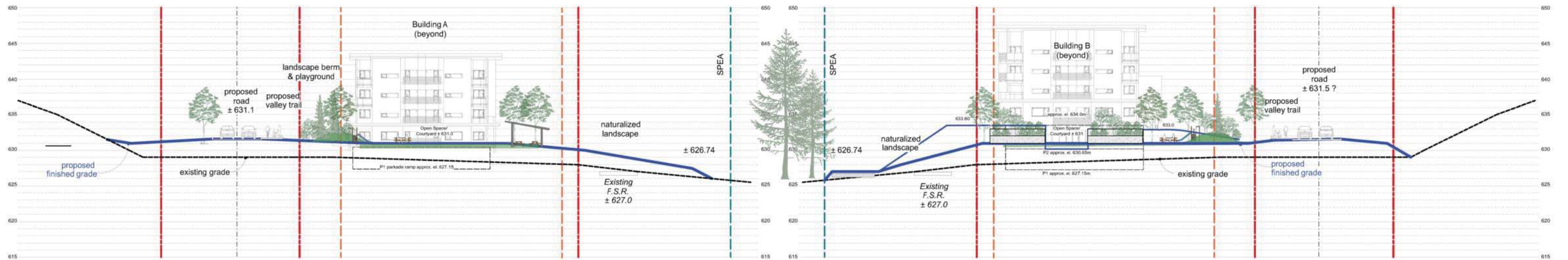
SITE GRADING - BUILDING A





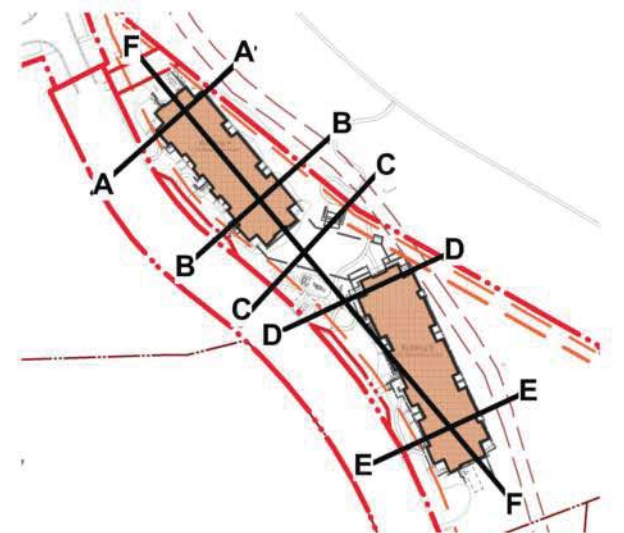
site section A

site section B

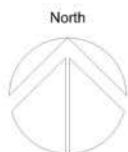


site section C - view towards Building A

site section C - view towards Building B



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ISSUED FOR ADP	NOV. 6 2019
COORDINATION	DEC. 20 2019
DP SUBMISSION	SEPT. 04 2020

Issued For:	Date:

Sheet Title:

## SITE SECTIONS

Project

## WHISTLER DEVELOPMENT CORPORATION

BLOCK A, 1340 & 1360 Mount Fee Road, Whistler, BC

Sealed By:

MURDOCH+COMPANY  
ARCHITECTURE + PLANNING LTD.  
#106-4319 Main Street  
P.O. Box 1394  
Whistler, B.C. V0N 1B0  
Ph: 905-6992  
e-mail: murdoch@telus.net

Drawn By:

BM/JL

Project No:

1902

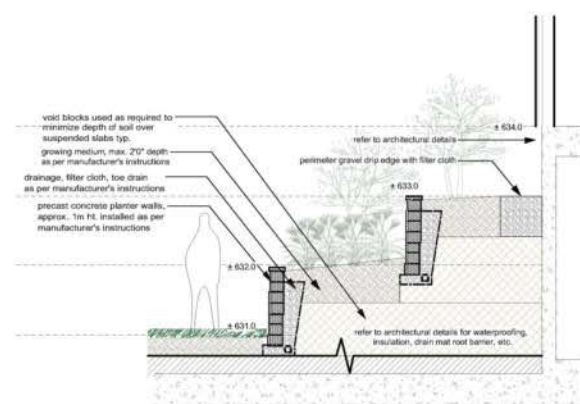
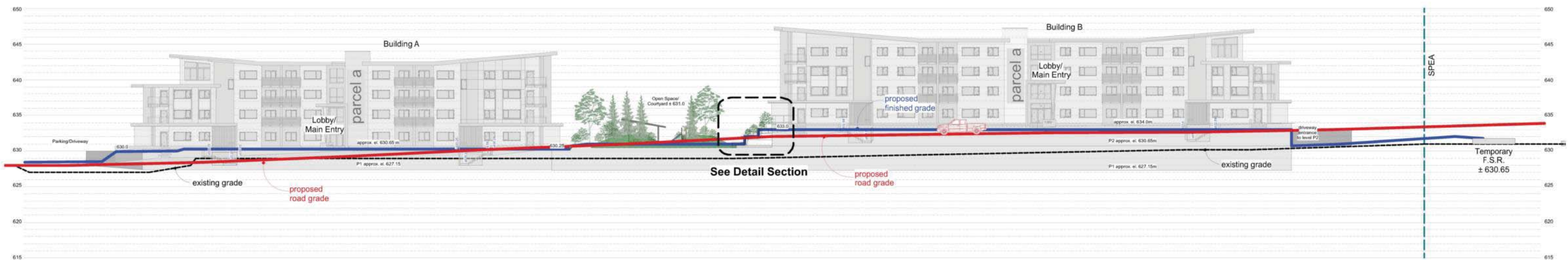
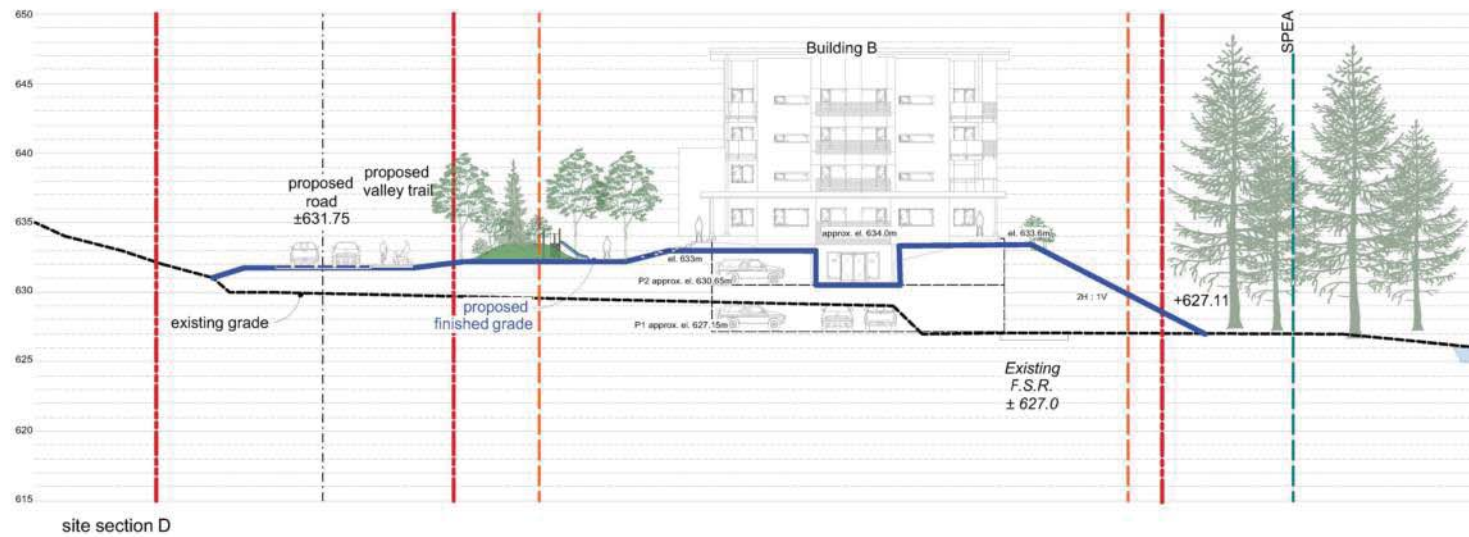
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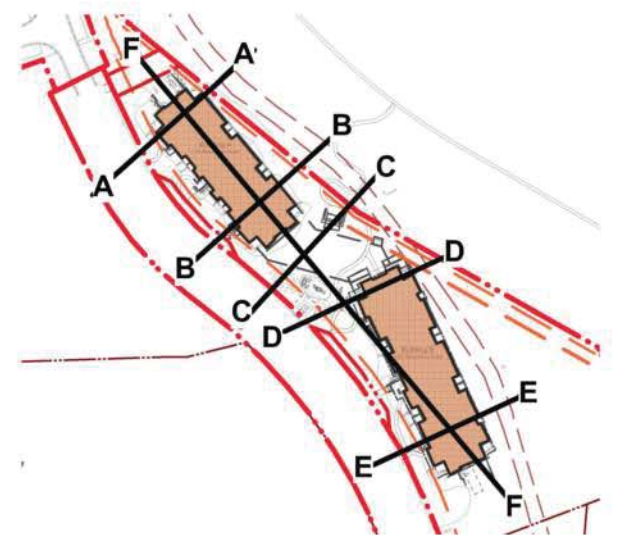
Sheet No:

L-1.2

SITE SECTIONS



Detail Section: Precast Block Planter Walls, Building B



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Sheet Title:

## SITE SECTIONS

Project

**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 & 1360 Mount Fee Road, Whistler, BC

Sealed By:

**MURDOCH+COMPANY**  
ARCHITECTURE + PLANNING LTD.  
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Project No:

1902

Scale:

1:300 METRIC

Sheet No:

**L-1.3**

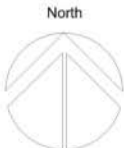
SITE SECTIONS



**PLANT LIST (ON-SITE) SEE L2.2**

- Landscape Notes:**
- 1. All landscape plant material and landscape installation to the Canadian Landscape Standards. See itemized Plant List.
  - 2. All landscape construction to conform to the current edition of the Canadian Landscape Standards.
  - 3. IRRIGATION: ALL planting beds and lawn to be Irrigated by an Accredited Professional (IIABC). Irrigation system to be installed to the current edition of IIABC available at: <http://www.irrigationbc.com>.
  - 4. Plant quantities in the plant list are for convenience only.

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Sheet Title:  
**LANDSCAPE PLAN - BUILDING A**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 & 1360 Mount Fee Road, Whistler, BC

Sealed By:

MURDOCH+COMPANY  
ARCHITECTURE + PLANNING LTD.  
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e-mail: [murdoch@telus.net](mailto:murdoch@telus.net)

Drawn By:	Scale:
BM/JL	1:200 METRIC
Project No:	Sheet No:
1902	<b>L-2.1</b>

LANDSCAPE PLAN - BUILDING A



SPEA SETBACK  
(PROVIDED BY CERG  
Sept. 2020)

Building B  
1360 Mount Fee Road

SPEA SE  
(PROVID  
Sept. 202

PROJECT: Parcel A, 1340 & 1360 Mount Fee Road					
PLANTLIST - ON SITE					
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES					
AC	34	Acer circinatum	Vine Maple (multistem)	1.0 m ht.	3 trunk min, native
AG	23	Acer ginnala	Amur Maple (multistem)	1.0 m ht.	multistem
AR	20	Acer rubrum "Bowhall"	Bowhall Red Maple (Columnar form)	5 cm cal.	
BN	0	Betula nigra	River Birch	1.5 m ht.	multistem
BP	7	Betula papyrifera	Paper Birch	5 cm cal.	multistem
PG	6	Picea pungens "Glauca"	Colorado Blue Spruce	1.5 m ht.	
PO	5	Picea omorika	Serbian Spruce	1.5 m ht.	
TH	3	Tsuga heterophylla	Western Hemlock	2 m ht.	*native
TM	3	Tsuga mertensiana	Mountain Hemlock	1 m ht.	*native
TP	2	Thuja plicata	Western Red Cedar	1 m ht.	*native
SHRUBS					
aa	30	Amelanchier alnifolia	Serviceberry	1.0 m ht.	white,*native
ca	48	Cornus alba "Ivory Halo"	"Ivory Halo" Dogwood	#2	
cd	52	Cotoneaster dammeri "Coral Beauty"	Cotoneaster	SP3	30cm broadleaf evergreen
ea	48	Euonymus alatus "Compacta"	Dwarf Burning Bush	#2	
pd	51	Physocarpus opulifolius "Diabolo"	Diabolo Purple Ninebark	#2	
rr	46	Rosa rugosa alba	Rugosa Rose (white)	#2	pink or white
nw	39	Rosa woodsii	Wood's Rose	#2	light pink,*native
sb	30	Spiraea bumalda "Anthony Waterer"	Anthony Waterer Spiraea	#2	
PERENNIALS					
ech	50	Echinacea purpurea "Magnus"	Purple Coneflower	#1	pink
nep	45	Nepeta x faassenii	Garden Catmint	#1	blue
rud	80	Rudbeckia fulgida "Goldsturm"	Black-Eyed Susan	#1	yellow
GRASSES					
c	98	Calamagrostis x acutifolia "Karl Foerster"	Feather Reed Grass	#1	
h	79	Helictotrichon sempervirens	Evergreen Oat Grass	#1	
m	64	Miscanthus sinensis purpureus	Fountain Grass	#1	
p	58	Pennisetum alopecuroides "Cassion"	Dwarf Purple Flame Grass	#1	

- Landscape Notes:**
1. All landscape plant material and landscape installation to the Canadian Landscape Standards. See itemized Plant List.
  2. All landscape construction to conform to the current edition of the Canadian Landscape Standards.
  3. IRRIGATION: ALL planting beds and lawn to be Irrigated by an Accredited Professional (IIABC). Irrigation system to be installed to the current edition of IIABC available at: <http://www.irrigationbc.com>.
  4. Plant quantities in the plant list are for convenience only.

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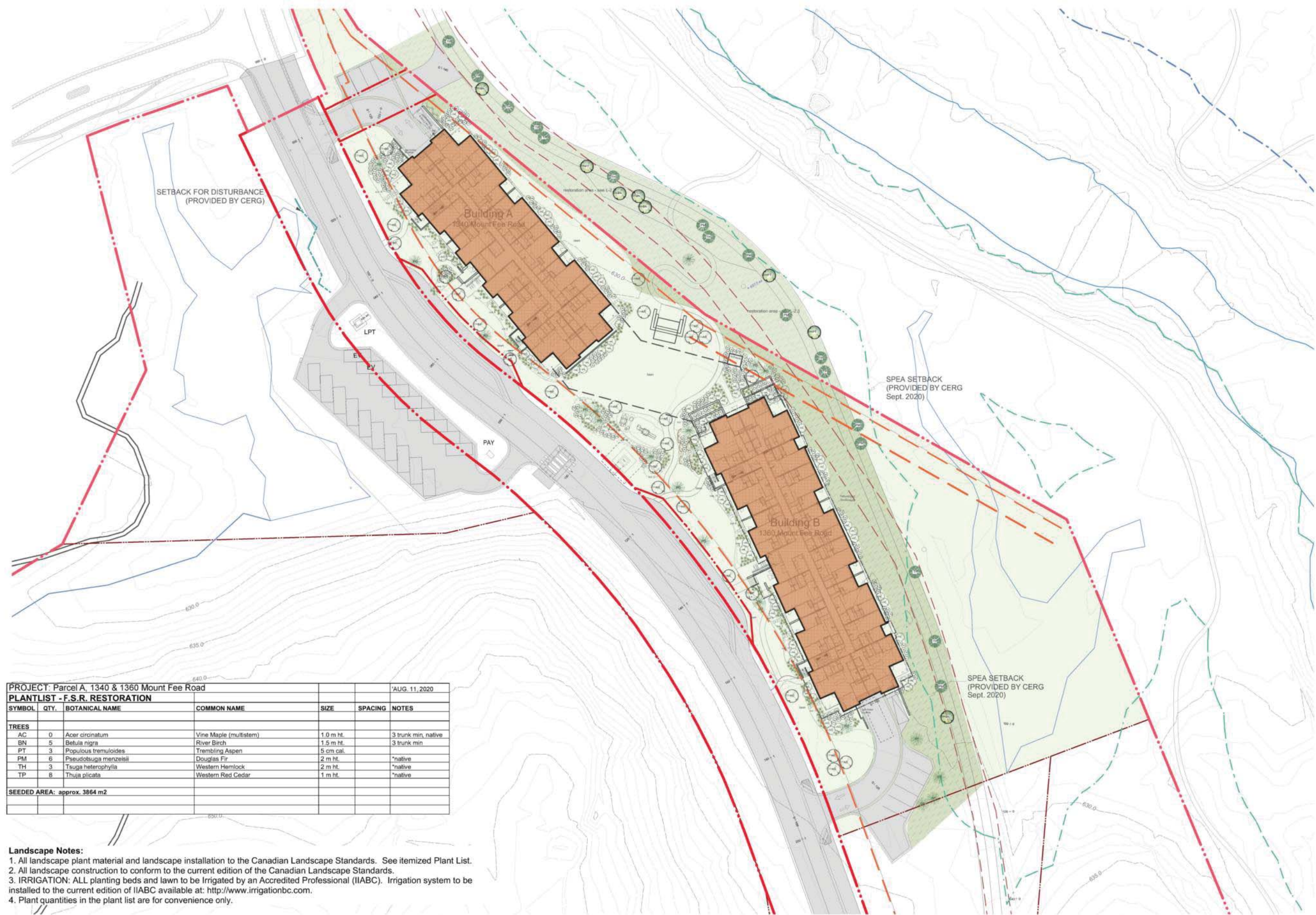
Sheet Title:  
**LANDSCAPE PLAN - BUILDING B**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 & 1360 Mount Fee Road, Whistler, BC

Sealed By:

**MURDOCH+COMPANY**  
ARCHITECTURE + PLANNING LTD.  
#106-4319 Main Street  
P.O. Box 1394  
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Ph: 905-6992  
e-mail: [murdoch@telus.net](mailto:murdoch@telus.net)

Drawn By: BM/JL  
Scale: 1:200 METRIC  
Project No: 1902  
Sheet No: **L-2.2**

LANDSCAPE PLAN - BUILDING B



PROJECT: Parcel A, 1340 & 1360 Mount Fee Road						
PLANTLIST - F.S.R. RESTORATION						
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
TREES						
AC	0	Acer circinatum	Vine Maple (multistem)	1.0 m ht.		3 trunk min, native
BN	5	Betula nigra	River Birch	1.5 m ht.		3 trunk min
PT	3	Populus tremuloides	Trembling Aspen	5 cm cal.		
PM	6	Pseudotsuga menziesii	Douglas Fir	2 m ht.		*native
TH	3	Tsuga heterophylla	Western Hemlock	2 m ht.		*native
TP	6	Thuja plicata	Western Red Cedar	1 m ht.		*native
SEEDED AREA: approx. 3864 m2						

- Landscape Notes:**
1. All landscape plant material and landscape installation to the Canadian Landscape Standards. See itemized Plant List.
  2. All landscape construction to conform to the current edition of the Canadian Landscape Standards.
  3. IRRIGATION: ALL planting beds and lawn to be irrigated by an Accredited Professional (IIABC). Irrigation system to be installed to the current edition of IIABC available at: <http://www.irrigationbc.com>.
  4. Plant quantities in the plant list are for convenience only.

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DP SUBMISSION	SEPT. 04 2020		

Sheet Title:  
**LANDSCAPE RESTORATION PLAN**  
Project  
**WHISTLER DEVELOPMENT CORPORATION**  
BLOCK A, 1340 & 1360 Mount Fee Road, Whistler, BC

Sealed By:

**MURDOCH+COMPANY**  
ARCHITECTURE + PLANNING LTD.  
#106-4319 Main Street  
P.O. Box 1394  
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Ph: 905-6992  
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Drawn By: Scale:  
BM/JL 1:400 METRIC  
Project No: Sheet No:  
1902 **L-2.3**

LANDSCAPE RESTORATION PLAN

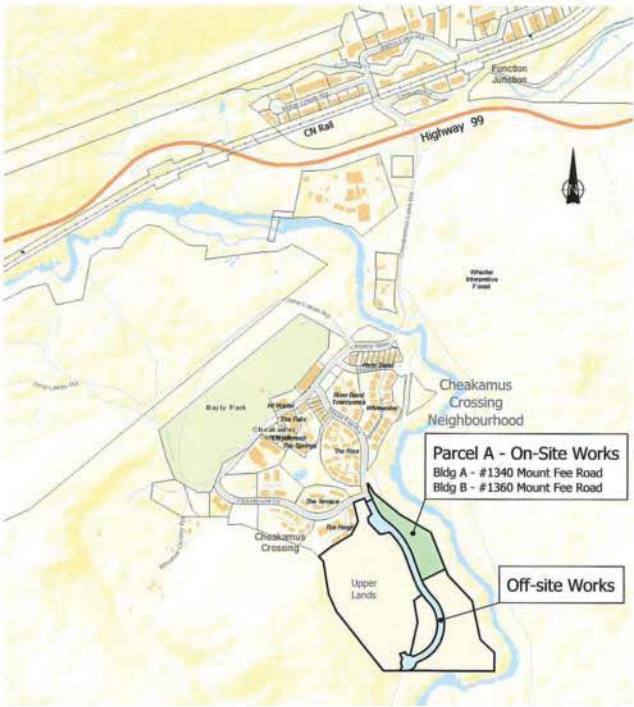
WHISTLER DEVELOPMENT CORPORATION

CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION

WHISTLER, BC

OFF-SITE & ON-SITE CIVIL SERVICING

PREPARED BY:  STEEP ROCKY TERRAIN SPECIALISTS  
PROFESSIONAL ENGINEERS & LAND DEVELOPMENT CONSULTANTS - 3745 DELBROOK AVENUE  
NORTH VANCOUVER, BRITISH COLUMBIA - PH: 604.983.0458 FAX: 604.983.0459



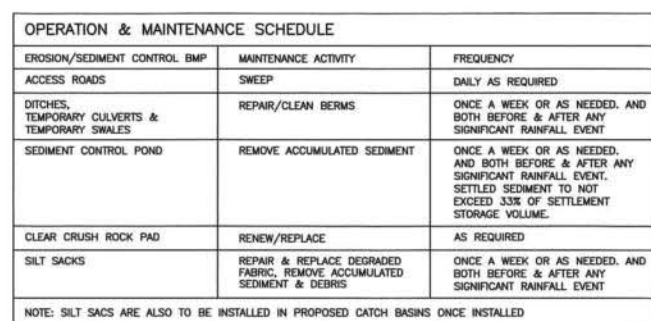
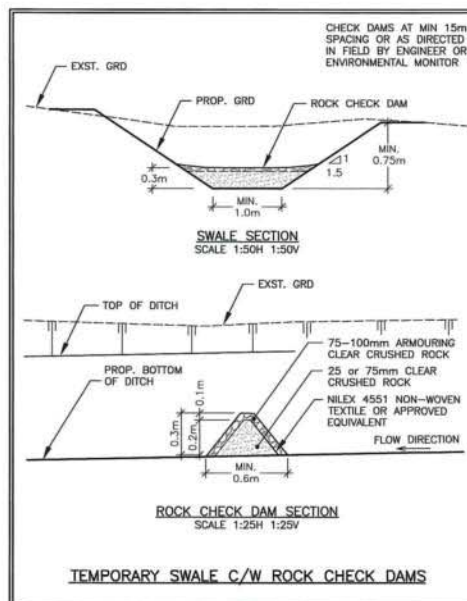
SITE LOCATION MAP  
SCALE 1:10,000

DRAWING LIST	
DWG NO.	SHEET TITLE
OFF-SITE WORKS	
CU-1	COMPOSITE UTILITY PLAN - 1:1000 SCALE
CU-2	COMPOSITE UTILITY PLAN - MOUNT FEE ROAD (0+980-1+280)
CU-3	COMPOSITE UTILITY PLAN - MOUNT FEE ROAD (1+280-1+600)
EX-1	EXISTING PLAN
ESC-1	EROSION & SEDIMENT CONTROL PLAN - MOUNT FEE ROAD (0+980-1+280)
ESC-2	EROSION & SEDIMENT CONTROL PLAN - MOUNT FEE ROAD (1+280-1+600)
SMP-1	STORMWATER CATCHMENT PLAN - PRE DEVELOPMENT CONDITIONS
SMP-2	STORMWATER CATCHMENT PLAN - POST DEVELOPMENT CONDITIONS
LP-1	SIGNAGE & LINE PAINTING - MOUNT FEE ROAD (0+980-1+280)
LP-2	SIGNAGE & LINE PAINTING - MOUNT FEE ROAD (1+280-1+600)
TYP-1	TYPICAL CROSS-SECTIONS - MOUNT FEE ROAD
TYP-2	TYPICAL CROSS-SECTIONS - SIGNAGE WIDENING, BUS BAY & LAYBY DETAILS
RD-1	ROAD & DRAINAGE - MOUNT FEE ROAD (0+980-1+280)
RD-2	ROAD & DRAINAGE - MOUNT FEE ROAD (1+280-1+600)
RD-3	ROAD & DRAINAGE - DETAILS
RD-4	ROAD & DRAINAGE - PARKING LOT
RD-5	ROAD & DRAINAGE - DITCH FROM MOUNT FEE ROAD TO DEPRESSION FEATURE
X-1	CROSS-SECTIONS - MOUNT FEE ROAD (1+000-1+340)
X-2	CROSS-SECTIONS - MOUNT FEE ROAD (1+360-1+580)
W-1	WATERWORKS - MOUNT FEE ROAD (0+960-1+280)
W-2	WATERWORKS - MOUNT FEE ROAD (1+280-1+520)
W-3	WATERWORKS - MOUNT FEE ROAD (1+510-1+580)
S-1	STORM & SANITARY SEWER - MOUNT FEE ROAD (0+970-1+280)
S-2	STORM & SANITARY SEWER - MOUNT FEE ROAD (1+280-1+520)
S-3	STORM & SANITARY SEWER - MOUNT FEE ROAD (1+510-1+580)
SC-1	SERVICE CROSSING PROFILES
DET-1	STANDARD DETAILS
DET-2	STANDARD DETAILS
DET-3	STANDARD DETAILS
ON-SITE LOT WORKS	
(BP) ESC-1	EROSION & SEDIMENT CONTROL PLAN - ON-SITE
(BP) S-1	SERVICING PLAN - ON-SITE
(BP) S-2	SERVICE CONNECTION PROFILES - ON-SITE
(BP) SS-1	SITE-SECTIONS - ON-SITE
(BP) DWY-1	ROADWORKS - ON-SITE
(BP) STM-1	STORM SEWER - ON-SITE

DRAWING LIST - SUBCONSULTANT

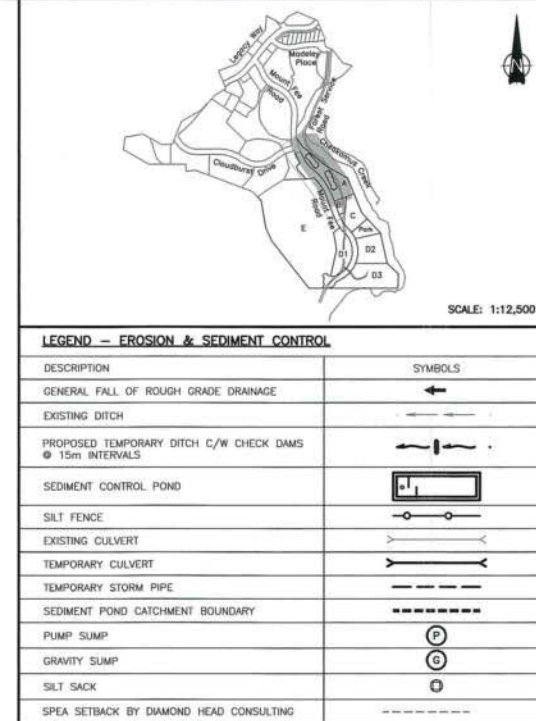
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STREETLIGHT DRAWINGS - BY BRIGHT STREET LIGHT ENGINEERING	
DWG NO.	SHEET TITLE
SL-1	STREETLIGHTING
SL-2	STREETLIGHTING
SL-3	STREETLIGHTING



	Flow Derivation					Pond Sizing				Pond Dimensions*		
Pond	Catchment Area (ha)	Storm Duration (hr)	10 (mm/hr)	Runoff Coeff.	Q <sub>in</sub> / Q <sub>out</sub> (m <sup>3</sup> /s)	Assumed Water Temp. (°C)	Partical Classification	Area of pond per volume of flow* (m <sup>2</sup> /m <sup>3</sup> )	Area of pond required (m <sup>2</sup> )	Length of pond (m)	Width of pond (m)	Pond Area (m <sup>2</sup> )
Onsite	0.85	1	11.4	0.3	0.008	5	Medium Silt	2111	17	9.50	1.90	18

\* Other pond dimensions are derived from Page 37 of "Land Development Guidelines for the Protection of Aquatic Habitat", 1992, DFO



FOR GENERAL NOTES SEE DWG (BP)S-2

EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING A SILTATION AND EROSION CONTROL SYSTEM AS SHOWN ON THESE DRAWINGS AS WELL AS ANY ADDITIONAL TEMPORARY WORKS NECESSARY TO PREVENT SILT DISCHARGES TO THE STORM DRAINAGE SYSTEM.
2. ALL SILTATION CONTROL DEVICES SHALL PROVIDE ACCESS FOR CLEANING AND MAINTENANCE.
3. ALL SILTATION CONTROL STRUCTURES MUST BE MAINTAINED DURING THE COURSE OF CONSTRUCTION THROUGH TO THE END OF THE MAINTENANCE PERIOD.
4. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT NO MATERIAL IS DISCHARGED TO THE STORM DRAINAGE SYSTEM, ROADWAYS OR ADJACENT PROPERTIES DURING THE COURSE OF CONSTRUCTION.
5. THE CONTRACTOR SHALL INSPECT THE SILTATION AND EROSION CONTROL WORKS DURING RAINFALL EVENTS AND UNDERTAKE ANY REMEDIAL WORK REQUIRED FOR FUNCTIONAL OPERATION.
6. AS CONSTRUCTION PROGRESSES AND INTERCEPTED FLOWS ARE REDUCED, THE SIZE OF THE SEDIMENT TRAP MAY BE REDUCED ACCORDINGLY AT THE DISCRETION OF THE ENGINEER AND THE RESORT MUNICIPALITY OF WHISTLER (RMOW).
7. CONSTRUCTION AND MAINTENANCE OF THE SEDIMENT AND EROSION CONTROL MEASURES MUST BE INSTALLED AND MUST MEET OR SURPASS THE STANDARDS OUTLINED IN THE LATEST EDITION OF THE DEPARTMENT OF FISHERIES AND OCEANS' LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT AND THE RMOW'S SUBDIVISION AND DEVELOPMENT SERVING AND STORMWATER MANAGEMENT BYLAWS NO. 1175, 2012.
8. THE SUPPLY AND INSTALLATION OF SILT FENCES SHALL BE AS PER SECTION 3.1 OF FIGURE 3.3 OF THE DEPARTMENT OF FISHERIES AND OCEANS' LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT.
9. THE CONTRACTOR SHALL CONSTRUCT ALL NECESSARY SILTATION AND EROSION CONTROL WORKS BEFORE COMMENCING ANY OTHER ON-SITE CONSTRUCTION OTHER THAN CLEARING.
10. PROTECT EXPOSED SLOPES WITH FASTENED POLYETHYLENE SHEETING OR OTHER APPROVED COVER. MINIMIZE SURFACE DISTURBANCE AND THE AMOUNT OF TIME SURFACES ARE EXPOSED.
11. DESIGNATE AN AREA FOR SOIL STOCKPILING AND KEEP ALL MATERIALS (E.G. SAND, GRAVEL, SPOIL MATERIAL, CONCRETE MIX) OFF PAVED SURFACES AND AS FAR AS POSSIBLE FROM THE TOP OF BANK (IE. NATURAL BOUNDARY) OF ANY WATER COURSE. COVER STOCKPILING WATER SYSTEM. PROTECT STOCKPILES WITH POLYETHYLENE SHEETING AND, IF REQUIRED, SILT FENCING.
12. ANY FILL USED ON SITE MUST BE INERT MATERIAL, FREE OF CONTAMINANTS OR ANY OTHER SUBSTANCES DELETERIOUS TO AQUATIC LIFE.
13. ALL SITE RUNOFF MUST CONTAIN TOTAL SUSPENDED SOLIDS (TSS) OF LESS THAN 25 mg/L ABOVE BACKGROUND DURING DRY MONTHS AND LESS THAN 75 mg/L ABOVE BACKGROUND DURING WET MONTHS, AND MEASURE TSS AT THE MONITORING POINT AS REQUIRED.
14. ENVIRONMENTAL MONITORING IS TO BE CONDUCTED BY THE ENGINEER OF RECORD OR THE APPROVED ENVIRONMENTAL CONSULTANT, INCLUDING INSPECTING AND REPORTING OF THE CONSTRUCTION WORK AND THE WATER QUALITY MONITORING TO D DURING CONSTRUCTION. THE MONITORING IS TO OCCUR UNTIL 90% OF CONSTRUCTION IS COMPLETE. MONITORING REPORTS ARE TO BE SUBMITTED TO THE RMOW WITHIN ONE WEEK OF EACH SITE INSPECTION.
15. ADDITIONAL SEDIMENT CONTROL MEASURES MAY BE REQUIRED AT THE REQUEST OF THE RMOW UNDER THE APPROVAL OF THE ENGINEER OF RECORD OR APPROVED ENVIRONMENTAL CONSULTANT.
16. THE CONTRACTOR SHALL AT MINIMUM INSTALL, MONITOR AND REGULARLY MAINTAIN:
  - SILTATION SACKS AT ALL CATCH BASINS AFFECTED BY CONSTRUCTION
  - CONTROLLED VEHICLE ACCESS
  - SITE PERIMETER FENCING
  - SLOPE AND STOCKPILING WATER SYSTEM
  - COLLECTION SWALES OR PUMP HOSE

									client
3	SEP.04.20	ISSUED FOR BUILDING PERMIT	JAT						WHISTLER DEVELOPMENT CORPORATION
2	SEP.01.20	ISSUED FOR REZONING REFERRAL	JAT						project
1	JUL.20.20	ISSUED FOR COORDINATION	JAT						CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION
no.	date	revision	chk'd	no.	date	revision	chk'd		WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS



LAND DEVELOPMENT CONSULTANTS

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designed by	J.A.T.
drawn by	S.T.
checked by	H.K.G.
date	OCT.02.19

EROSION & SEDIMENT CONTROL PLAN  
ON - SITE

scales	
hor. 1:500	vert. -
file no. 4002	
drawing no. (BP) ESC-1	rev. 3

THE EXISTING UTILITY/SERVICING INFORMATION SHOWN ON THIS DRAWING IS DERIVED FROM AS-BUILTS AND RECORD INFORMATION BY OTHERS. WEBSTER ENGINEERING LTD. DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATION, SIZE, AND INVERT ELEVATIONS AS REQUIRED, AND REPORT ANY DISCREPANCIES, AND/OR CONFLICTS TO WEBSTER ENGINEERING LTD. PRIOR TO CONSTRUCTION.



SCALE: 1:12,500

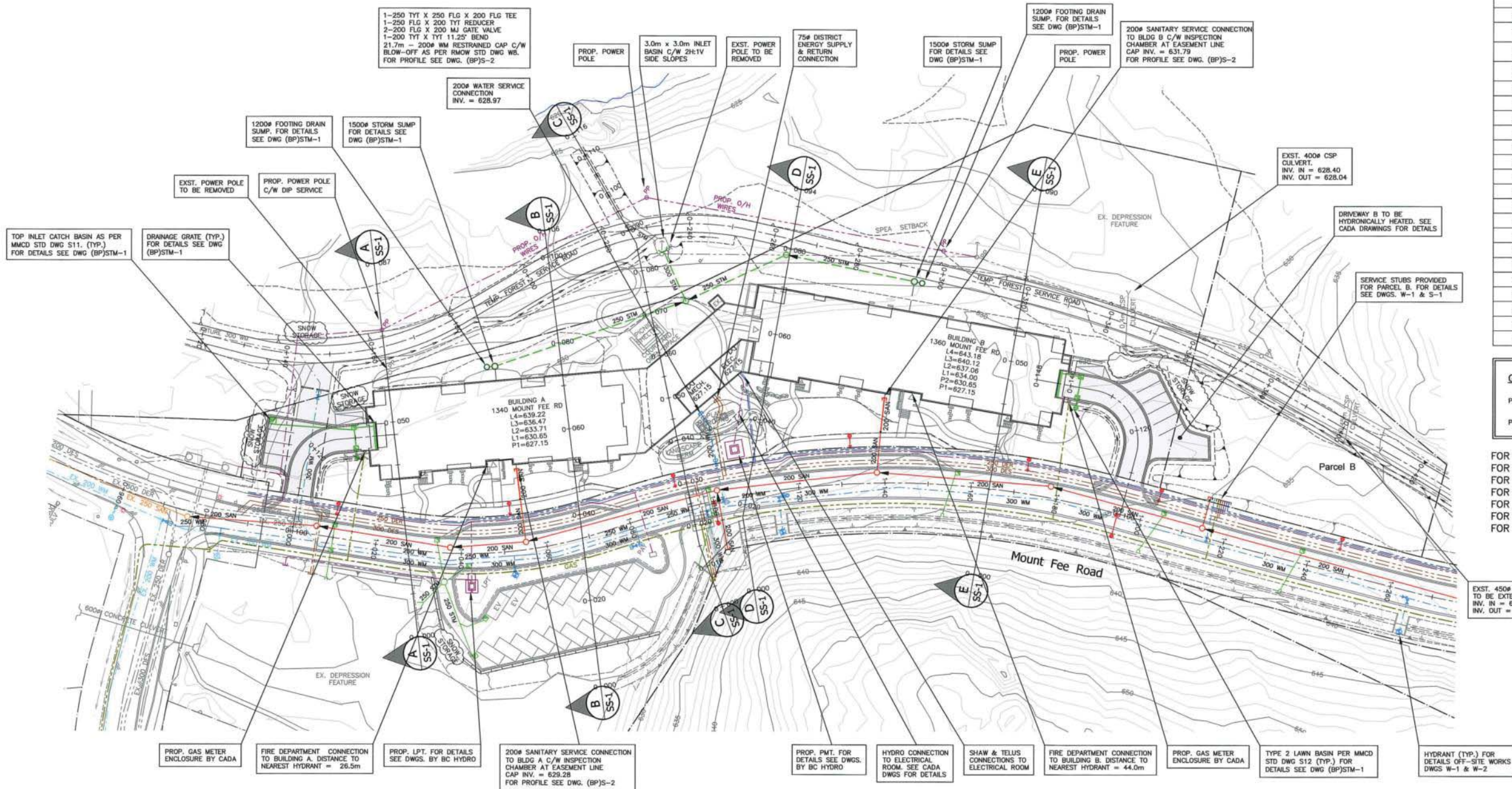
LEGEND - SERVICING		
DESCRIPTION	SYMBOLS	
	PROPOSED	EXISTING
PROPERTY LINE	---	---
ROAD-CL	---	---
EDGE OF ASPHALT	---	---
CURB & GUTTER	---	---
FILL SLOPE	---	---
CUT SLOPE	---	---
ROCKSTACK WALL	---	---
WATERMAIN	---	---
FIRE HYDRANT	---	---
GATE VALVE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
CULVERT	---	---
CULVERT CROSSING	---	---
CATCH BASIN (TOP INLET)	---	---
DITCH	---	---
GAS MAIN	---	---
DISTRICT ENERGY SUPPLY	---	---
DISTRICT ENERGY RETURN	---	---
HYDRO	---	---
TELUS	---	---
SHAW	---	---
STREETLIGHT	---	---
TRAIL LIGHT	---	---
POWER POLE	---	---

#### GRADING LEGEND

PROP. ELEV  
PROP. GRADE

FOR GENERAL NOTES SEE DWG (BP)S-2  
FOR WATERWORKS NOTES SEE DWG (BP)S-2  
FOR SANITARY NOTES SEE DWG (BP)S-2  
FOR STORM NOTES SEE DWG (BP)STM-1  
FOR ROADWORKS NOTES SEE DWG (BP)DWY-1  
FOR DRIVEWAY GRADING SEE DWG (BP)DWY-1  
FOR SITE-SECTIONS SEE DWG (BP)SS-2

EXIST. 450# CSP CULVERT  
TO BE EXTENDED TO SUIT  
INV. IN = 633.29  
INV. OUT = 633.06



4	SEP 04 20	ISSUED FOR BUILDING PERMIT	JAT				
3	SEP 01 20	ISSUED FOR REZONING REFERRAL	JAT				
2	AUG 21 20	ISSUED FOR COORDINATION	MJF				
1	JUL 20 20	ISSUED FOR COORDINATION	JAT				
no.	date	revision	chk'd	no.	date	revision	chk'd

client	WHISTLER DEVELOPMENT CORPORATION
project	CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS

**WEBSTER ENGINEERING LTD**

LAND DEVELOPMENT CONSULTANTS

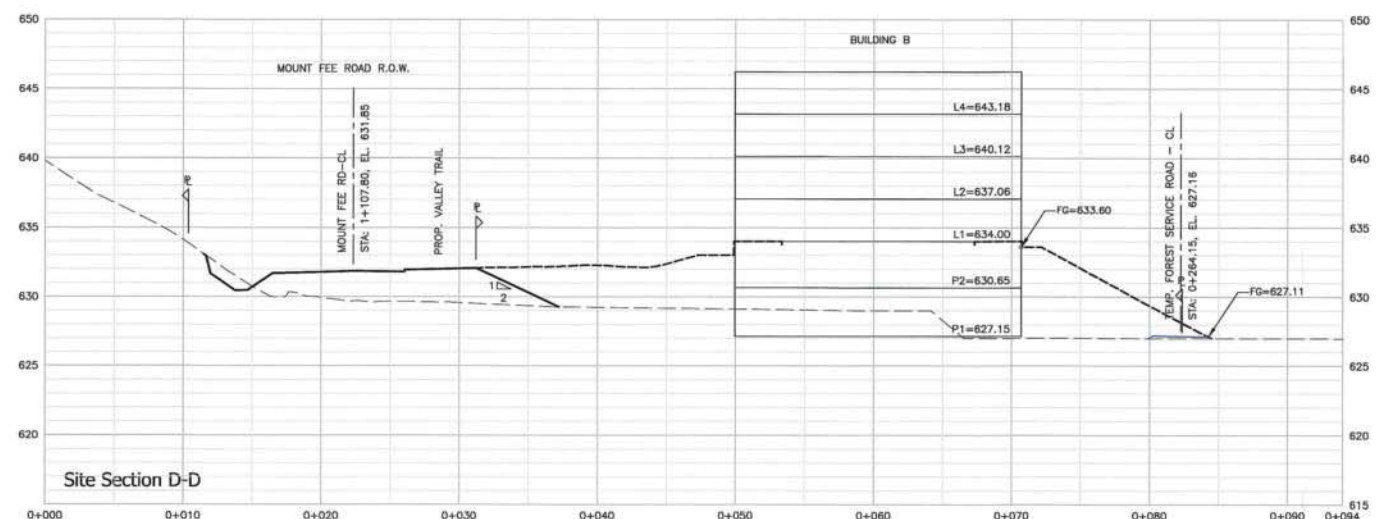
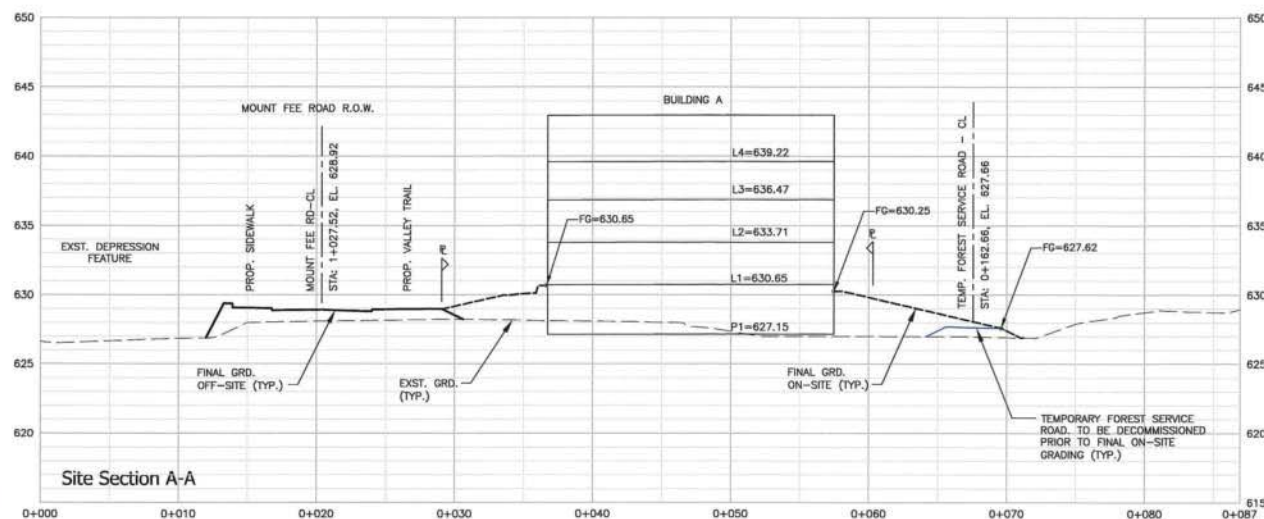
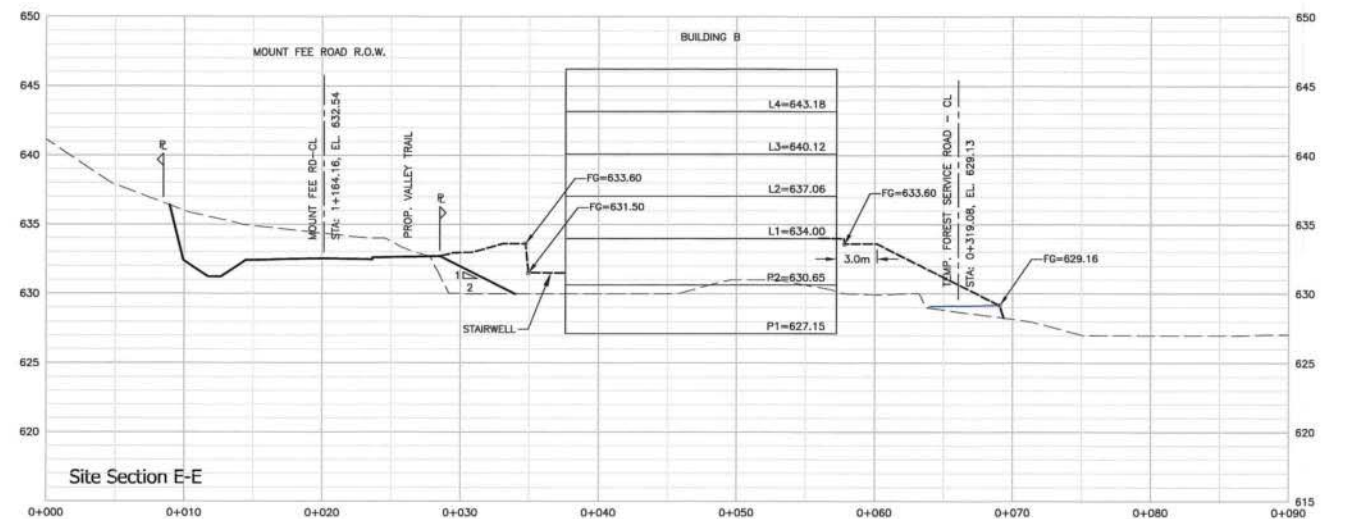
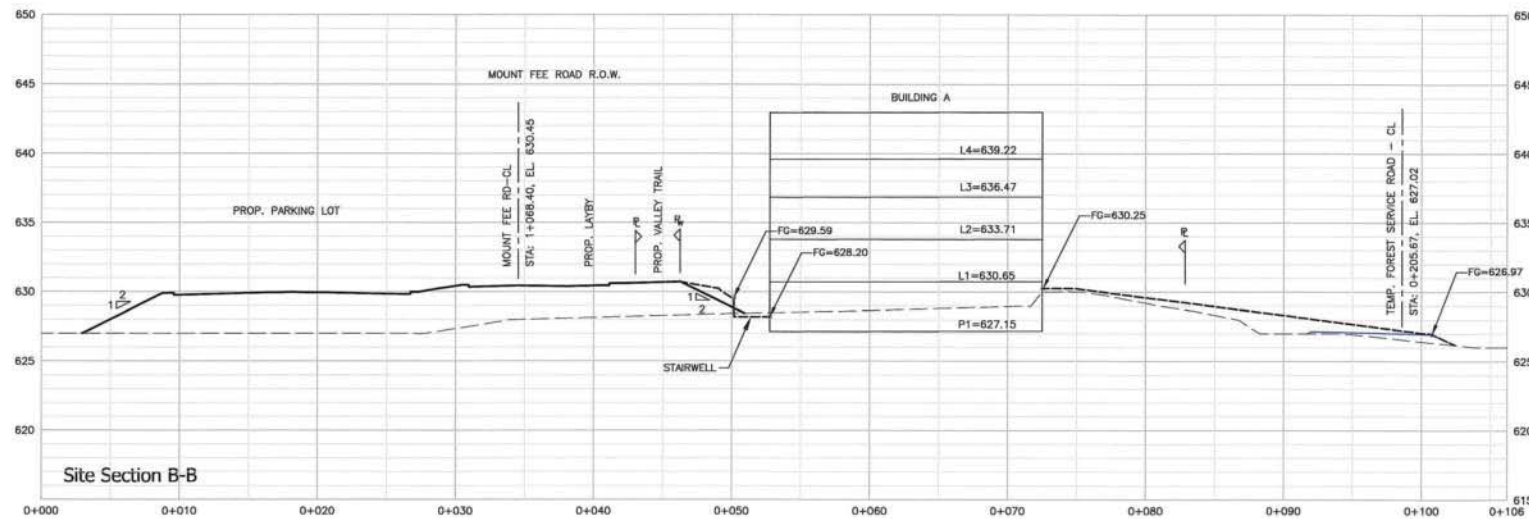
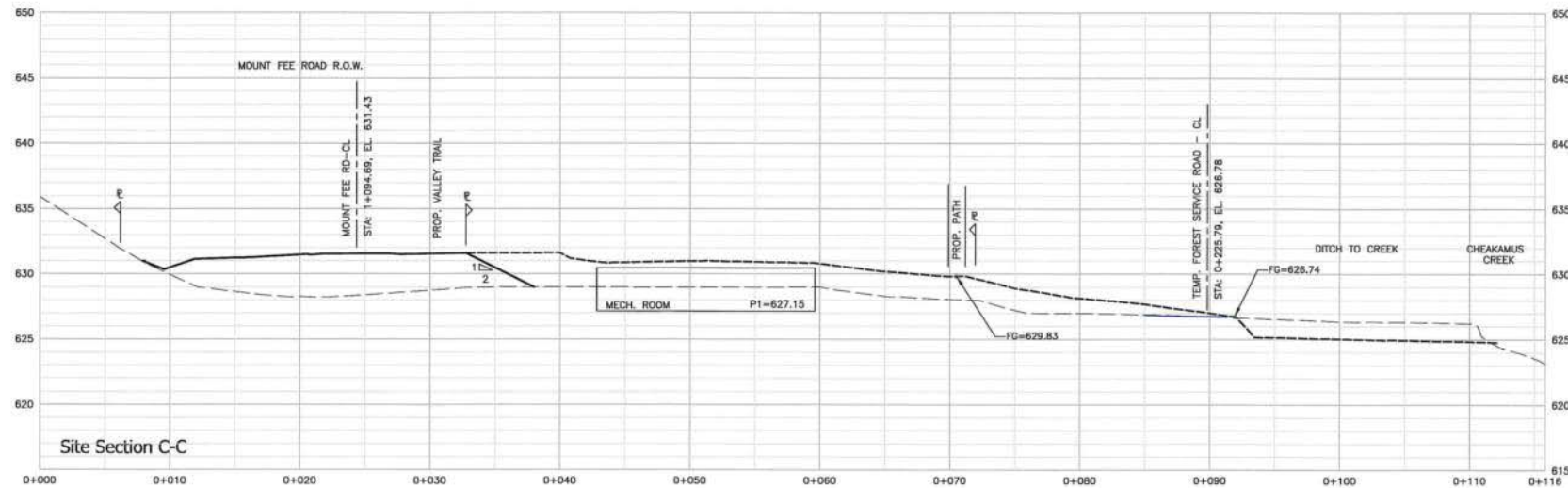
3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458

designed by	J.A.T.
drawn by	S.T.
checked by	H.K.G.
date	JUL 12 20

#### SERVICING PLAN ON - SITE

scales	hor: 1:500	vert: -
file no.	4002	
drawing no.	(BP) S-1	rev. 4





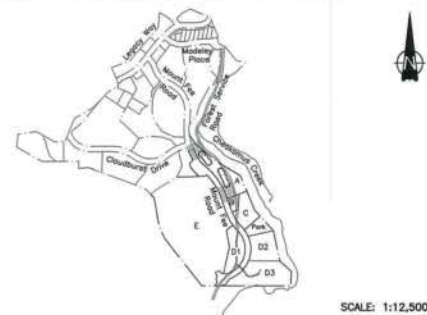
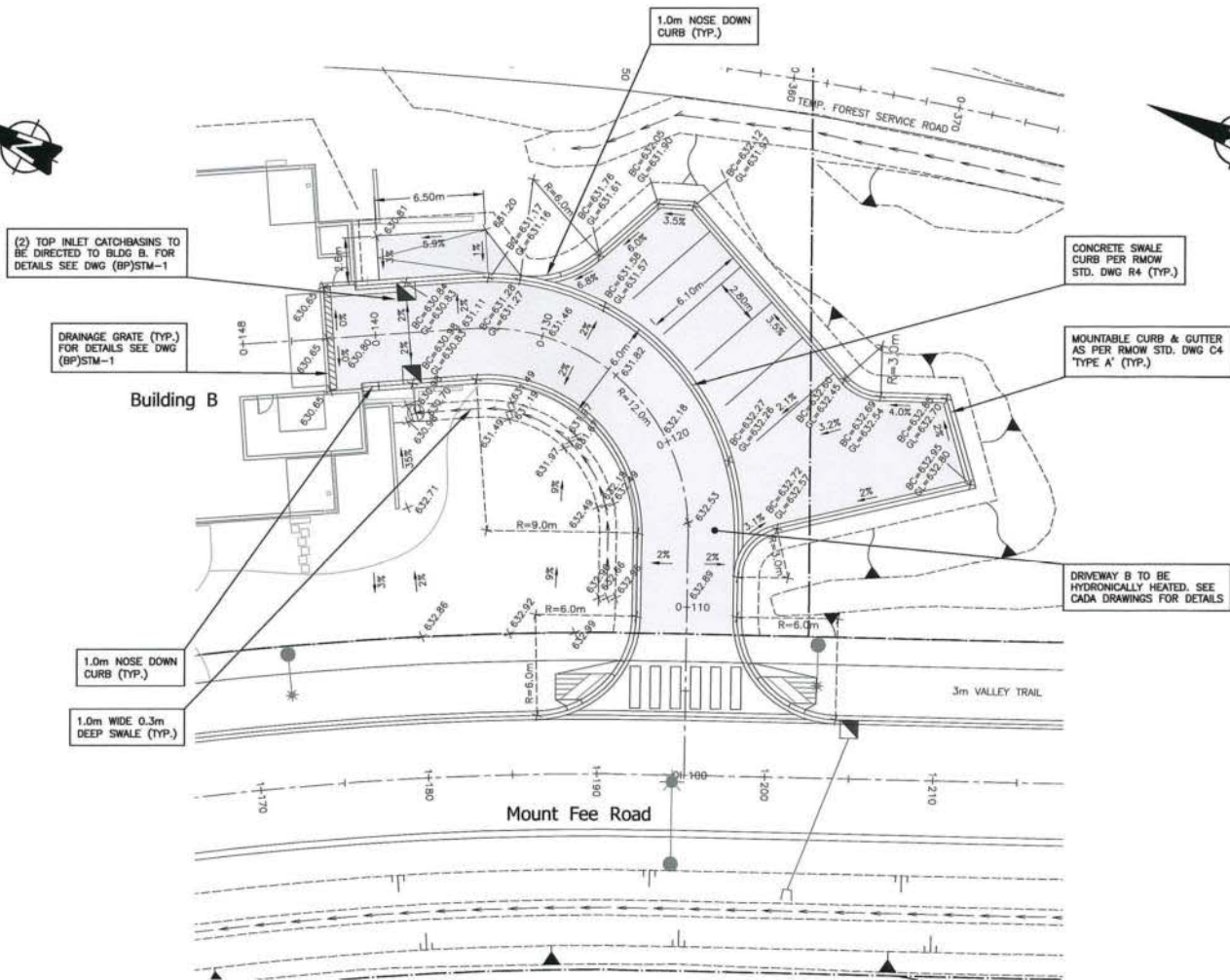
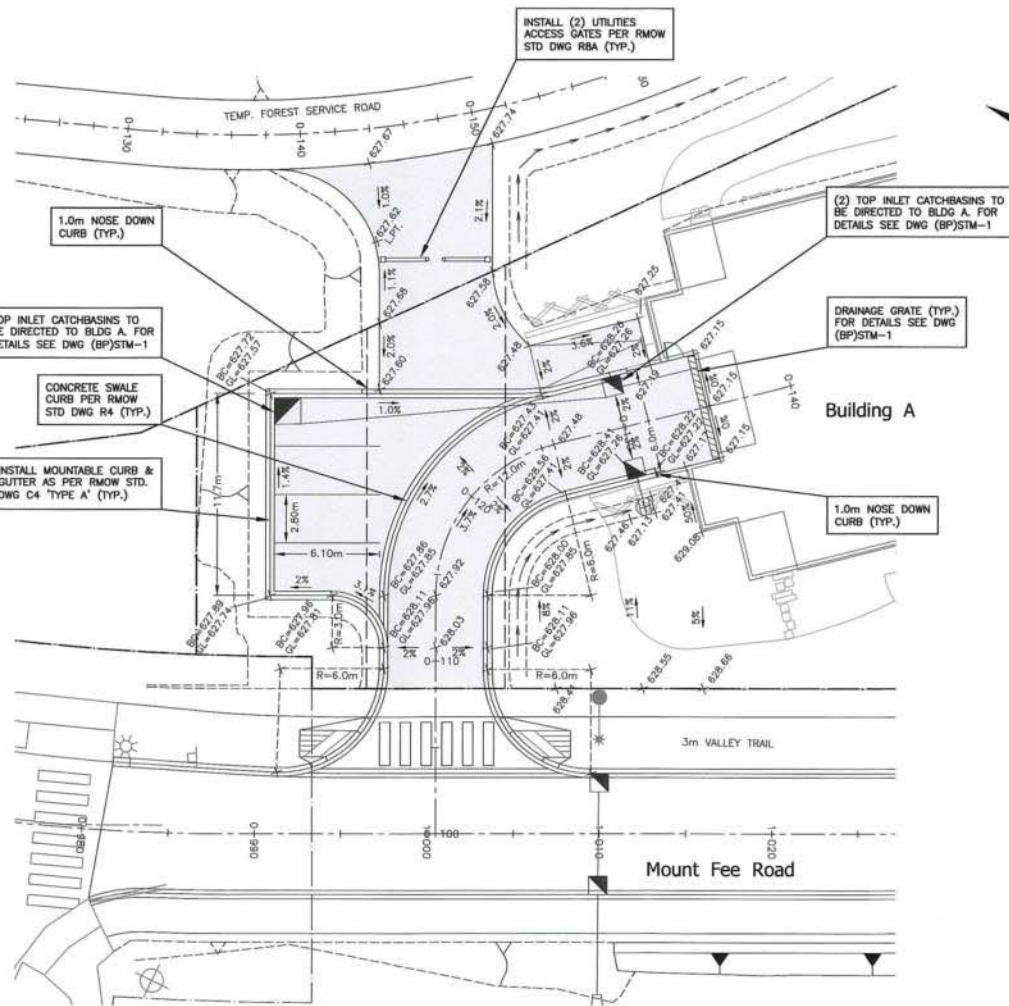
revision				client			
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2	SEP.01.20	ISSUED FOR REZONING REFERRAL	JAT	CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION			
1	AUG.19.20	ISSUED FOR COORDINATION	JAT	WHISTLER, BRITISH COLUMBIA			
no.	date	revision	chk'd	no.	date	revision	chk'd

STEEP ROCKY TERRAIN SPECIALISTS  
**WEBSTER ENGINEERING LTD**  
 PROFESSIONAL ENGINEERS  
 LAND DEVELOPMENT CONSULTANTS  
 3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 963-0458

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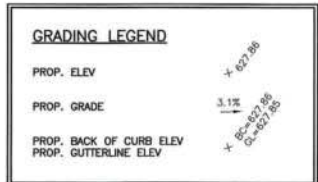
approved: [Stamp]  
 designed by: J.A.T.  
 drawn by: M.J.F.  
 checked by: H.K.G.  
 date: JUL.14.20

title: **SITE SECTIONS ON - SITE**  
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 file no: **4002**  
 drawing no: **(BP) SS-1**  
 rev: **3**



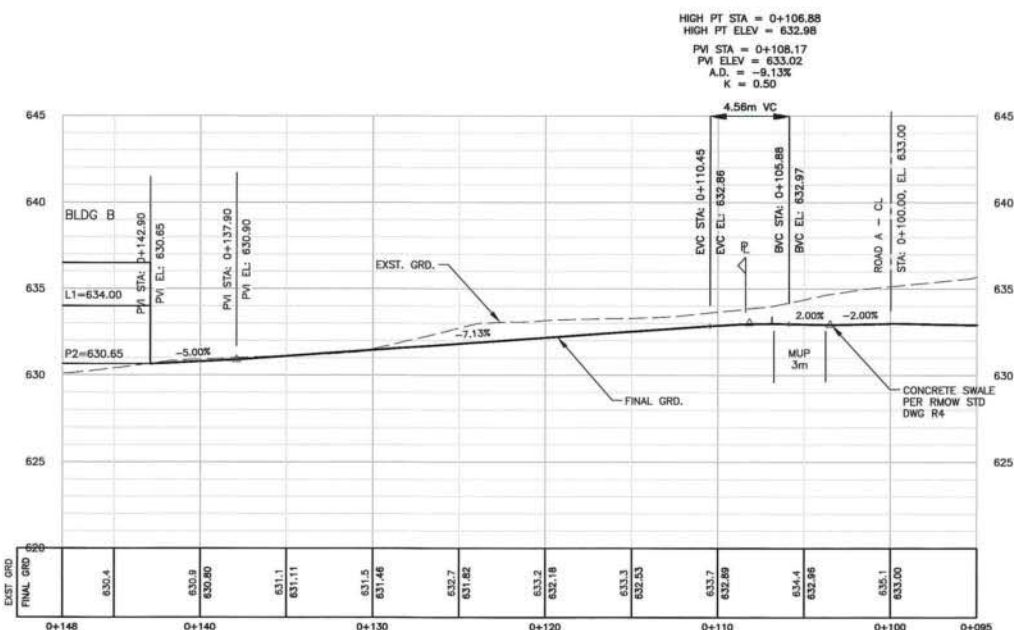
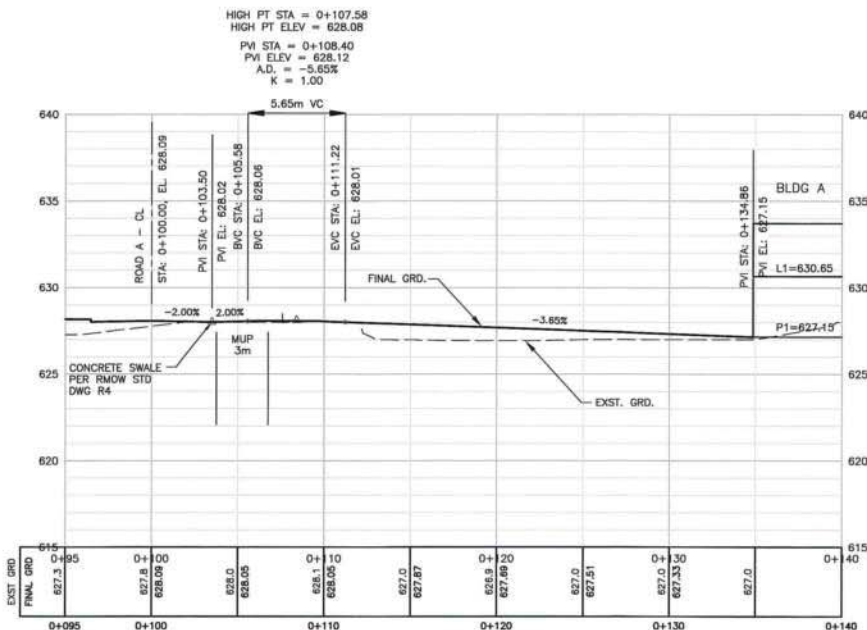
**LEGEND - ROADWORKS**

DESCRIPTION	SYMBOLS	
	PROPOSED	EXISTING
PROPERTY LINE	---	---
ROAD-CL	---	---
EDGE OF ASPHALT	---	---
CURB & GUTTER	---	---
CONCRETE BAND - 0.4m	---	---
FILL SLOPE	---	---
CUT SLOPE	---	---
ROCKSTACK WALL	---	---
CULVERT	---	---
CULVERT CROSSING	---	---
CATCH BASIN (TOP INLET)	---	---
DITCH	---	---
STREETLIGHT	---	---
TRAIL LIGHT	---	---
POWER POLE	---	---



FOR GENERAL NOTES SEE DWG (BP)S-2  
FOR STORM NOTES SEE DWG (BP)STM-1

- ROADWORKS NOTES**
- ALL MANHOLE LIDS, VALVE COVERS, CATCH BASIN RIMS AND LIDS OF ANY OTHER STRUCTURE TO BE SET TO FINAL GRADE AS PAVING WILL BE COMPLETED IN CONSECUTIVE LIFTS.
  - ALL STRUCTURAL FILL TO BE CONSTRUCTED TO THE REQUIREMENTS AND UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.
  - ALL LOOSE AND ORGANIC MATERIAL TO BE EXCAVATED FROM ROADWAY AND DISPOSED OF ON FILL SLOPES AS DIRECTED BY THE ENGINEER.
  - CHANGES IN GRADE TO BE FORMED WITH SMOOTH CURVES.
  - TI-E-IN TO EXISTING ASPHALT WITH VERTICAL DIAMOND SAW CUTS. 100mm OF PAVEMENT IS TO BE PLACED IN TWO LIFTS OF 50mm EACH.
  - PAVING CAN ONLY PROCEED IN THE PRESENCE OF BOTH THE ENGINEER'S AND RESORT MUNICIPALITY OF WHISTLER'S (RMOW) INSPECTORS. SAMPLES OF THE ASPHALT MIX MUST BE TAKEN AND TESTED BY AN INDEPENDENT ASPHALT TESTING LABORATORY. TEST RESULTS AND REPORTS ON THE MIX WILL BE PREPARED. CONTRACTOR TO ORGANIZE AND PAY FOR TESTING AND REPORT PREPARATION.
  - ASPHALT TESTING TO BE PERFORMED IN ACCORDANCE WITH RMOW CONSTRUCTION SPECIFICATIONS AND THE MASTER MUNICIPAL CONTRACT DOCUMENTS. (MMCD).
  - SUBGRADE AND ROADBASE MATERIALS SHALL BE PROPERLY PLACED & COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR DRY DENSITY (ASTM D1557), AND TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER. SUB-BASE AND BASE GRAVELS TO BE DENSITY TESTED IN ACCORDANCE WITH MMCD.
  - THE CONTRACTOR WILL ROUGHLY GRADE THE BOULEVARDS TO THE PROFILE SHOWN ON THE CROSS SECTIONS AT THE SAME TIME AS ROAD GRADING.



no.	date	revision	ch&g	no.	date	revision	ch&g
3	SEP.04.20	ISSUED FOR BUILDING PERMIT	JAT				
2	SEP.01.20	ISSUED FOR REZONING REFERRAL	JAT				
1	JUL.20.20	ISSUED FOR COORDINATION	JAT				

client: WHISTLER DEVELOPMENT CORPORATION  
project: CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS

**WEBSTER ENGINEERING LTD**

STEEL ROCKY TERRAIN SPECIALISTS

3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458

LAND DEVELOPMENT CONSULTANTS

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approved: [Signature]

designed by: J.A.T.

drawn by: M.J.F.

checked by: H.K.G.

date: SEP.24.19

ROADWORKS ON-SITE

scale: hor: 1:200 vert: 1:200

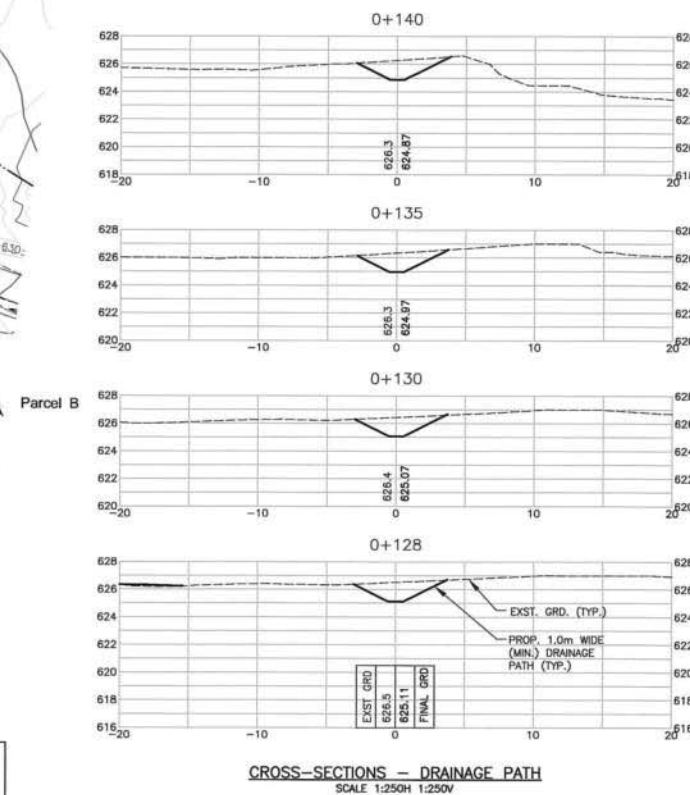
file no: 4002

drawing no: (BP) DWY-1

rev: 3

Bldg A Sump to MH D102 to Bldg B Sump

MH D102 to Cheakamus Creek



THE EXISTING UTILITY/SERVICING INFORMATION SHOWN ON THIS DRAWING IS DERIVED FROM AS-BUILTS AND RECORD INFORMATION BY OTHERS. WEBSTER ENGINEERING LTD. DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATION, SIZE, AND INVERT ELEVATIONS AS REQUIRED, AND REPORT ANY DISCREPANCIES, AND/OR CONFLICTS TO WEBSTER ENGINEERING LTD. PRIOR TO CONSTRUCTION.

LEGEND — STORM & SANITARY		
DESCRIPTION	SYMBOLS	
	PROPOSED	EXISTING
PROPERTY LINE		
SANITARY SEWER		
STORM SEWER		
CULVERT		
CATCH BASIN (TOP INLET)		
DITCH		
WATERMAIN		
FIRE HYDRANT		
GATE VALVE		
DISTRICT ENERGY SUPPLY		
DISTRICT ENERGY RETURN		
HYDRO/ TEL/ SHAW (OR ALT.)		
POWER POLE		
STREETLIGHT		
TRAIL LIGHT		

FOR GENERAL NOTES SEE DWG (BP) S-2

STORM SEWER NOTES

1. STORM SEWER MAINS TO BE CONCRETE AND SHALL MEET THE ASTM SPEC. CLASS III REQUIREMENTS FOR REINFORCED PIPE OR BE PVC SDRW STD 35 WHEN TESTED IN ACCORDANCE WITH STM D3034 & CSA B182.1. STORM SERVICES TO BE PVC SDRW 28.
2. STORM SEWER SERVICE CONNECTIONS TO BE 150mm DIA. CONNECTED TO THE MAIN WITH MANUFACTURED WYE OR TO THE MANHOLE. WHERE NO STORM SEWER SERVICE CONNECTION IS SHOWN LOT DRAINAGE TO BE CONNECTED TO DITCH.
3. ALL MANHOLES TO BE 1050mm I.D. & CONFORM TO RMOW STD DWG 51, UNLESS NOTED OTHERWISE.
4. CATCH BASIN LEADS TO BE 200mm DIAMETER P.V.C. S.D.R. 35.
5. ALL SEWERS TO BE T.V. CAMERA INSPECTED. T.V. CAMERA INSPECTION TO BE ARRANGED AND PAID FOR BY THE CONTRACTOR.
6. MINIMUM GRADE ON SERVICE CONNECTIONS AND CATCH BASIN LEADS TO BE 2%, UNLESS NOTED OTHERWISE.
7. PIPE BEDDING TO CONFORM WITH THE RMOW STANDARDS AND MANUFACTURER'S SPECIFICATIONS. SEE RMOW STD DWG G4 & G9.
8. CONTRACTOR TO INSTALL SEWER SERVICES UNLESS NOTED OTHERWISE.
9. CATCH BASINS AS PER MCMC STD DWG 511 & SIDE INLET CATCH BASIN TO MCMC STD DWG 511 AND RMOW STD. DWG 516. FOR ADDITIONAL GRADE INFORMATION SEE RMOW STD. DWG 512.
10. CONCRETE ENCASE ALL PIPES GOING THROUGH ROCK STACKS.
11. MINIMUM COVER ON CULVERTS SHALL BE 450mm.
12. ALL EXISTING CULVERTS TO BE CLEANED AND FLUSHED AND INSPECTED BY ENGINEER FOR CONDITION.
13. WHERE SEWER MAIN CROSSES WATERMAIN AND CLEARANCE IS LESS THAN 0.5m, THE UPPER PIPE SHALL BE ENCASED AS PER R.M.O.W. STD. DWG 09.
14. CULVERTS TO BE GALVANIZED CORRUGATED STEEL PIPE CONFORMING TO ASTM A444

4	SEP.04.20	ISSUED FOR BUILDING PERMIT	JAT			
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1	JUL.20.20	ISSUED FOR COORDINATION	JAT			
no.	date	revision	ch#	no.	date	revision

	WHISTLER DEVELOPMENT CORPORATION
project	CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS



LAND DEVELOPMENT CONSULTANTS

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designed by	J.A.T.	title
drawn by	M.J.F.	
checked by	H.K.G.	
date	OCT 03 19	

STORM SEWER  
ON - SITE

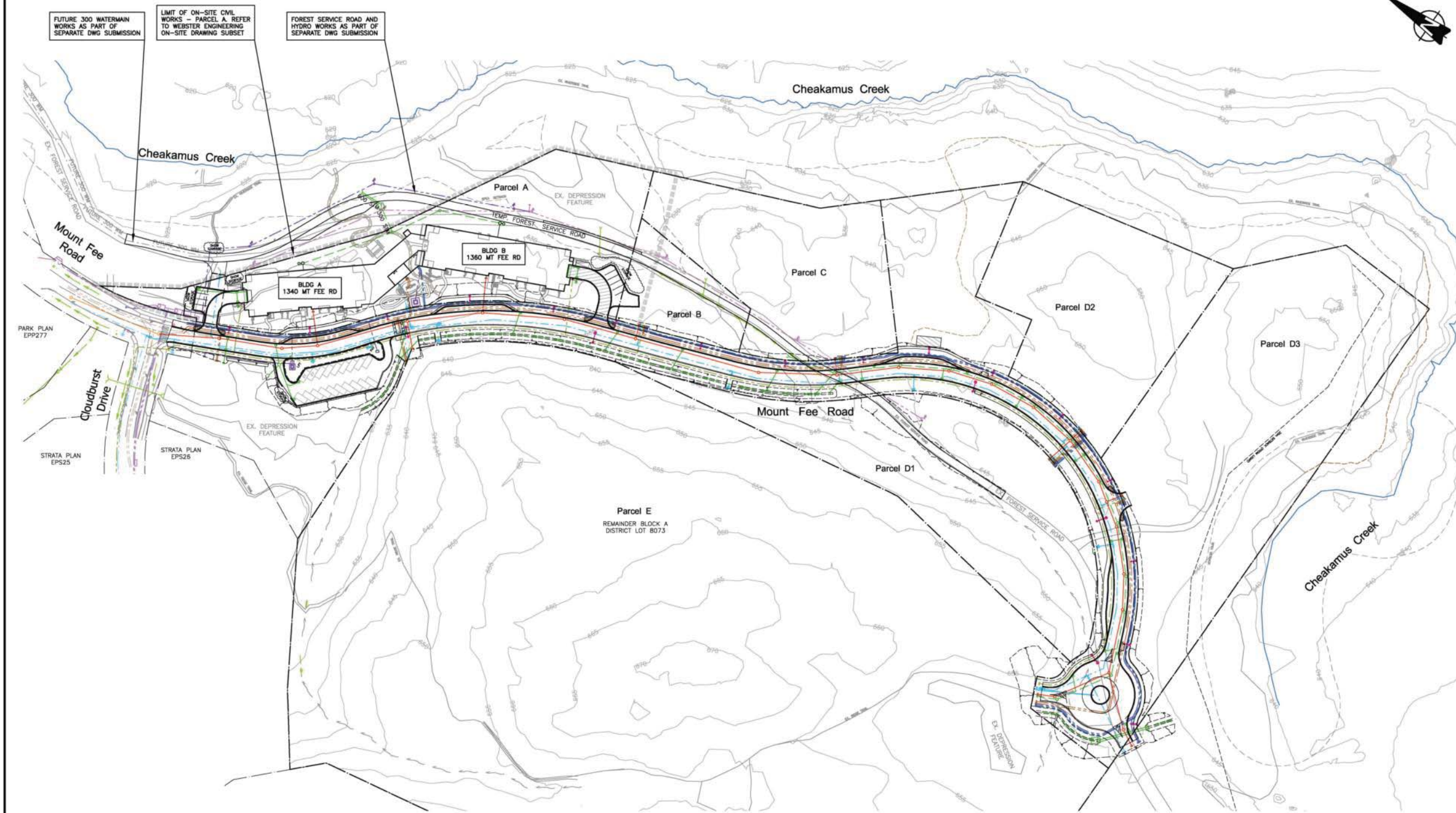
scales		
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file no.	4002	
drawing no.	(BP) STM-1	rev.

# OFF-SITE & ON-SITE CIVIL SERVICING

PROFESSIONAL ENGINEERS & LAND DEVELOPMENT CONSULTANTS - 3745 DELBROOK AVENUE  
NORTH VANCOUVER, BRITISH COLUMBIA - PH: 604.983.0458 FAX: 604.983.0459



SL-1	STREETLIGHTING
SL-2	STREETLIGHTING
SL-3	STREETLIGHTING



LEGEND - SERVICING		
DESCRIPTION	SYMBOLS	
	PROPOSED	EXISTING
PROPERTY LINE	---	---
BUILDING SETBACK	---	---
ROAD-CL	---	---
EDGE OF ASPHALT	---	---
CURB & GUTTER	---	---
PAVERS	---	---
ASPHALT SIDEWALK	---	---
FILL SLOPE	---	---
CUT SLOPE	---	---
ROCKSTACK WALL	---	---
WATERMAIN	---	---
FIRE HYDRANT	---	---
GATE VALVE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
CULVERT	---	---
CULVERT CROSSING	---	---
CATCH BASIN (TOP INLET)	---	---
CATCH BASIN (SIDE INLET)	---	---
DITCH	---	---
GAS MAIN	---	---
DISTRICT ENERGY SUPPLY	---	---
DISTRICT ENERGY RETURN	---	---
HYDRO	---	---
TELLUS	---	---
SHAW	---	---
STREETLIGHT	---	---
TRAIL LIGHT	---	---
POWER POLE	---	---

**LEGAL DESCRIPTION**  
BLOCK A DISTRICT LOT 8073 GROUP 1 NEW WESTMINSTER DISTRICT  
EXCEPT: PLAN EPP277  
PID: 026-772-213

**BENCHMARK**  
ELEVATIONS ARE COV028 ORTHOMETRIC DERIVED USING GNSS OBSERVATIONS  
CONVERTED USING THE HTV2 GEOID MODEL.

**FOR STREETLIGHTING SEE DWGS SL-1, 2 & 3**

- GENERAL NOTES**
- ALL CONSTRUCTION MUST CONFORM TO THE RESORT MUNICIPALITY OF WHISTLER (RMOW) GENERAL SPECIFICATIONS AND MUST PASS WEBSTER ENGINEERING AND/OR RMOW INSPECTION ON COMPLETION OF EACH STAGE OF CONSTRUCTION. THE CONTRACTOR WILL GIVE RMOW 48 HOURS NOTICE PRIOR TO THIS REQUIREMENT FOR INSPECTION.
  - THE CONTRACTOR SHALL ENSURE THAT ALL APPROVALS REQUIRED FOR THE PROPOSED WORK HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
  - LOCATIONS OF EXISTING UNDERGROUND SERVICES HAVE BEEN DETERMINED FROM RMOW AND UTILITIES AS-CONSTRUCTED DRAWINGS. CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING SERVICES AND TO NOTIFY ENGINEER OF ANY DISCREPANCIES, CONFLICTS OR OMISSIONS PRIOR TO BEGINNING CONSTRUCTION.
  - ALL CUTS IN EXISTING ASPHALT REQUIRED FOR TRENCHING SHALL BE SAWCUT & REPLACED WITH MINIMUM 100mm ASPHALT, 150mm GRANULAR BASE & 300mm GRANULAR SUBBASE AFTER BACKFILL AND COMPACTION. ALL PAVEMENTS BOULEVARDS, ETC. ARE TO BE RESTORED TO ORIGINAL CONDITION WHEN NO IMPROVEMENT IS PROPOSED UNDER THIS CONTRACT.
  - THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR EXISTING SERVICES AND ANY SERVICES DISTURBED ARE TO BE REPLACED TO THE SATISFACTION OF RMOW, THE ENGINEER AND /OR APPROPRIATE UTILITY CORPORATION.
  - THE CONTRACTOR'S SURVEYOR WILL RECORD ALL INFORMATION REQUIRED FOR THE ENGINEER TO PROVIDE A COMPLETE SET OF AS-CONSTRUCTED DRAWINGS.
  - WHEN NO IMPROVEMENTS ARE PROPOSED UNDER THIS CONTRACT, THE EXISTING SECTION(S) OF ROADWAY SHALL BE KEPT CLEAN AND CLEAR FOR THE DURATION OF CONSTRUCTION AND LEFT IN SAME CONDITION AS PRIOR TO CONSTRUCTION.
  - VEHICULAR ACCESS TO EXISTING DWELLINGS TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE CONTRACT.
  - RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT SHALL BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. IF CONSTRUCTION ENTERS ONTO PRIVATE PROPERTY, THE CONTRACTOR OR DEVELOPER'S AGENT WILL REQUIRE WRITTEN AUTHORIZATION FROM THE PRIVATE PROPERTY OWNER.
  - FOR BC HYDRO, TELUS & FORTIS INSTALLATION, SEE APPROPRIATE UTILITY COMPANY DRAWINGS & SPECIFICATIONS. LAYOUT SHOWN FOR REFERENCE ONLY.
  - ALL UTILITY STRUCTURES LOCATED WITHIN MULTI-USE PATH TO BE H20 LOAD RATED (INCLUDES HYDRO, TELUS, AND SHAW STRUCTURES).
  - THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT NO SILT IS DISCHARGED TO THE STORM DRAINAGE SYSTEM, ROADWAYS OR ADJACENT PROPERTIES DURING THE COURSE OF CONSTRUCTION IN ACCORDANCE WITH DFO/MOELP'S "LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT".
  - ALL CONSTRUCTION TRAFFIC MANAGEMENT SIGNS TO BE RELOCATED AS REQUIRED.

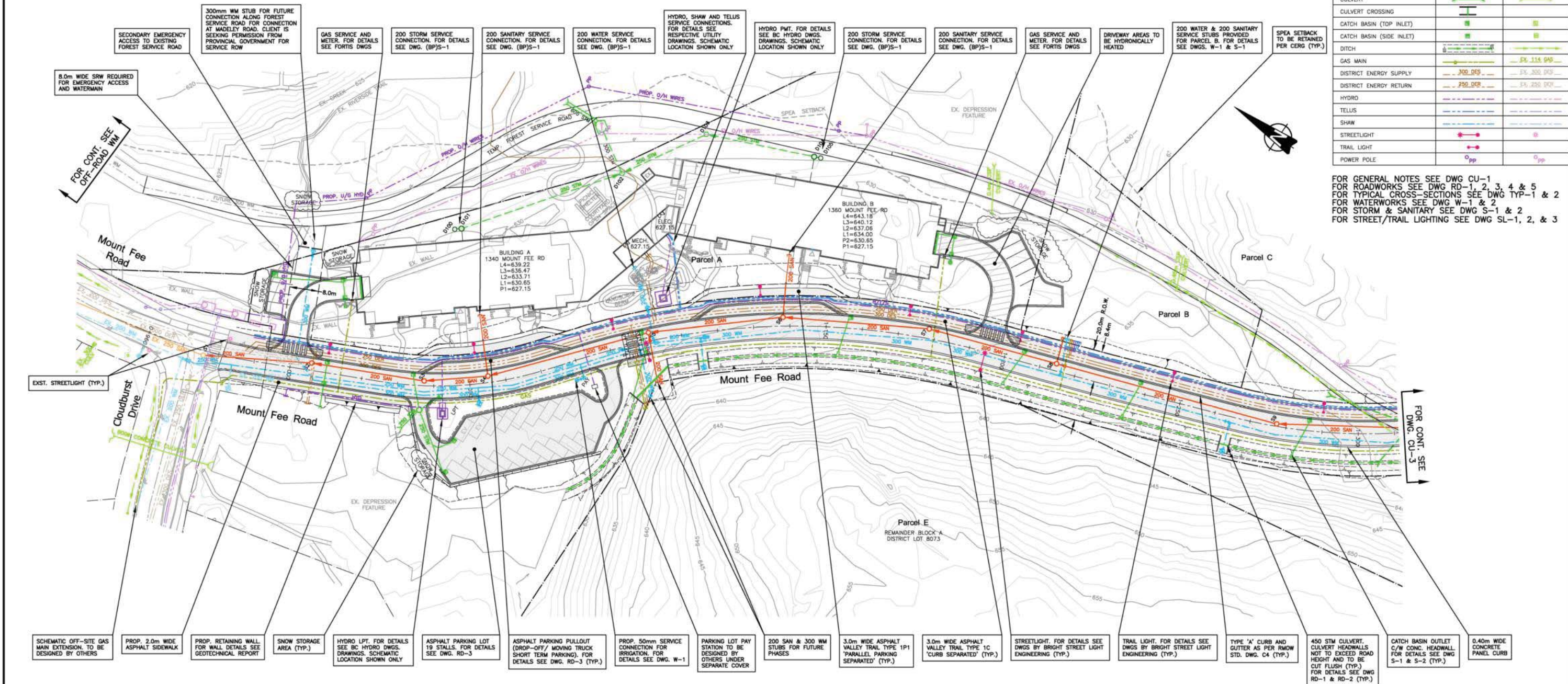
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FOR ON-SITE CIVIL WORKS  
PARCEL A REFER TO  
WEBSTER ENGINEERING  
ON-SITE DRAWING SUBSET

FOREST SERVICE ROAD AND  
HYDRO WORKS AS PART OF  
SEPARATE DWG SUBMISSION

LEGEND - SERVING		
DESCRIPTION	SYMBOLS	
	PROPOSED	EXISTING
PROPERTY LINE	---	---
BUILDING SETBACK	---	---
ROAD-CL	---	---
EDGE OF ASPHALT	---	---
CURB & GUTTER	---	---
PAVERS	---	---
ASPHALT SIDEWALK	---	---
FILL SLOPE	---	---
CUT SLOPE	---	---
ROCKSTACK WALL	---	---
WATERMAIN	---	---
FIRE HYDRANT	---	---
GATE VALVE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
CULVERT	---	---
CULVERT CROSSING	---	---
CATCH BASIN (TOP INLET)	---	---
CATCH BASIN (SIDE INLET)	---	---
DITCH	---	---
GAS MAIN	---	---
DISTRICT ENERGY SUPPLY	---	---
DISTRICT ENERGY RETURN	---	---
HYDRO	---	---
TELUS	---	---
SHAW	---	---
STREETLIGHT	---	---
TRAIL LIGHT	---	---
POWER POLE	---	---

FOR GENERAL NOTES SEE DWG CU-1  
FOR ROADWORKS SEE DWG RD-1, 2, 3, 4 & 5  
FOR TYPICAL CROSS-SECTIONS SEE DWG TYP-1 & 2  
FOR WATERWORKS SEE DWG W-1 & 2  
FOR STORM & SANITARY SEE DWG S-1 & 2  
FOR STREET/TRAIL LIGHTING SEE DWG SL-1, 2, & 3



3 SEP.04.20 ISSUED FOR DEVELOPMENT PERMIT JAT				client WHISTLER DEVELOPMENT CORPORATION				designed by J.A.T.				scales hor: 1:500 vert: -	
2 JUL.24.20 ISSUED FOR COORDINATION JAT				project CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA				drawn by S.T.				file no. 4002	
1 DEC.18.19 90% PARTIAL BUILDING PERMIT SUBMISSION JAT				PROFESSIONAL ENGINEERS				checked by H.K.G.				drawing no. CU-2	
no. date revision				no. date revision				date OCT.02.19				rev. 3	

STEEL ROCKY TERRAIN SPECIALISTS

**WEBSTER ENGINEERING LTD**

3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458

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approved

designed by J.A.T.

drawn by S.T.

checked by H.K.G.

date OCT.02.19

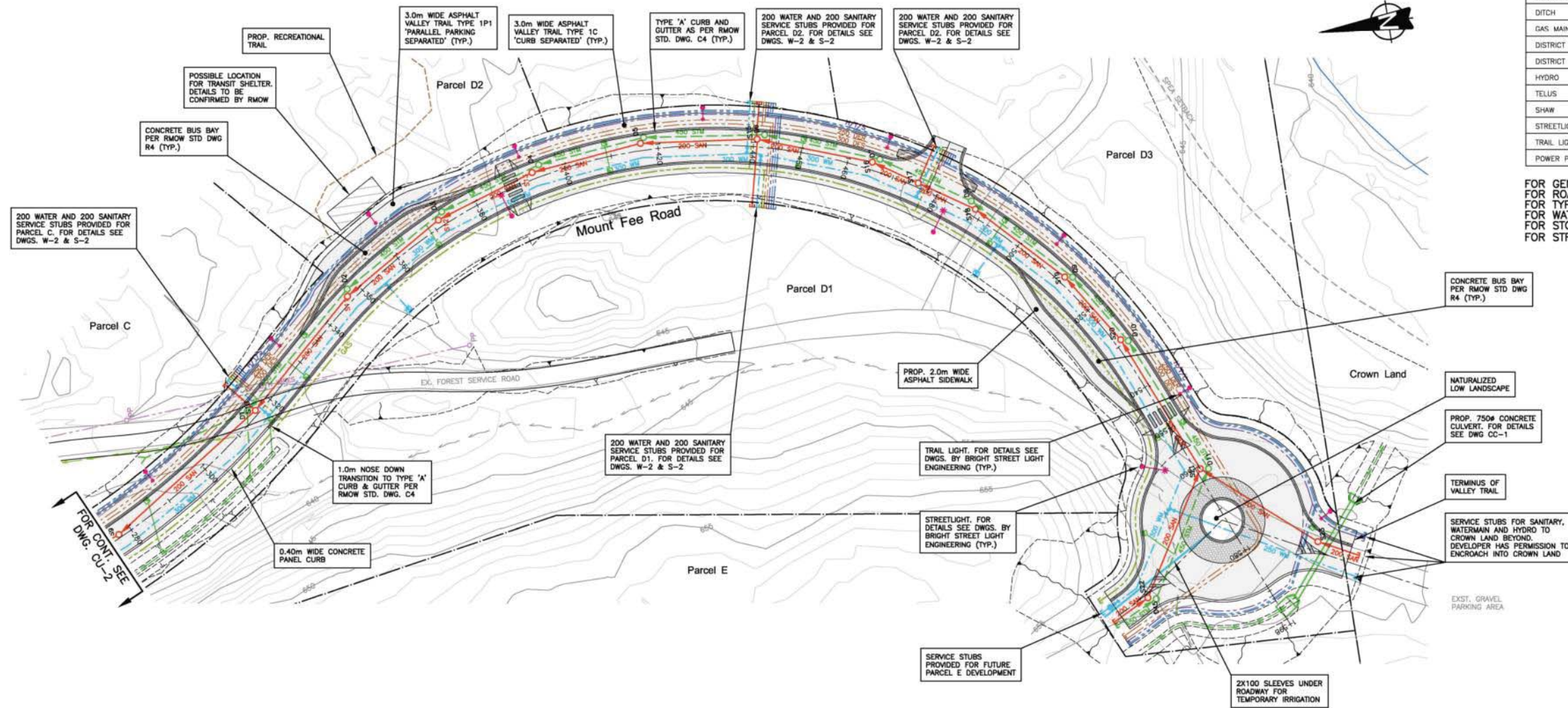
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COMPOSITE UTILITY PLAN

MOUNT FEE ROAD (0+980 - 1+280)

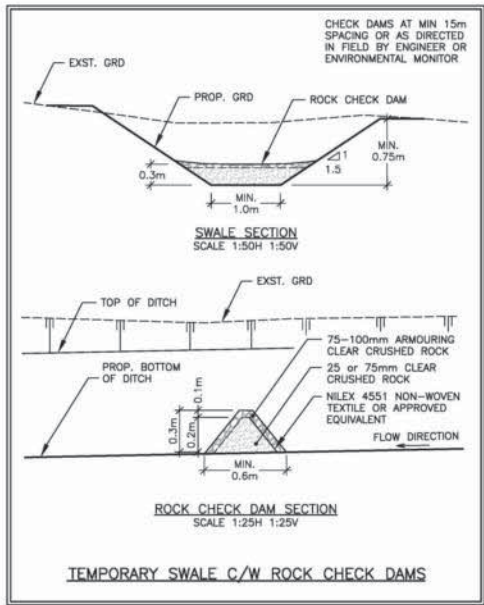
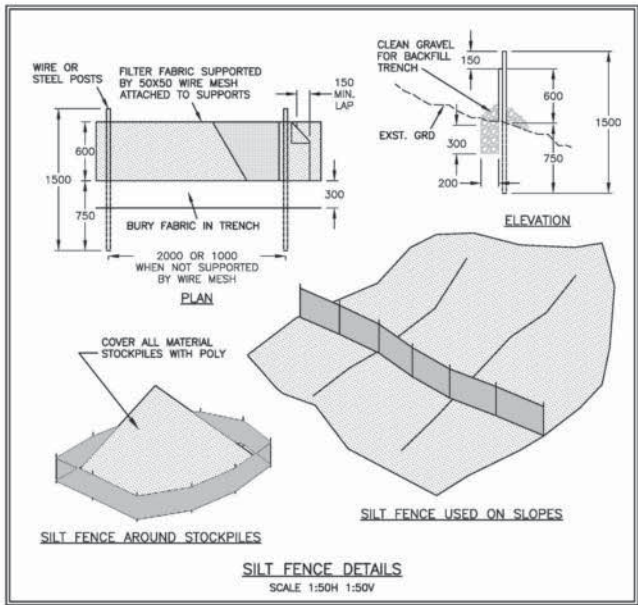
LEGEND - SERVING		
DESCRIPTION	SYMBOLS	
	PROPOSED	EXISTING
PROPERTY LINE	---	---
BUILDING SETBACK	---	---
ROAD-CL	---	---
EDGE OF ASPHALT	---	---
CURB & GUTTER	---	---
PAVERS	---	---
ASPHALT SIDEWALK	---	---
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HYDRO	---	---
TELUS	---	---
SHAW	---	---
STREETLIGHT	---	---
TRAIL LIGHT	---	---
POWER POLE	---	---

FOR GENERAL NOTES SEE DWG CU-1  
FOR ROADWORKS SEE DWG RD-1, 2, 3, 4 & 5  
FOR TYPICAL CROSS-SECTIONS SEE DWG TYP-1 & 2  
FOR WATERWORKS SEE DWG W-1 & 2  
FOR STORM & SANITARY SEE DWG S-1 & 2  
FOR STREET/TRAIL LIGHTING SEE DWG SL-1, 2, & 3



										client																				approved										designed by J.A.T.										title										scales hor: 1:500    vert: -																													
										project																														drawn by S.T.										COMPOSITE UTILITY PLAN										file no. 4002																													
2    SEP.04.20    ISSUED FOR DEVELOPMENT PERMIT    JAT										WHISTLER DEVELOPMENT CORPORATION																														checked by H.K.G.										MOUNT FEE ROAD (1+280 - 1+600)										drawing no. CU-3										rev. 2																			
1    JUL.24.20    ISSUED FOR COORDINATION    JAT										CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION																														date    SEPT.24.19																																																	
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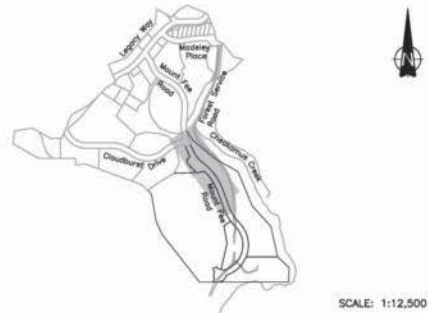


OPERATION & MAINTENANCE SCHEDULE		
EROSION/SEDIMENT CONTROL BMP	MAINTENANCE ACTIVITY	FREQUENCY
ACCESS ROADS	SWEEP	DAILY AS REQUIRED
DITCHES, TEMPORARY CULVERTS & TEMPORARY SWALES	REPAIR/CLEAN BERMS	ONCE A WEEK OR AS NEEDED, AND BOTH BEFORE & AFTER ANY SIGNIFICANT RAINFALL EVENT
SEDIMENT CONTROL POND	REMOVE ACCUMULATED SEDIMENT	ONCE A WEEK OR AS NEEDED, AND BOTH BEFORE & AFTER ANY SIGNIFICANT RAINFALL EVENT. SETTLED SEDIMENT TO NOT EXCEED 33% OF SETTLEMENT STORAGE VOLUME.
CLEAR CRUSH ROCK PAD	RENEW/REPLACE	AS REQUIRED
SILT SACS	REPAIR & REPLACE DEGRADED FABRIC, REMOVE ACCUMULATED SEDIMENT & DEBRIS	ONCE A WEEK OR AS NEEDED, AND BOTH BEFORE & AFTER ANY SIGNIFICANT RAINFALL EVENT

NOTE: SILT SACS ARE ALSO TO BE INSTALLED IN PROPOSED CATCH BASINS ONCE INSTALLED

Pond	Flow Derivation					Pond Sizing		Pond Dimensions*			
	Catchment Area (ha)	Storm Duration (hr)	10 (mm/hr)	Runoff Coeff.	Q <sub>in</sub> / Q <sub>out</sub> (m <sup>3</sup> /s)	Assumed Water Temp. (°C)	Partial Classification	Area of pond per volume of flow* (m <sup>2</sup> /m <sup>3</sup> )	Area of pond required (m <sup>2</sup> )	Length of pond (m)	Width of pond (m)
Offsite	1.68	1	11.4	0.3	0.016	5	Medium Silt	2111	34	13.00	2.60

\* As per Table 3.1 in "Land Development Guidelines for the Protection of Aquatic Habitat", 1992, DFO  
 \* Other pond dimensions are derived from Page 37 of "Land Development Guidelines for the Protection of Aquatic Habitat", 1992, DFO

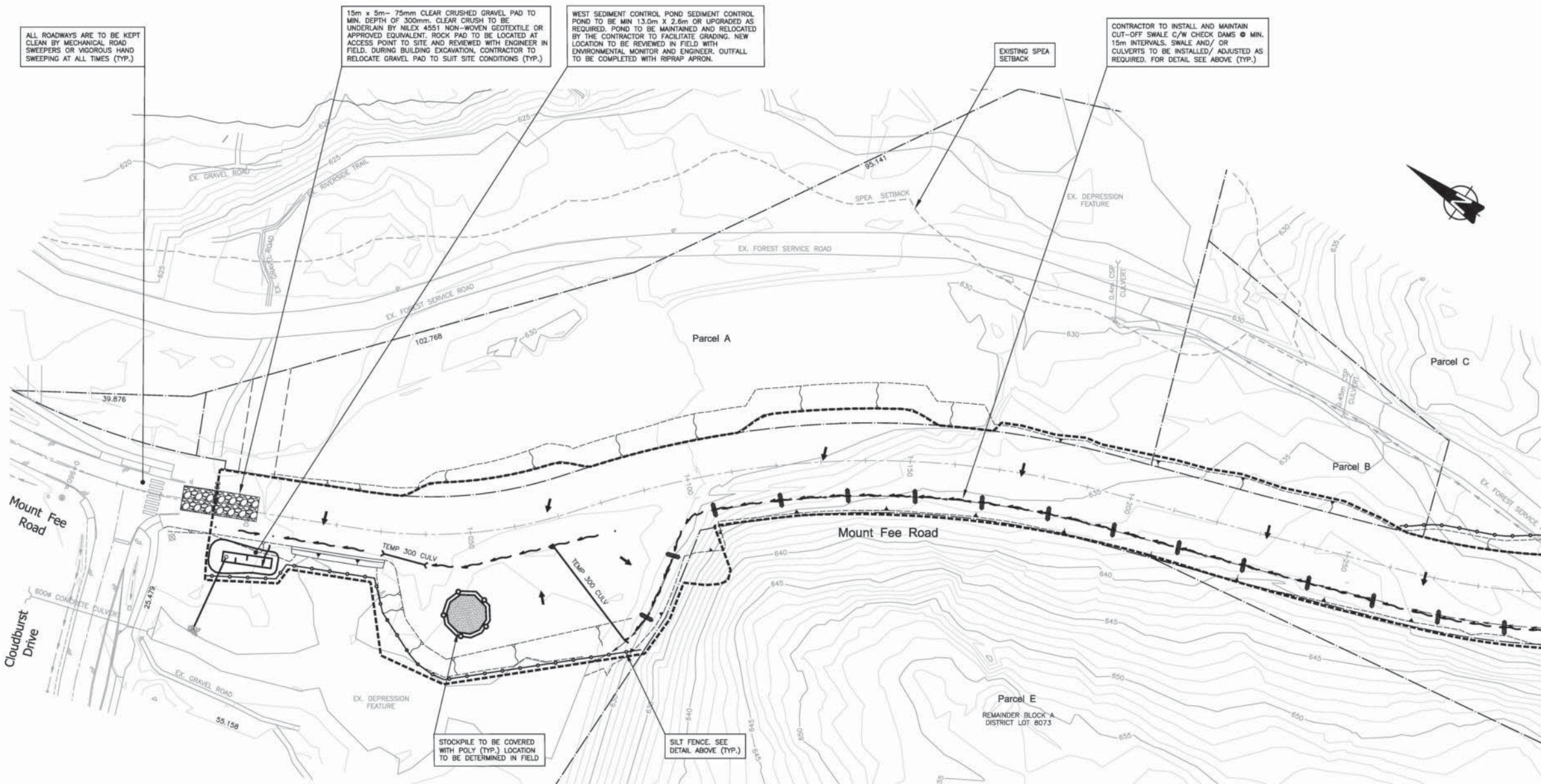


LEGEND - EROSION & SEDIMENT CONTROL	
DESCRIPTION	SYMBOLS
GENERAL FALL OF ROUGH GRADE DRAINAGE	→
EXISTING DITCH	—
PROPOSED TEMPORARY DITCH C/W CHECK DAMS @ 15m INTERVALS	—
SEDIMENT CONTROL POND	□
SILT FENCE	—
EXISTING CULVERT	—
TEMPORARY CULVERT	—
TEMPORARY STORM PIPE	—
SEDIMENT POND CATCHMENT BOUNDARY	—
SPEA SETBACK BY DIAMOND HEAD CONSULTING	—

FOR GENERAL NOTES SEE DWG CU-1

#### EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING A SILTATION AND EROSION CONTROL SYSTEM AS SHOWN ON THESE DRAWINGS AS WELL AS ANY ADDITIONAL TEMPORARY WORKS NECESSARY TO PREVENT SILT DISCHARGES TO THE STORM DRAINAGE SYSTEM.
- ALL SILTATION CONTROL DEVICES SHALL PROVIDE ACCESS FOR CLEANING AND MAINTENANCE.
- ALL SILTATION CONTROL STRUCTURES MUST BE MAINTAINED DURING THE COURSE OF CONSTRUCTION THROUGH TO THE END OF THE MAINTENANCE PERIOD.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT NO SILT IS DISCHARGED TO THE STORM DRAINAGE SYSTEM, ROADWAYS OR ADJACENT PROPERTIES DURING THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL INSPECT THE SILTATION AND EROSION CONTROL WORKS DURING RAINFALL EVENTS AND UNDERTAKE ANY REMEDIAL WORK REQUIRED FOR FUNCTIONAL OPERATION.
- AS CONSTRUCTION PROGRESSES AND INTERCEPTED FLOWS ARE REDUCED, THE SIZE OF THE SEDIMENT TRAP MAY BE REDUCED ACCORDINGLY AT THE DISCRETION OF THE ENGINEER AND THE RESORT MUNICIPALITY OF WHISTLER (RMOW).
- CONSTRUCTION AND MAINTENANCE OF THE SEDIMENT AND EROSION CONTROL MEASURES MUST BE INSTALLED AND MUST MEET OR SURPASS THE STANDARDS OUTLINED IN THE LATEST EDITION OF THE DEPARTMENT OF FISHERIES AND OCEANS "LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT" AND THE RMOW'S SUBDIVISION AND DEVELOPMENT SERVICING AND STORMWATER MANAGEMENT BYLAWS NO. 1175, 2012.
- THE SUPPLY AND INSTALLATION OF SILT FENCES SHALL BE AS PER SECTION 3 AND FIGURE 3.3 OF THE DEPARTMENT OF FISHERIES AND OCEANS "LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT".
- THE CONTRACTOR SHALL CONSTRUCT ALL NECESSARY SILTATION AND EROSION CONTROL WORKS BEFORE COMMENCING ANY OTHER ON-SITE CONSTRUCTION OTHER THAN CLEARING.
- PROTECT EXPOSED SLOPES WITH FASTENED POLYETHYLENE SHEETING OR OTHER APPROVED COVER - MINIMIZE SURFACE DISTURBANCE AND THE AMOUNT OF TIME SURFACES ARE EXPOSED.
- DESIGNATE AN AREA FOR SOIL STOCKPILING AND KEEP ALL MATERIALS (E.G. SAND, GRAVEL, SPOIL MATERIAL, CONCRETE MIX) OFF PAVED SURFACES AND AS FAR AS POSSIBLE FROM THE TOP OF BANK (I.E. NATURAL BOUNDARY) OF ANY WATER COURSE OR THE STORM WATER SYSTEM. PROTECT STOCKPILES WITH POLYETHYLENE SHEETING AND, IF REQUIRED, SILT FENCING.
- ANY FILL USED ON SITE MUST BE INERT MATERIAL, FREE OF CONTAMINANTS OR ANY OTHER SUBSTANCES DELETERIOUS TO AQUATIC LIFE.
- ALL SITE RUNOFF MUST CONTAIN TOTAL SUSPENDED SOLIDS (TSS) OF LESS THAN 25 mg/L ABOVE BACKGROUND DURING DRY MONTHS AND LESS THAN 75 mg/L ABOVE BACKGROUND DURING WET MONTHS, AND MEASURE TSS AT THE MONITORING POINT AS REQUIRED.
- ENVIRONMENTAL MONITORING IS TO BE CONDUCTED BY THE ENGINEER OF RECORD OR THE APPROVED ENVIRONMENTAL CONSULTANT, INCLUDING INSPECTING AND REPORTING OF THE CONSTRUCTION WORK AND THE WATER QUALITY, SEQUENCING TO BE DETERMINED WITH THE RMOW. MONITORING IS TO OCCUR UNTIL 90% OF CONSTRUCTION IS COMPLETE. MONITORING REPORTS ARE TO BE SUBMITTED TO THE RMOW WITHIN ONE WEEK OF EACH SITE INSPECTION.
- ADDITIONAL SEDIMENT CONTROL MEASURES MAY BE REQUIRED AT THE REQUEST OF THE RMOW UNDER THE APPROVAL OF THE ENGINEER OF RECORD OR APPROVED ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL AT MINIMUM INSTALL, MONITOR AND REGULARLY MAINTAIN:
  - SEDIMENT SACS AT ALL CATCH BASINS AFFECTED BY CONSTRUCTION
  - CONTROLLED VEHICLE ACCESS
  - SITE PERIMETER FENCING
  - SLOPE AND STOCKPILE PROTECTION
  - COLLECTION SWALES OR PUMP HOSE



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client	WHISTLER DEVELOPMENT CORPORATION
project	CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS

**WEBSTER ENGINEERING LTD**

STEEL ROCKY TERRAIN SPECIALISTS

3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458

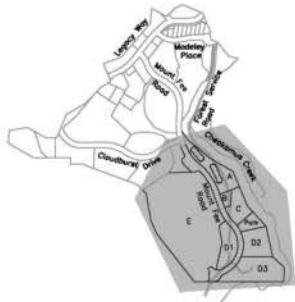
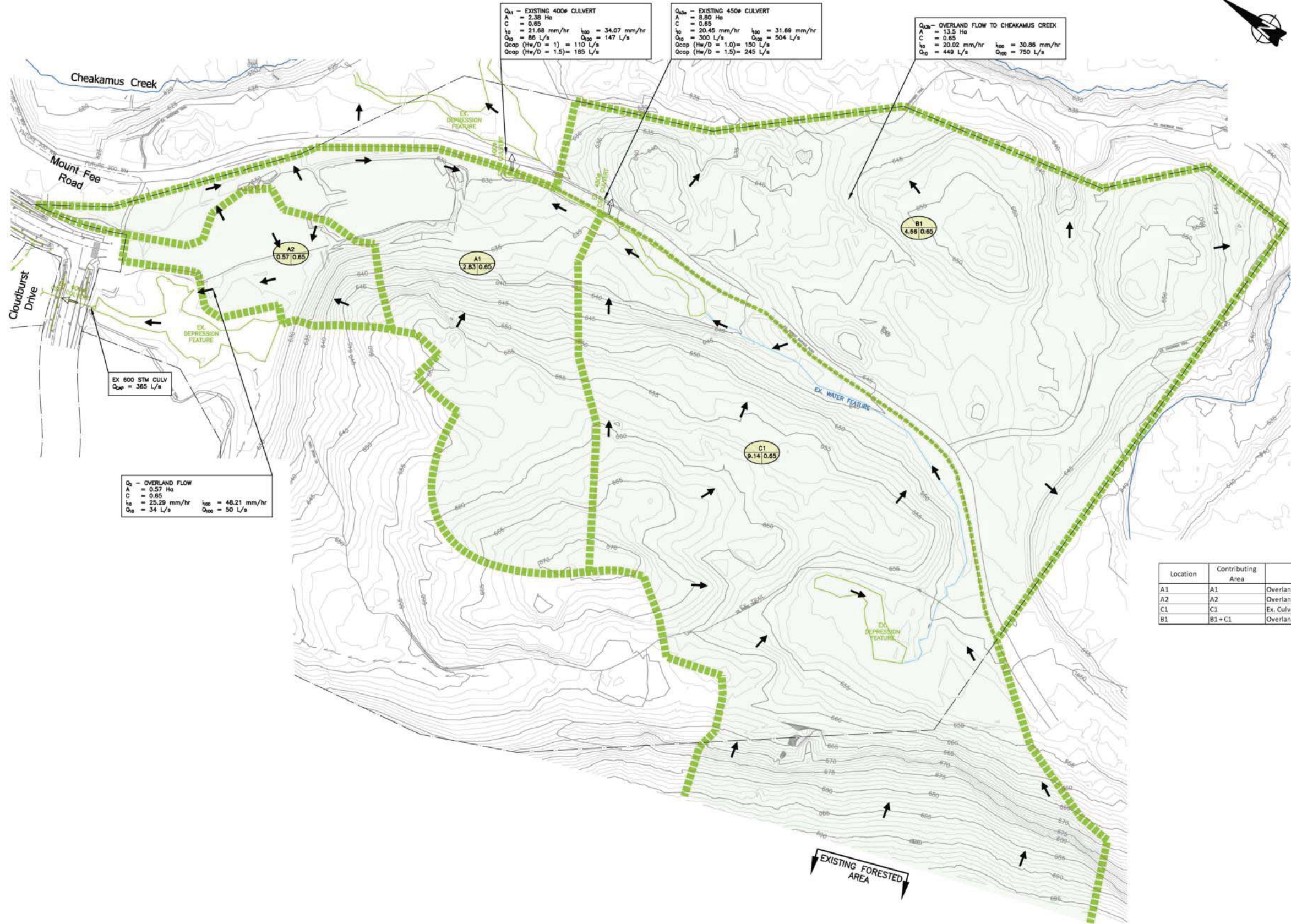
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		drawn by M.J.F.	
		checked by H.K.G.	
		date	SEPT.24.19

#### EROSION AND SEDIMENT CONTROL PLAN MOUNT FEE ROAD (0+980 - 1+280)

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drawing no.	ESC-1	rev. 1





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LEGEND - MASTER DRAINAGE	
DESCRIPTION	SYMBOLS
PROPOSED BIOSWALE	
PROPOSED CATCH BASIN - TOP INLET	
PROPOSED CATCH BASIN - SIDE INLET	
EXISTING DITCH	
PROPOSED DITCH	
PROPOSED STORM SEWER	
EXISTING STORM SEWER	
PROPOSED LEGAL BOUNDARY	
EXISTING LEGAL BOUNDARY	
FLOW - IN-PIPE	
FLOW - OVERLAND	
ON-LOT DRAINAGE	
CATCHMENT - PARKS AND GREEN SPACE	
CATCHMENT - SINGLE FAMILY	
CATCHMENT - MULTI FAMILY	
CATCHMENT - PAVED AREAS	
MAJOR CATCHMENT AREA BOUNDARY	
SUB-CATCHMENT AREA BOUNDARY	
LOCAL CATCHMENT AREA BOUNDARY	
CATCHMENT AREA NAME	
RUNOFF COEFFICIENT	
TOTAL AREA (Ha)	

FOR GENERAL NOTES SEE DWG CU-1  
FOR STORM SEWERS SEE DWG S-1 & S-2  
FOR POST DEVELOPMENT CONDITIONS SEE DWG SMP-2

Location	Contributing Area	Description	Area (Ha)	C	i10 (mm/hr)	Q10 (L/s)	i100 (mm/hr)	Q100 (L/s)
A1	A1	Overland to Wetlands	2.38	0.65	21.68	86	34.07	147
A2	A2	Overland to Wetlands	5.71	0.65	28.64	27	48.21	50
C1	C1	Ex. Culvert	9.17	0.65	20.45	313	31.69	525
B1	B1 + C1	Overland to Creek	13.83	0.65	20.02	461	30.86	770

P:\16201\0002 - Cheakamus Creek - Phase 3, Whistler\DESIGN\STORM CATCHMENT PLAN - PREDEV.dwg, 16/02/2020 1:09:36 PM, HPF

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client

WHISTLER DEVELOPMENT CORPORATION

project

CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION  
WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS

**WEBSTER ENGINEERING LTD.**  
3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458

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approved

designed by J.A.T.

drawn by S.T.

checked by H.K.G.

date OCT.11.19

scale

hor: 1:1000 vert: -

file no.

4002

drawing no.

SMP-1

rev.

1

STORMWATER CATCHMENT PLAN

PRE-DEVELOPMENT CONDITIONS



FOR GENERAL NOTES SEE DWG CU-1  
FOR STORM SEWERS SEE DWG S-1 & 2  
FOR PRE-DEVELOPMENT CONDITIONS SEE DWG SMP-1

$Q_{A30} = 750 \text{ cULVERT}$ $A = 8.95 \text{ Ha}$ $C = 0.65$ $i_0 = 21.69 \text{ mm/hr}$ $Q_{10} = 251 \text{ L/s}$ $Q_{cap} = 550 \text{ L/s}$	$i_{100} = 34.09 \text{ mm/hr}$ $Q_{100} = 428 \text{ L/s}$
--	--

Sub-Catchment	Start MH / Inlet	End MH / Inlet	Natural (m <sup>2</sup> )	Single Family (m <sup>2</sup> )	Multi-Family (m <sup>2</sup> )	Road ROW (m <sup>2</sup> )	Total Area (m <sup>2</sup> )	Total Area (ha)	C (Avg)	Pipe Slope (%)	Pipe Length (m)	Pipe Size (mm)	n	T1 (min)	Tt (min)	Tc (min)	100 Year Peak Flow (m <sup>3</sup> /hr)	100-Year Peak Flow (l/s)	Q-cap (l/s)	Velocity (m/s)	Depth of Flow (m)	Percent Full (Volume)
A3C-i	-	D12	C= 0.65	0.65	0.75	0.65																
A3C-ii		D12	870	3842	8617	2475	15808	1.6	0.74	1.0%	29.2	450	0.013	8.0	0.3	8.3	54.7	177	285	1.9	0.26	62.0%
A3C-iii		D12	0	0	0	725	725	1.7	0.74	1.0%	31.6	450	0.013	8.3	0.3	8.5	53.8	183	285	1.9	0.26	64.2%
A3C-iv	D11	D10	870	3842	8617	2829	17158	1.7	0.74	1.0%	17.2	450	0.013	8.5	0.1	8.7	53.4	189	285	1.9	0.27	66.4%
A3C-v	D9	D8	870	3842	8617	4967	18296	1.8	0.75	1.0%	25.6	450	0.013	8.7	0.2	8.9	52.7	201	285	1.9	0.28	70.6%
A3C-v	D9	D7	870	3842	8617	4967	18296	1.8	0.75	1.0%	31.0	450	0.013	8.9	0.3	9.2	51.9	198	285	1.9	0.28	69.6%
A3C-vi	D7	D6	870	3842	8617	5764	19093	1.9	0.76	2.0%	24.7	450	0.013	9.2	0.2	9.3	51.5	206	403	2.5	0.23	51.2%
A3C-vii	D6	D5	870	3842	8617	6185	19514	2.0	0.76	5.5%	25.4	450	0.013	9.3	0.1	9.4	51.2	210	669	3.7	0.17	31.4%
A3C-viii	D5	D4	870	3842	8617	6765	20094	2.0	0.76	5.5%	22.8	450	0.013	9.4	0.1	9.5	50.9	216	669	3.8	0.18	32.3%
A3C-ix	D4	D3	870	3842	8617	7082	20411	2.0	0.76	6.0%	22.6	450	0.013	9.5	0.1	9.6	50.7	219	698	3.9	0.17	31.3%
A3C-x	D3	D2	870	3842	8617	7082	20411	2.0	0.76	6.0%	25.6	450	0.013	9.6	0.1	9.8	50.4	218	698	3.9	0.17	31.2%
A3C-x	D2	D1	870	3842	8617	7957	21286	2.1	0.77	3.8%	33.7	450	0.013	9.8	0.2	9.9	50.0	226	554	3.3	0.20	40.8%
A3C-x	D1	Outlet	0	0	0	580	580	2.2	0.77	1.0%	13.4	450	0.013	9.9	0.1	10.0	49.7	232	285	2.0	0.31	81.3%

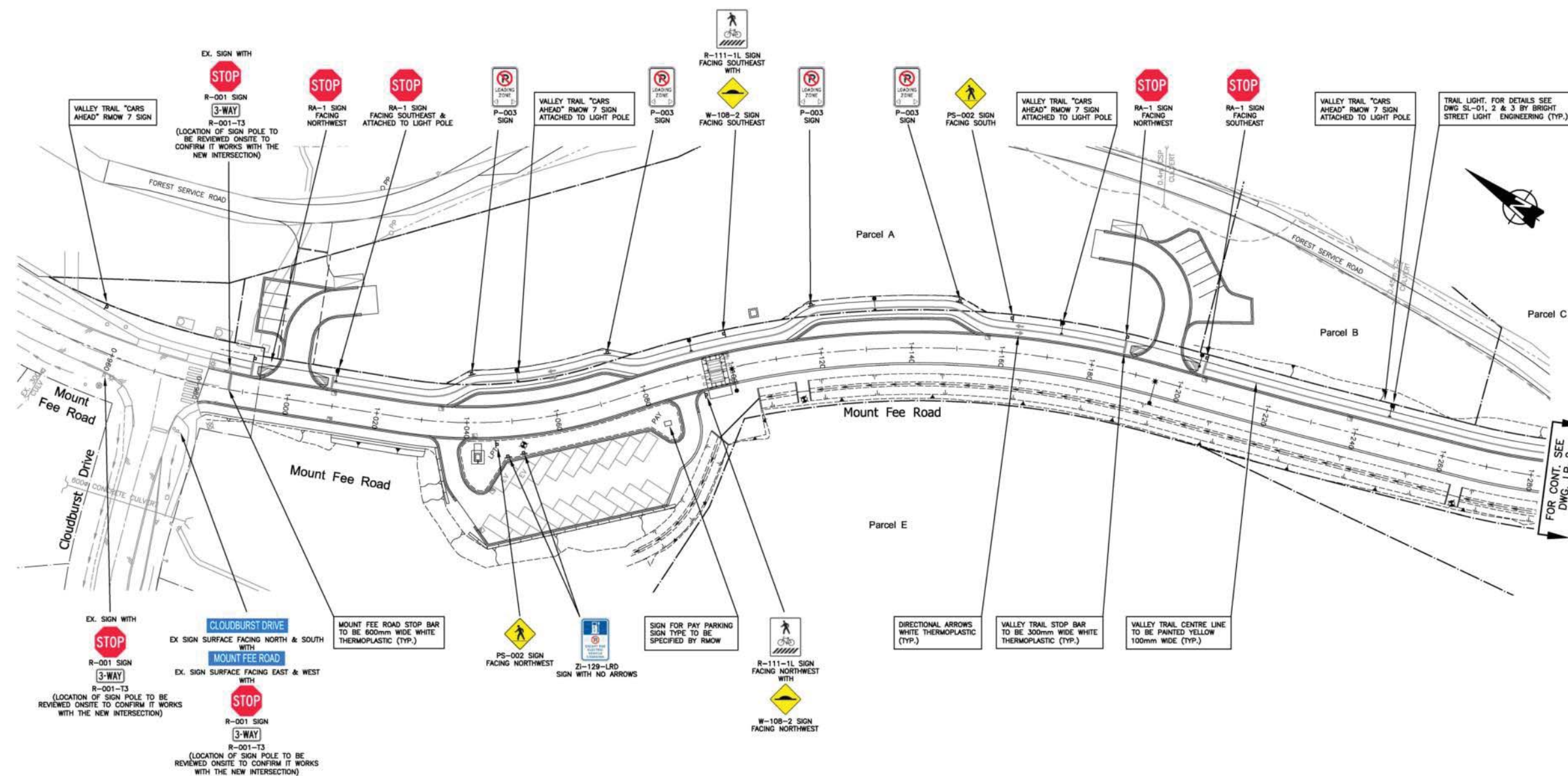


LEGEND	SYMBOLS	
DESCRIPTION	PROPOSED	EXISTING
PROPERTY LINE		
BUILDING SETBACK		
ROAD-CL		
EDGE OF ASPHALT		
CURB & GUTTER		
CONCRETE BAND — 0.4m		
PAVERS		
ASPHALT SIDEWALK		
FILL SLOPE		
CUT SLOPE		
ROCKSTACK WALL		
FIRE HYDRANT		
CULVERT		
CULVERT CROSSING		
CATCH BASIN (TDP INLET)		
CATCH BASIN (SIDE INLET)		
DITCH		
STREETLIGHT		
POWER POLE		

FOR GENERAL NOTES SEE DWG CU-1  
FOR ROADWORKS NOTES SEE DWG RD-1  
FOR TYPICAL ROAD CROSS-SECTIONS SEE DWG TYP-1 & 2

## SIGNAGE &amp; LINE PAINTING NOTES

1. ALL SIGNING AND PAVEMENT MARKINGS ARE TO BE AS PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR CANADA (LATEST EDITION), AND THE BRITISH COLUMBIA MINISTRY OF TRANSPORTATION PAVEMENT MARKINGS MANUAL AND MANUAL OF STANDARD TRAFFIC SIGNS AND PAVEMENT MARKINGS.
2. ALL VALLEY TRAIL SIGNS TO BE AS PER RESORT MUNICIPALITY OF WHISTLER VALLEY TRAIL SIGN MANUAL (JULY 1995). VALLEY TRAIL SIGNS TO BE DOWNSIZED BY 33% FROM THE STANDARD ROAD TRAFFIC SIGNS.
3. PAVEMENT MARKINGS TO BE THERMOPLASTIC FOR ALL GORES, CROSSHATCH, CROSSINGS, ARROWS AND STANDARD SIZE STANDARD HOT PAINT FOR LONG LINES. PAVEMENT MARKINGS TO BE COMPLETED AFTER 2nd LIFT OF ASPHALT
4. UNLESS NOTED OTHERWISE, ALL LINE TYPES ARE 100mm WIDE.
5. ALL NEW SIGNS TO BE MANUFACTURED WITH REFLECTIVITY AS FOLLOWS:
  - STOP SIGNS: DIAMOND GRADE
  - STREET BLADES & NO PARKING SIGNS: ENGINEER GRADE
  - ALL OTHER SIGNS: HIGH INTENSITY
6. RECESSED PAVEMENT MARKING (RPW) SHALL BE INSTALLED PER MOT MANUAL OF STANDARD TRAFFIC, SIGNAL PAVEMENT MARKING, SECTION 7.5 WHERE INDICATED.
7. CONTRACTOR TO ERADICATE ALL EXISTING LINE PAINTING THAT DOES NOT COINCIDE WITH PROPOSED.
8. CONTRACTOR SHOULD PLAN & ORGANIZE WORKS SUCH THAT THERE IS NO ERADICATION OF ANY MARKINGS ON "TOP-LIFT" ASPHALT.
9. ALL SIGN MOUNTING COMPONENTS TO BE CONSTRUCTED OF ALUMINUM.
10. ALL SIGN HARDWARE TO BE CONSTRUCTED OF STAINLESS STEEL.
11. ALL LINE PAINTING AND PAVEMENT MARKINGS TO BE AS PER MAMD SECTION 02580.



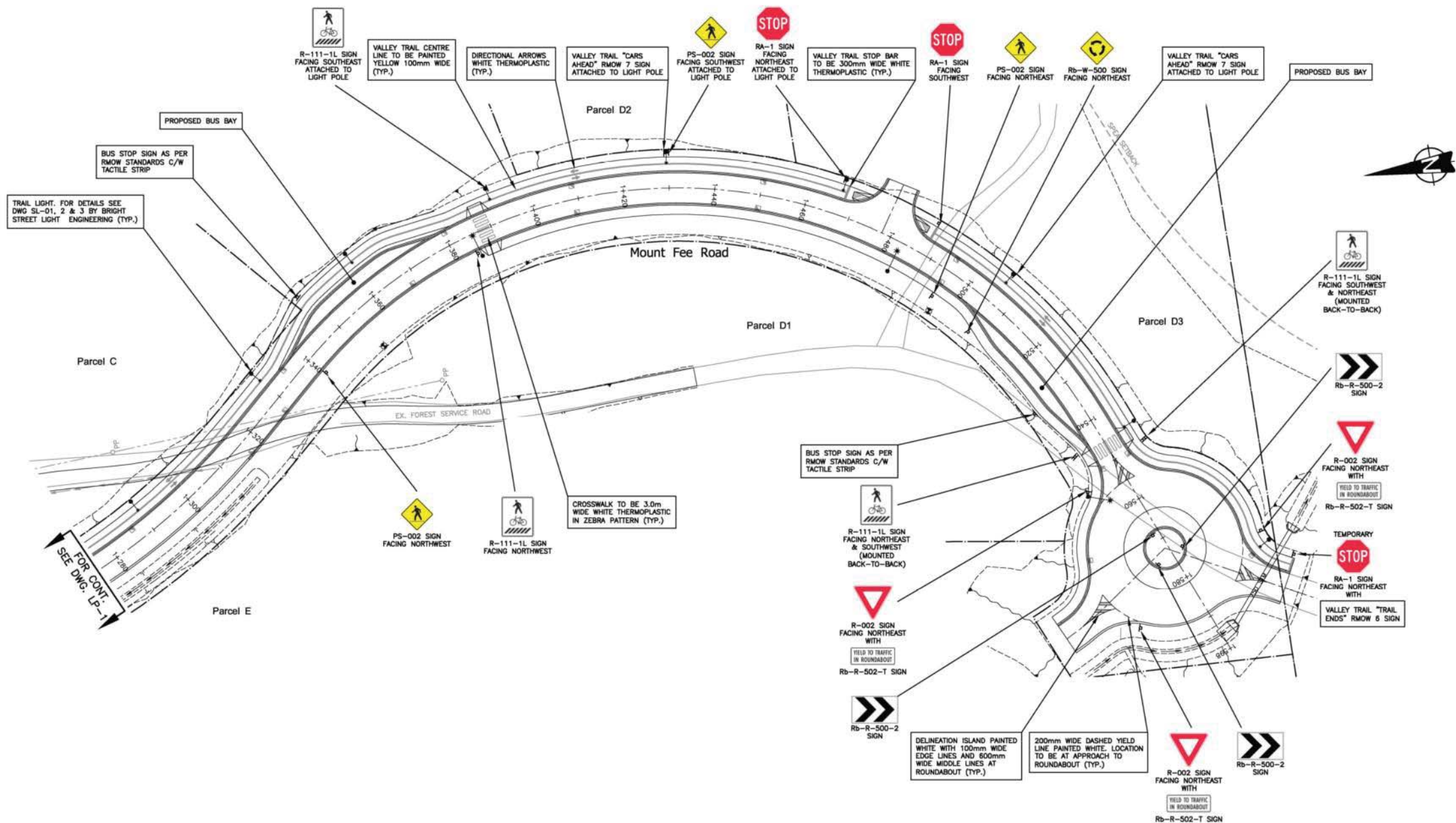
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										project				SIGNAGE & LINE PAINTING MOUNT FEE ROAD (0+980 - 1+280)								
										WHISTLER DEVELOPMENT CORPORATION CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA												
2	SEP.04.20	ISSUED FOR DEVELOPMENT PERMIT	JAT																			
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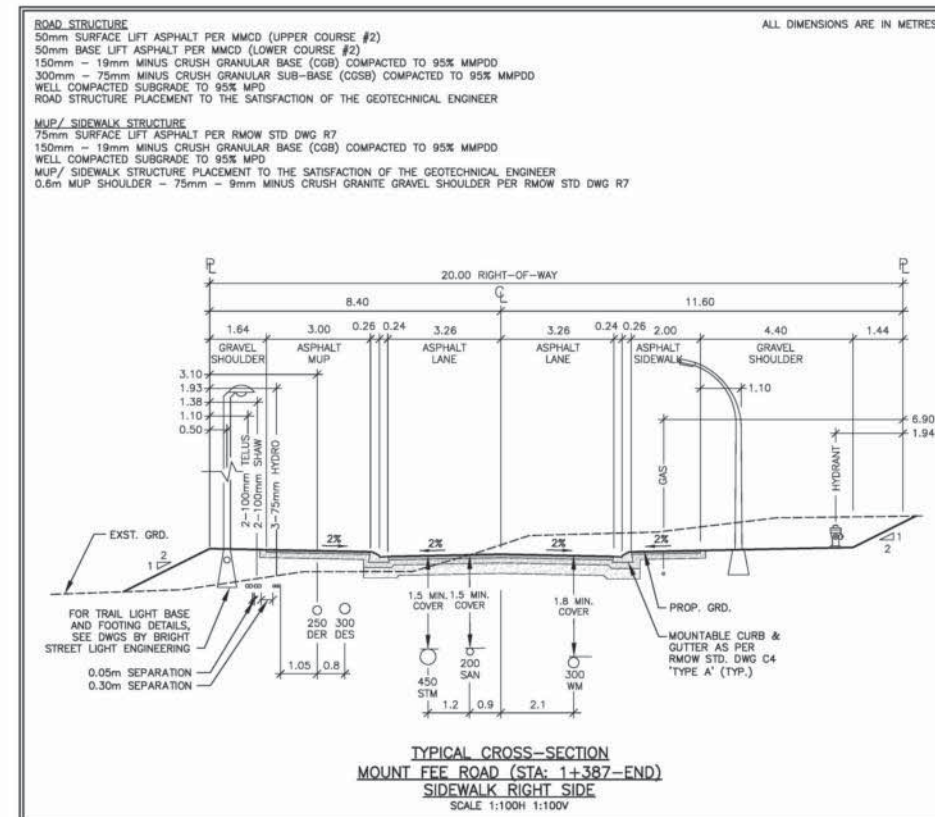
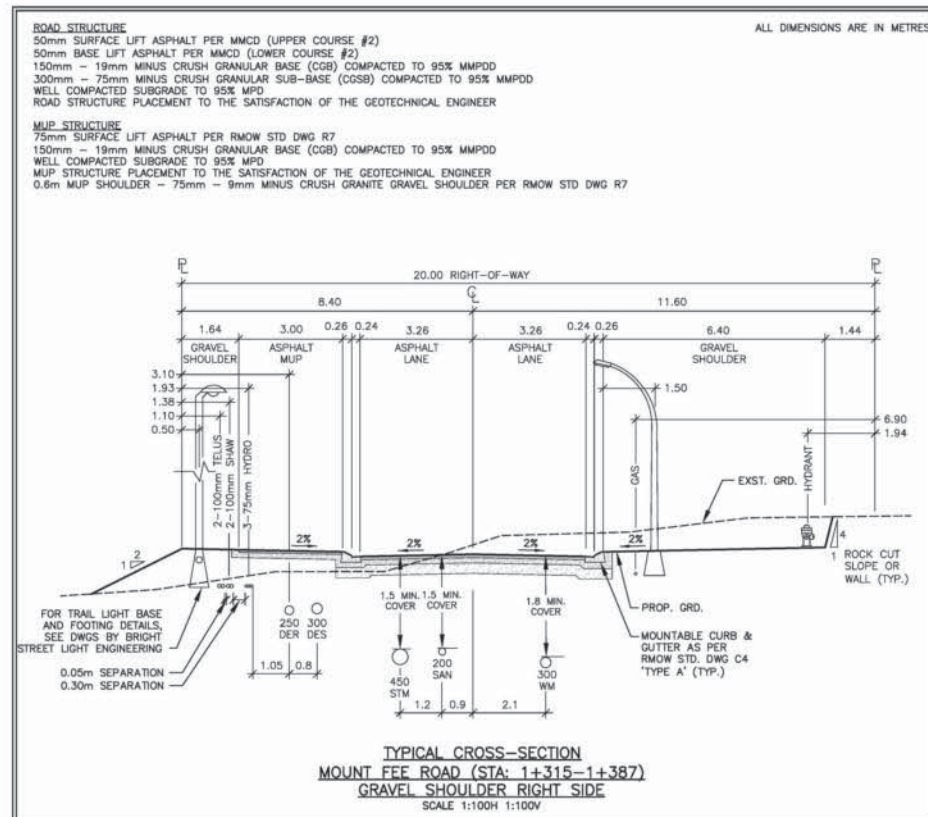
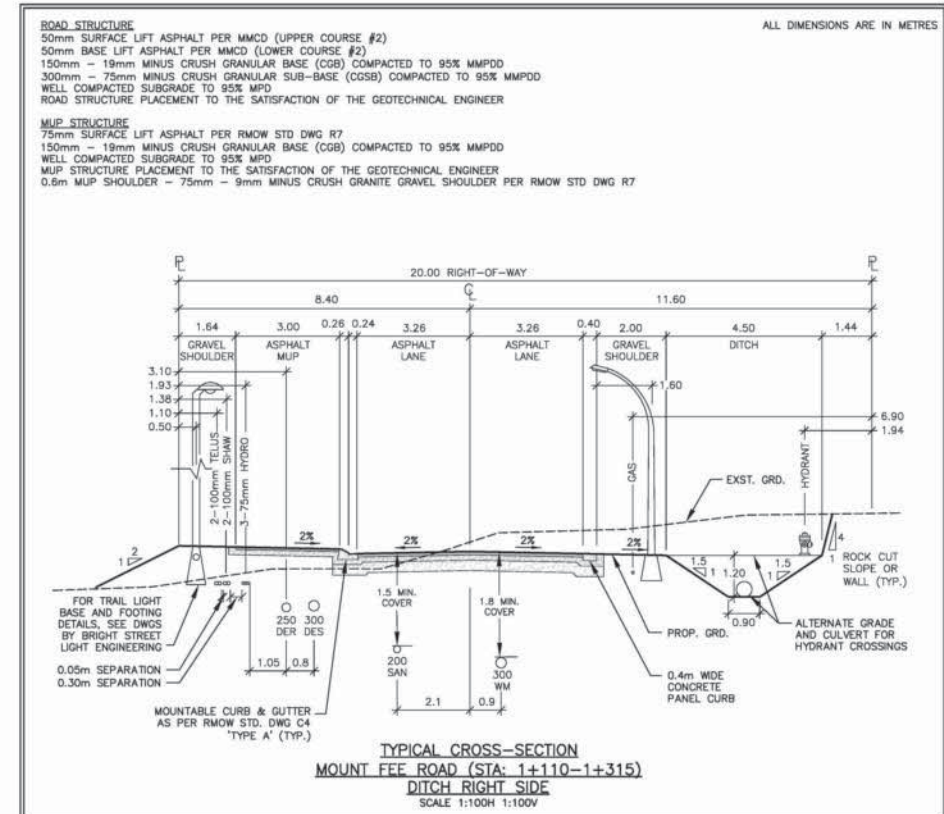
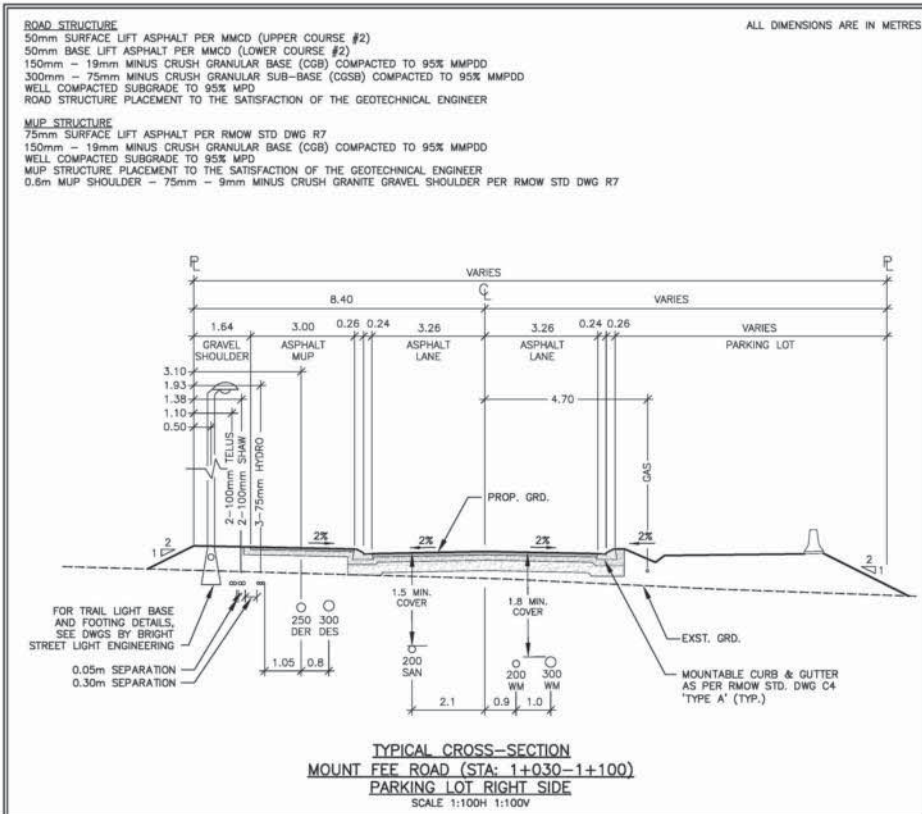
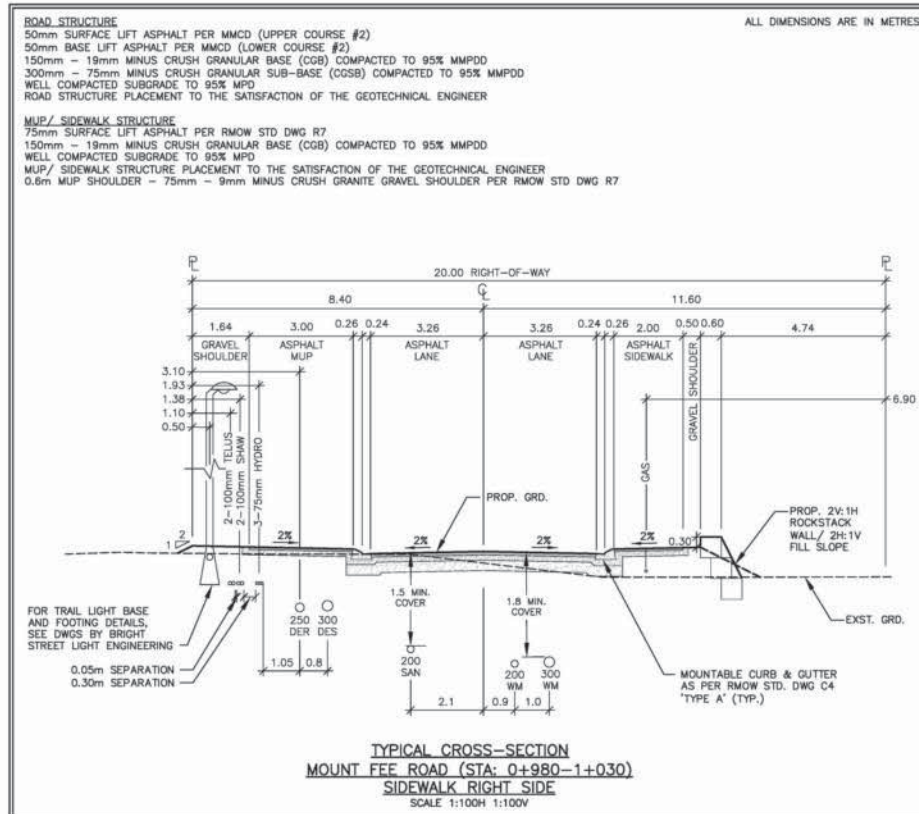
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LEGEND		
DESCRIPTION	SYMBOLS	
	PROPOSED	EXISTING
PROPERTY LINE	---	---
BUILDING SETBACK	---	---
ROAD-CL	---	---
EDGE OF ASPHALT	---	---
CURB & GUTTER	---	---
CONCRETE BAND - 0.4m	---	---
PAVERS	---	---
ASPHALT SIDEWALK	---	---
FILL SLOPE	---	---
CUT SLOPE	---	---
ROCKSTACK WALL	---	---
FIRE HYDRANT	---	---
CULVERT	---	---
CULVERT CROSSING	---	---
CATCH BASIN (TOP INLET)	---	---
CATCH BASIN (SIDE INLET)	---	---
DITCH	---	---
STREETLIGHT	---	---
POWER POLE	---	---

FOR GENERAL NOTES SEE DWG CU-1  
FOR SIGNAGE & LINEPAINTING NOTES SEE DWG LP-1  
FOR ROADWORKS NOTES SEE DWG RD-1  
FOR TYPICAL ROAD CROSS-SECTIONS SEE DWG TYP-1 & 2

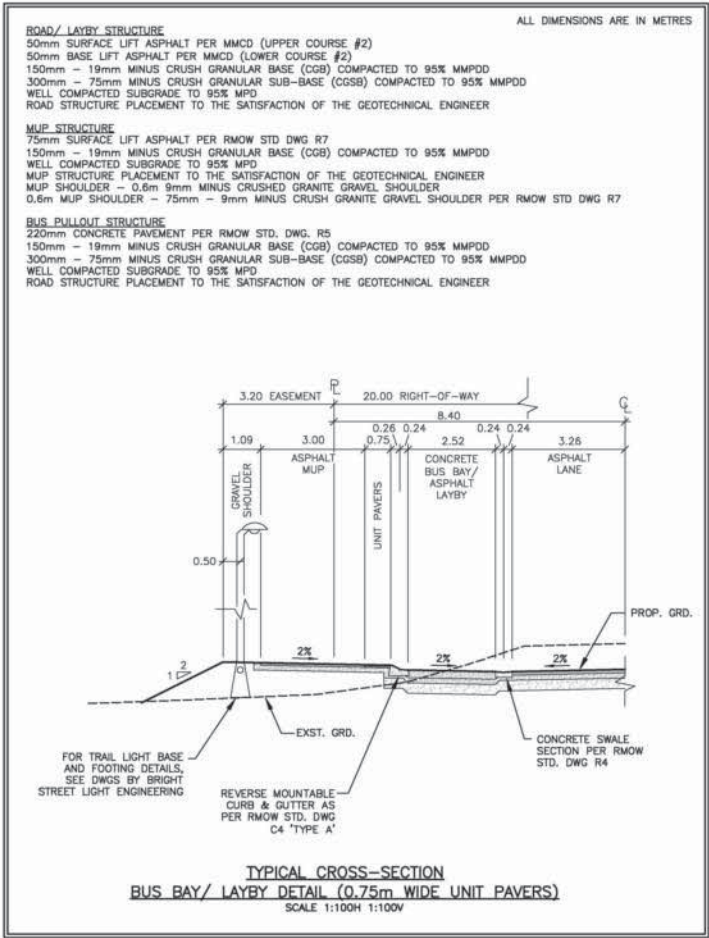
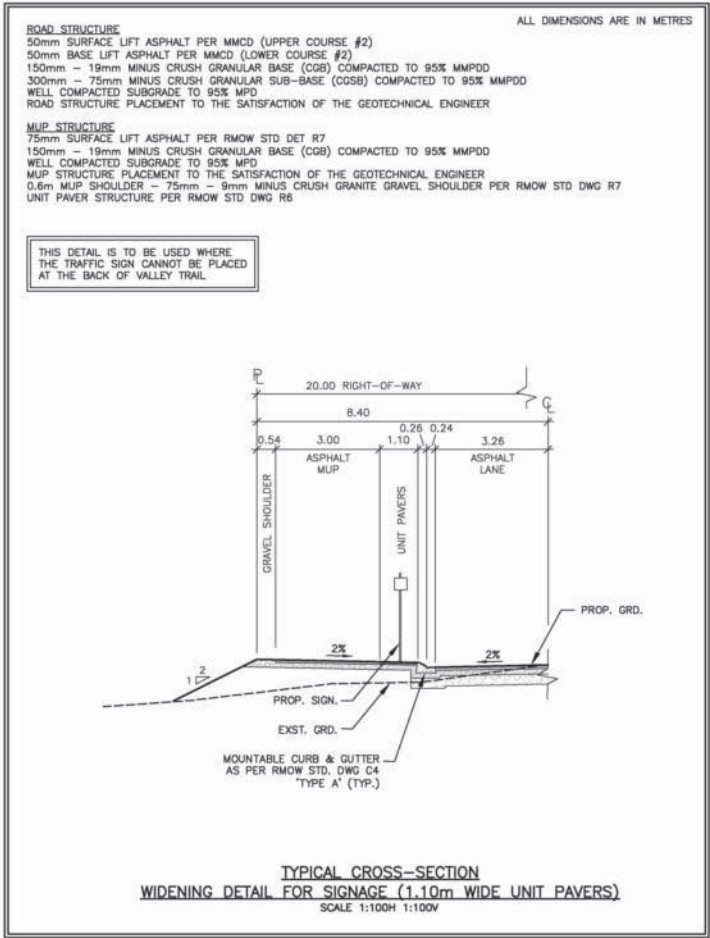


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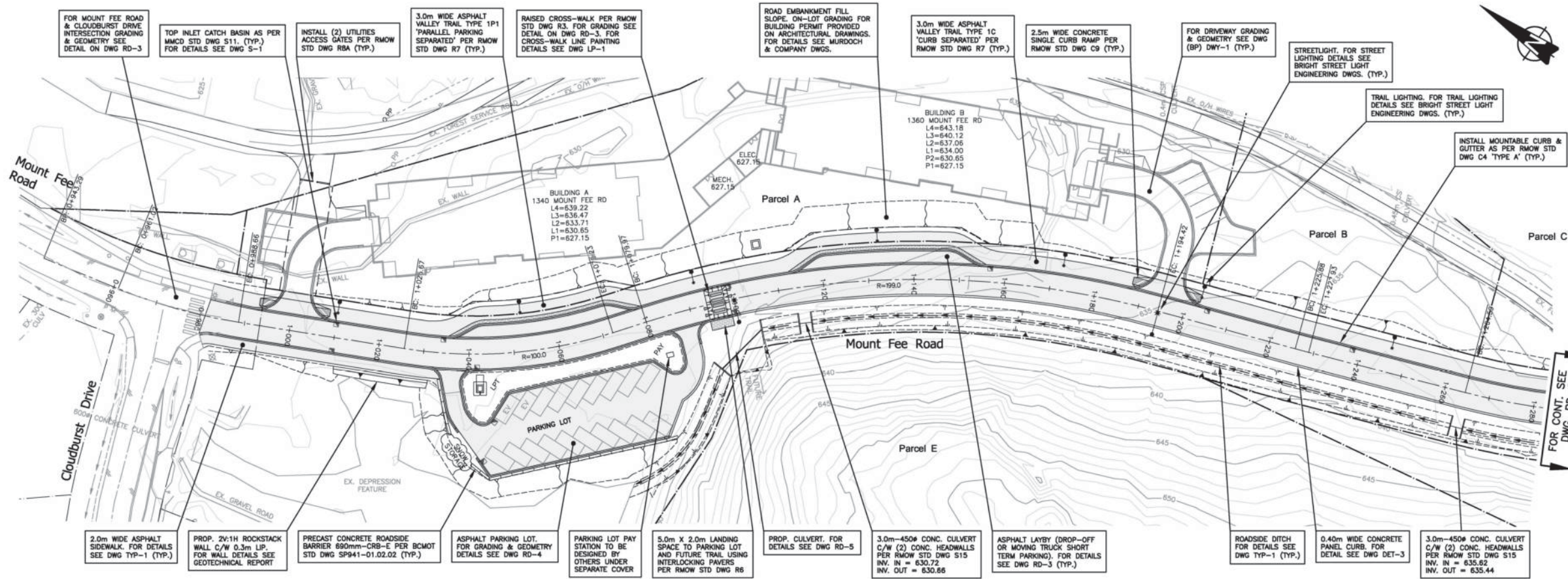


										client		<div><b>WEBSTER ENGINEERING LTD</b> STEEP ROCKY TERRAIN SPECIALISTS 3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458 PROFESSIONAL ENGINEERS LAND DEVELOPMENT CONSULTANTS</div>		copyright reserved. THIS DRAWING AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF WEBSTER ENGINEERING LTD. AND CANNOT BE USED, REPRODUCED OR DISTRIBUTED WITHOUT WRITTEN CONSENT. © 2019 WEBSTER ENGINEERING LTD.		approved		designed by J.A.T.		title		scales hor: 1:100 vert: 1:100	
3 SEP.04.20 ISSUED FOR DEVELOPMENT PERMIT JAT										project				drawn by M.J.F.		checked by H.K.G.		TYPICAL CROSS-SECTIONS		file no. 4002			
2 JUL.24.20 ISSUED FOR COORDINATION JAT										CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA				date SEPT.24.19				MOUNT FEE ROAD		drawing no. TYP-1			
1 DEC.18.19 90% PARTIAL BUILDING PERMIT SUBMISSION JAT																				rev. 3			
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										client										WHISTLER DEVELOPMENT CORPORATION										<div>PROFESSIONAL ENGINEERS</div> <div>WEBSTER ENGINEERING LTD</div> <div>LAND DEVELOPMENT CONSULTANTS</div> <div>3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458</div>										<div>COPYRIGHT RESERVED. THIS DRAWING AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF WEBSTER ENGINEERING LTD. AND CANNOT BE USED, REPRODUCED OR DISTRIBUTED WITHOUT WRITTEN CONSENT. © 2019 WEBSTER ENGINEERING LTD.</div>										approved										designed by J.A.T.  drawn by M.J.F.  checked by H.K.G.  date JUN.30.20										title   									
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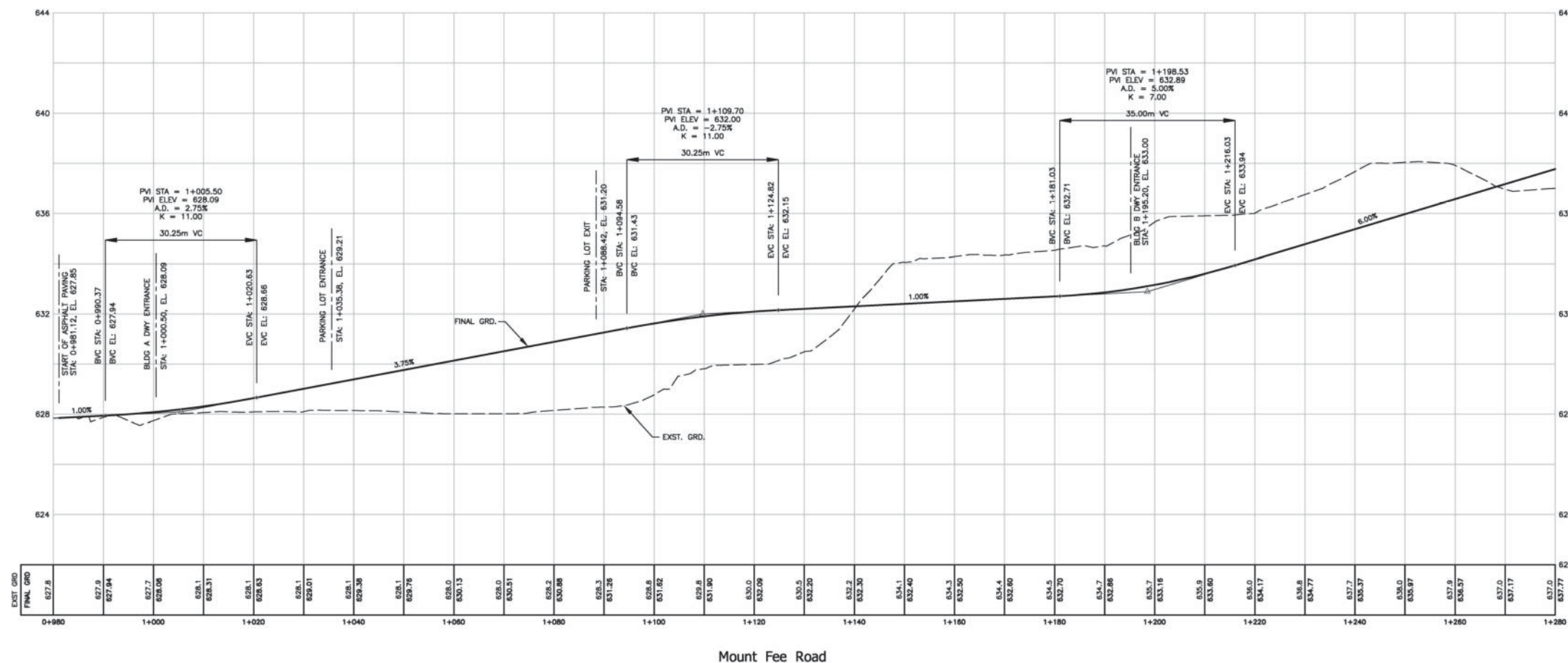


LEGEND -- ROADWORKS		
DESCRIPTION	PROPOSED	EXISTING
PROPERTY LINE	---	---
ROAD-CL	---	---
EDGE OF ASPHALT	---	---
CURB & GUTTER	---	---
CONCRETE BAND - 0.4m	---	---
PAVERS	---	---
ASPHALT SIDEWALK	---	---
FILL SLOPE	---	---
CUT SLOPE	---	---
ROCKSTACK WALL	---	---
CULVERT	---	---
CULVERT CROSSING	---	---
CATCH BASIN (TOP INLET)	---	---
CATCH BASIN (SIDE INLET)	---	---
DITCH	---	---
STREETLIGHT	---	---
TRAIL LIGHT	---	---
POWER POLE	---	---

FOR GENERAL NOTES SEE DWG CU-1  
FOR TYPICAL ROAD CROSS-SECTIONS SEE DWG TYP-1 & 2

#### ROADWORKS NOTES

- ALL MANHOLE LIDS, VALVE COVERS, CATCH BASIN RIMS AND LIDS OF ANY OTHER STRUCTURE TO BE SET TO FINAL GRADE AS PAVING WILL BE COMPLETED IN CONSECUTIVE LIFTS.
- ALL STRUCTURAL FILL TO BE CONSTRUCTED TO THE REQUIREMENTS AND UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.
- ALL LOOSE AND ORGANIC MATERIAL TO BE EXCAVATED FROM ROADWAY AND DISPOSED OF ON FILL SLOPES AS DIRECTED BY THE ENGINEER.
- CHANGES IN GRADE TO BE FORMED WITH SMOOTH CURVES.
- TIE-IN TO EXISTING ASPHALT WITH VERTICAL DIAMOND SAW CUTS. 100mm OF PAVEMENT IS TO BE PLACED IN TWO LIFTS OF 50mm EACH.
- PAVING CAN ONLY PROCEED IN THE PRESENCE OF BOTH THE ENGINEER'S AND RESORT MUNICIPALITY OF WHISTLER'S (RMOW) INSPECTORS. SAMPLES OF THE ASPHALT MIX MUST BE TAKEN AND TESTED BY AN INDEPENDENT ASPHALT TESTING LABORATORY. TEST RESULTS AND REPORTS ON THE MIX WILL BE PREPARED. CONTRACTOR TO ORGANIZE AND PAY FOR TESTING AND REPORT PREPARATION.
- ASPHALT TESTING TO BE PERFORMED IN ACCORDANCE WITH RMOW CONSTRUCTION SPECIFICATIONS AND THE MASTER MUNICIPAL CONTRACT DOCUMENTS. (MMCD).
- SUBGRADE AND ROADBASE MATERIALS SHALL BE PROPERLY PLACED & COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR DRY DENSITY (ASTM D1557), AND TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER. SUB-BASE AND BASE GRAVELS TO BE DENSITY TESTED IN ACCORDANCE WITH MMCD.
- THE CONTRACTOR WILL ROUGHLY GRADE THE BOULEVARDS TO THE PROFILE SHOWN ON THE CROSS SECTIONS AT THE SAME TIME AS ROAD GRADING.



3	SEP 04 20	ISSUED FOR DEVELOPMENT PERMIT	JAT	
2	JUL 24 20	ISSUED FOR COORDINATION	JAT	
1	DEC 18 19	90% PARTIAL BUILDING PERMIT SUBMISSION	JAT	

no.	date	revision	chk'd	no.	date	revision	chk'd
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client	WHISTLER DEVELOPMENT CORPORATION
project	CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS

**WEBSTER ENGINEERING LTD**

3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458

LAND DEVELOPMENT CONSULTANTS

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designed by J.A.T.

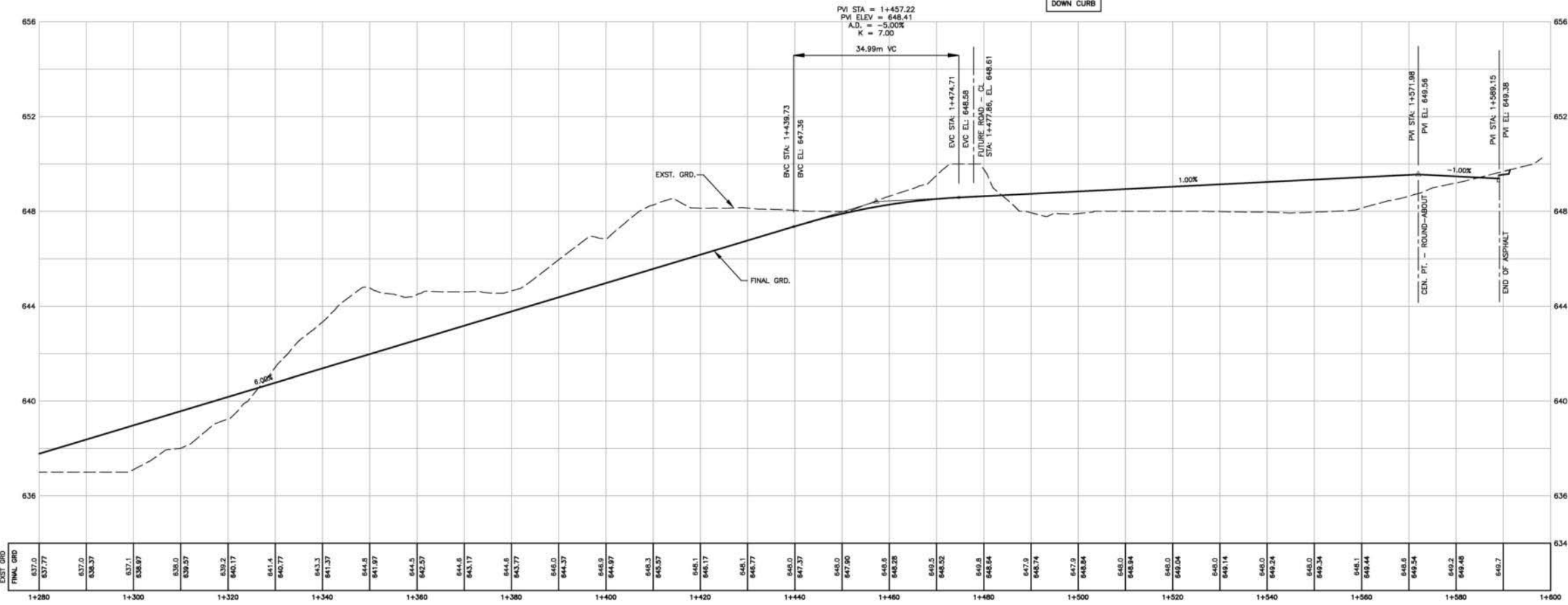
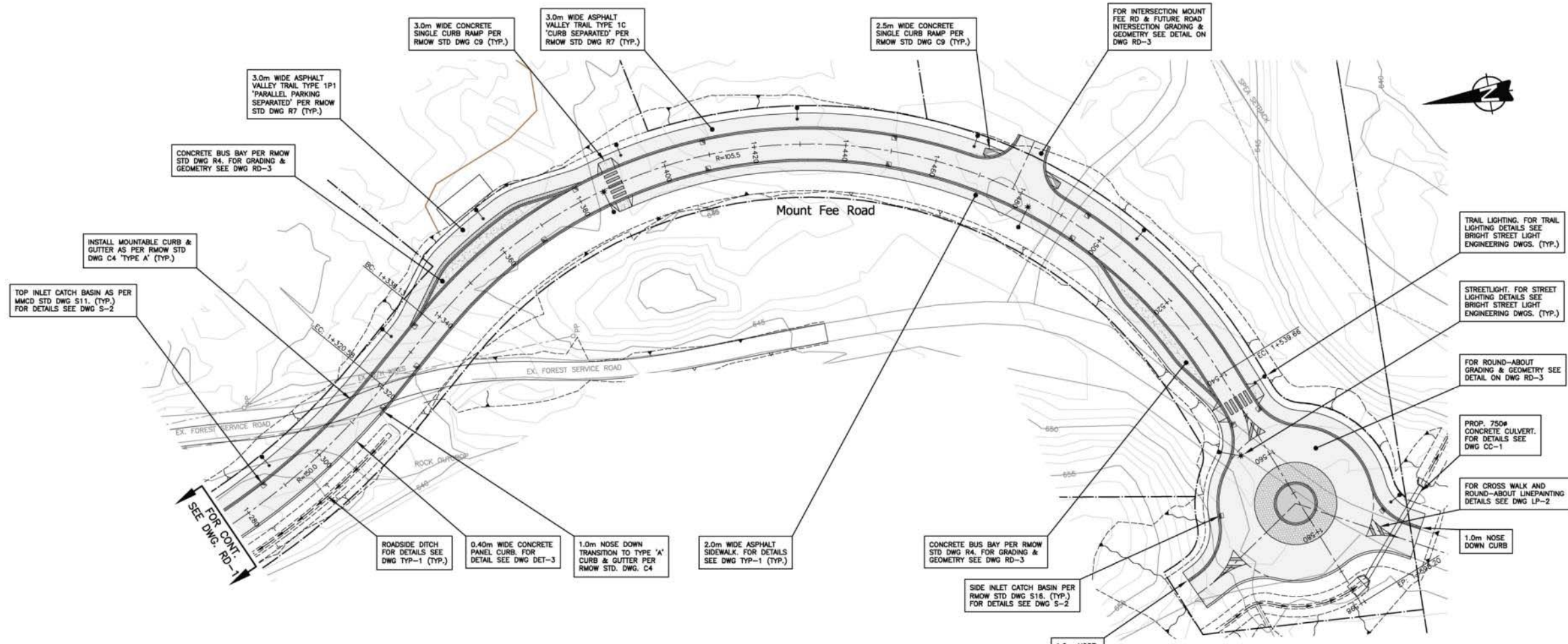
drawn by M.J.F.

checked by H.K.G.

date SEPT.24.19

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file no.	4002	
drawing no.	RD-1	rev. 3

ROAD & DRAINAGE  
MOUNT FEE ROAD (0+980 - 1+280)



LEGEND - ROADWORKS		
DESCRIPTION	SYMBOLS	
	PROPOSED	EXISTING
PROPERTY LINE	---	---
ROAD-CL	---	---
EDGE OF ASPHALT	---	---
CURB & GUTTER	---	---
CONCRETE BAND - 0.4m	---	---
PAVERS	---	---
ASPHALT SIDEWALK	---	---
FILL SLOPE	---	---
CUT SLOPE	---	---
ROCKSTACK WALL	---	---
CULVERT	---	---
CULVERT CROSSING	---	---
CATCH BASIN (TOP INLET)	---	---
CATCH BASIN (SIDE INLET)	---	---
DITCH	---	---
STREETLIGHT	---	---
TRAIL LIGHT	---	---
POWER POLE	---	---

FOR GENERAL NOTES SEE DWG CU-1  
FOR ROADWORKS NOTES SEE DWG RD-1  
FOR TYPICAL ROAD CROSS-SECTIONS SEE DWG TYP-1 & 2

3

SEP.04.20

ISSUED FOR DEVELOPMENT PERMIT

JAT

2

JUL.24.20

ISSUED FOR COORDINATION

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DEC.18.19

90% PARTIAL BUILDING PERMIT SUBMISSION

JAT

no

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revision

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client

WHISTLER DEVELOPMENT CORPORATION

project

CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION  
WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS

WEBSTER

ENGINEERING LTD

STEEL ROCKY TERRAIN SPECIALISTS

3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458

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drawn by M.J.F.

checked by H.K.G.

date SEPT.24.19

scales

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file no.

4002

drawing no.

RD-2

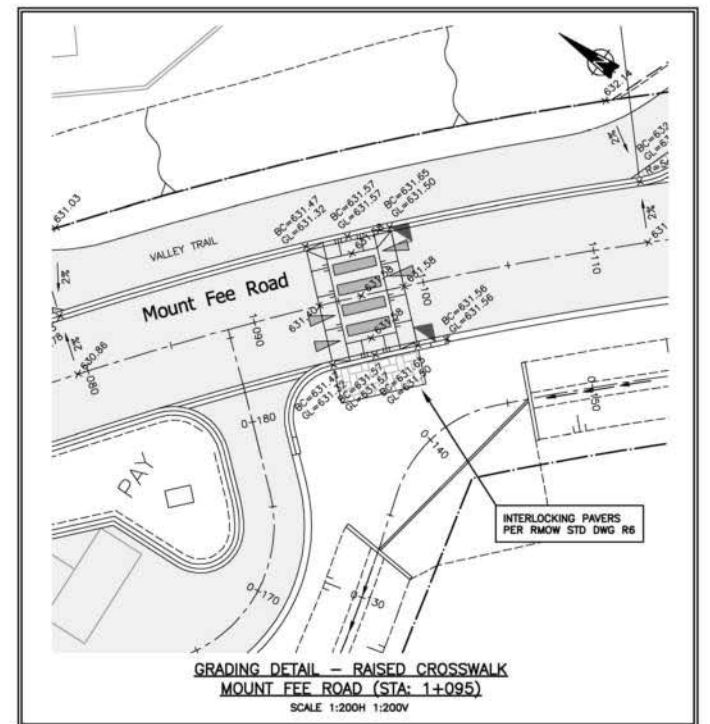
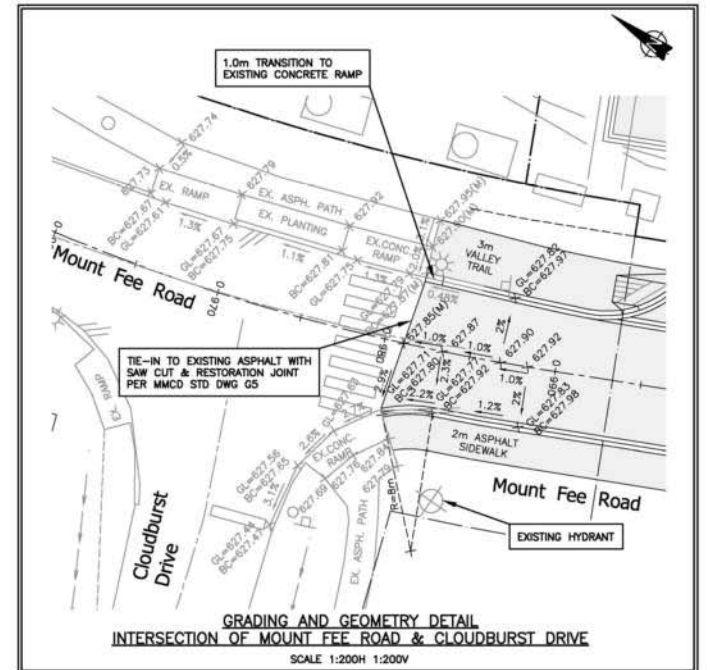
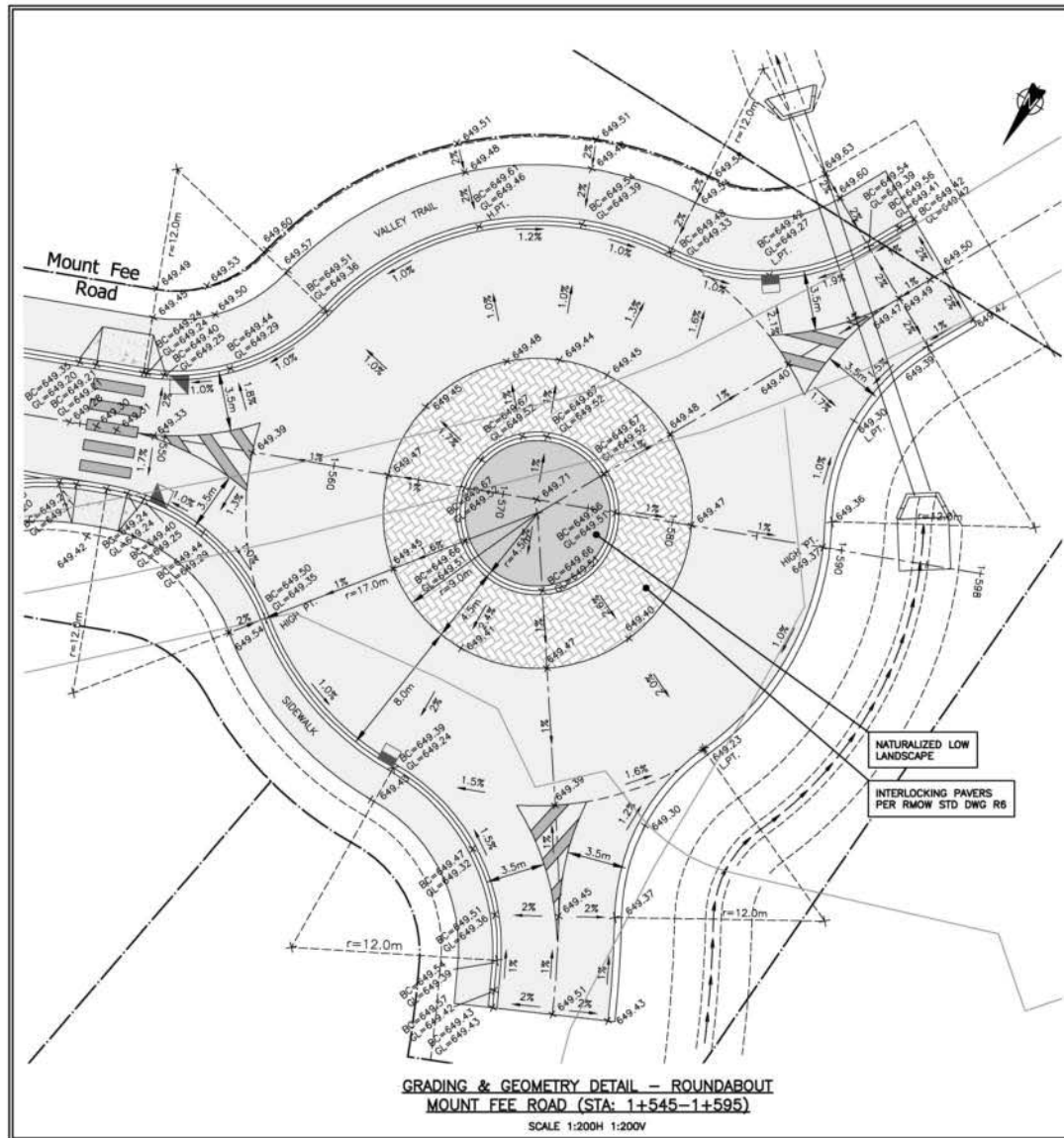
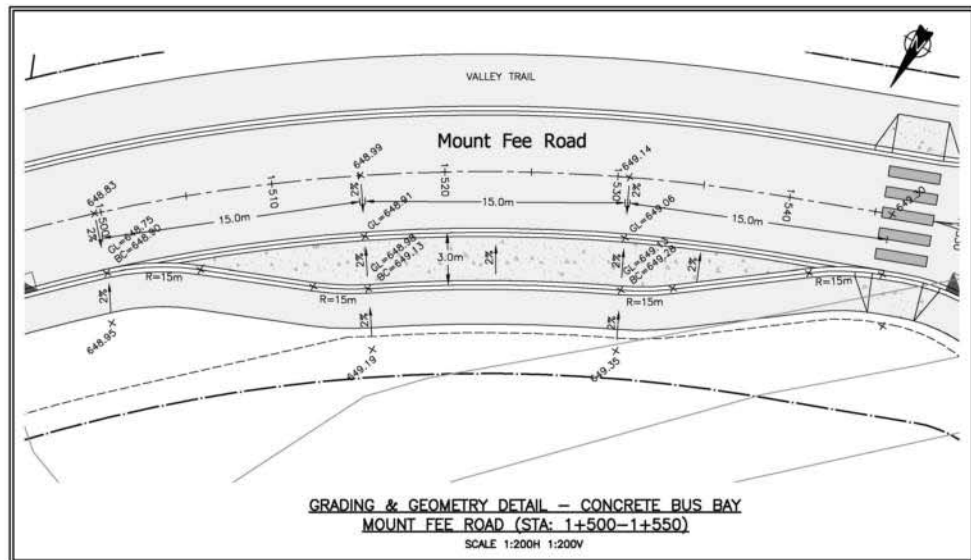
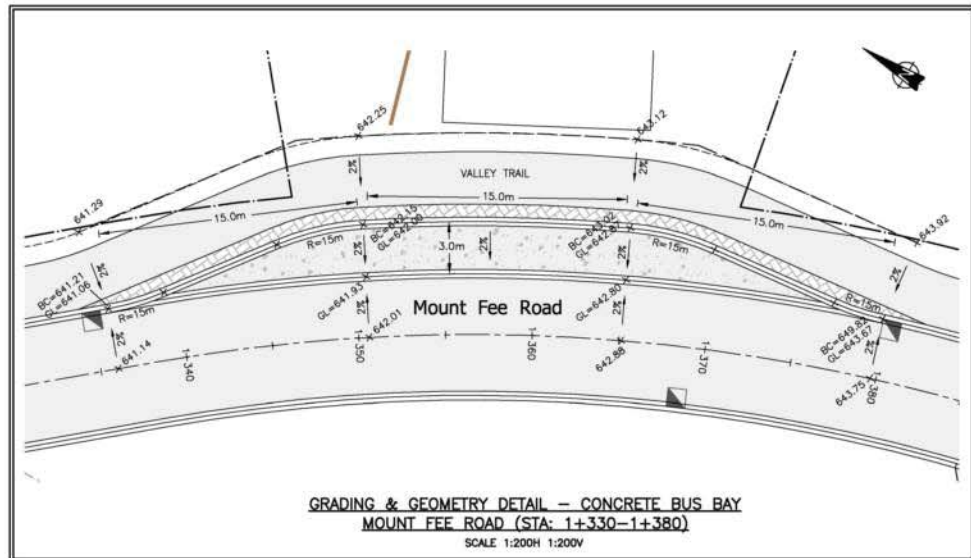
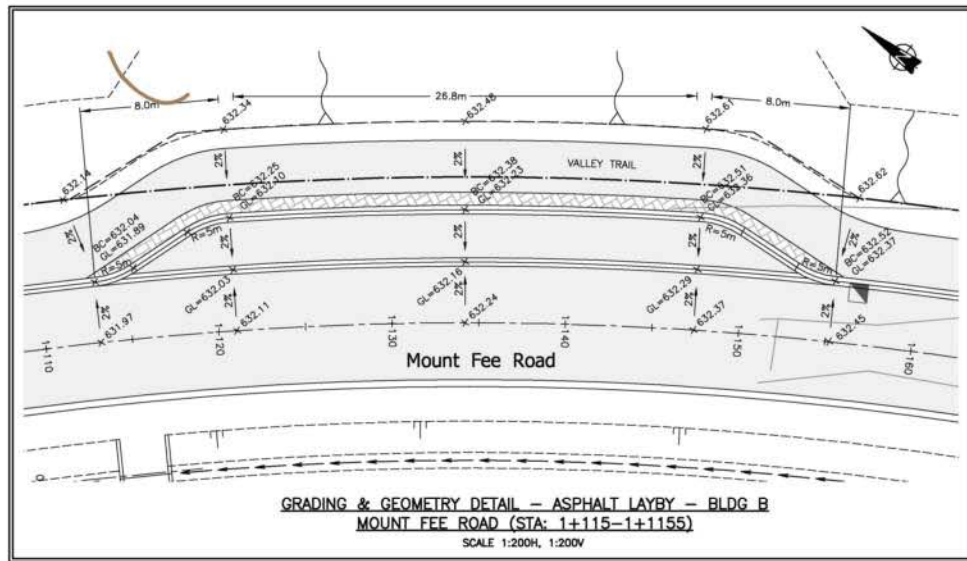
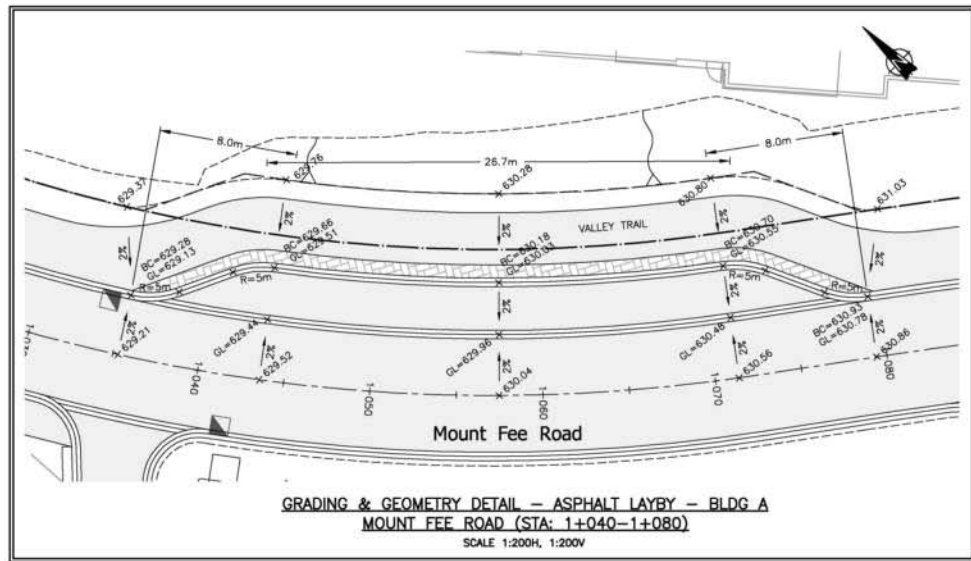
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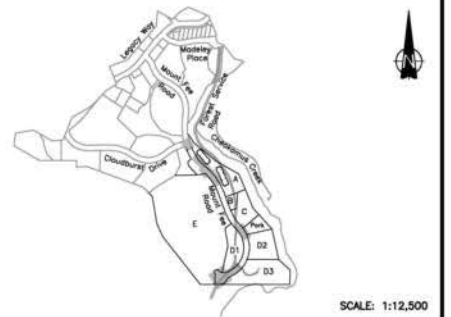
ROAD & DRAINAGE

MOUNT FEE ROAD (1+280 - 1+600)

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FOR GENERAL NOTES SEE DWG CU-1  
 FOR ROADWORKS NOTES SEE DWG RD-1  
 FOR TYPICAL ROAD CROSS-SECTIONS SEE DWG TYP-1 & 2



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2	JUL.24.20	ISSUED FOR COORDINATION	JAT				
1	DEC.18.19	90% PARTIAL BUILDING PERMIT SUBMISSION	JAT				

client  
**WHISTLER DEVELOPMENT CORPORATION**  
 project  
**CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION**  
**WHISTLER, BRITISH COLUMBIA**

PROFESSIONAL ENGINEERS  
**WEBSTER ENGINEERING LTD**  
 3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458  
 LAND DEVELOPMENT CONSULTANTS

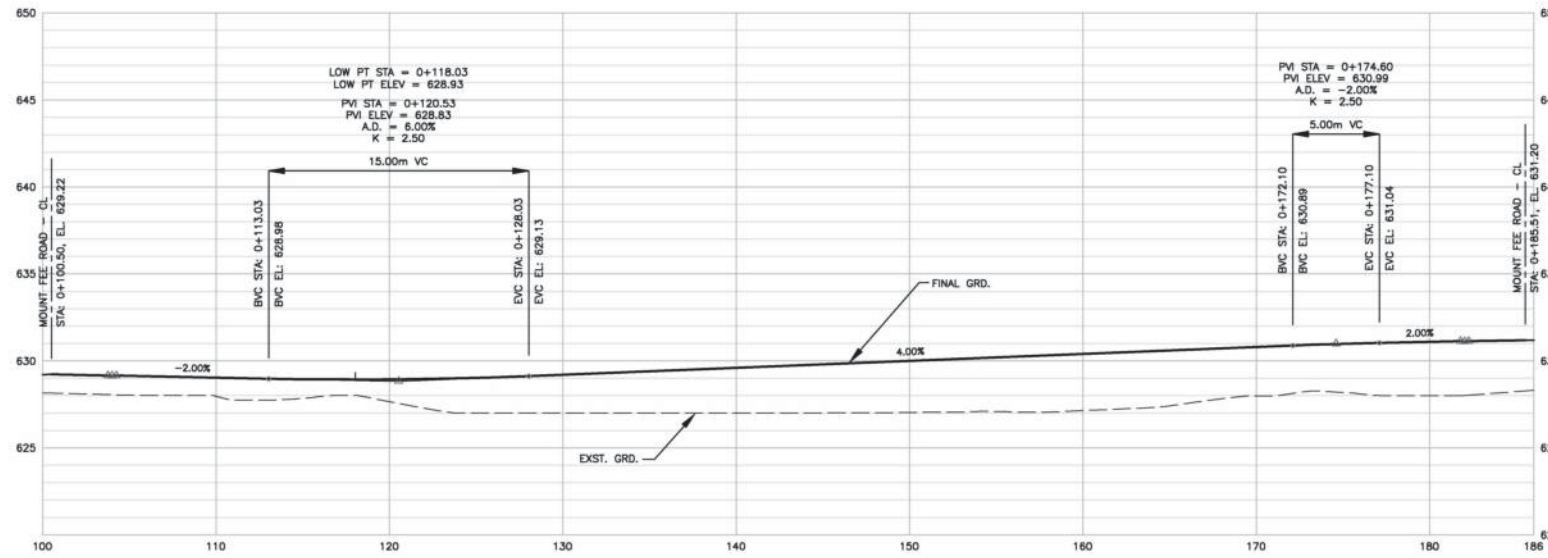
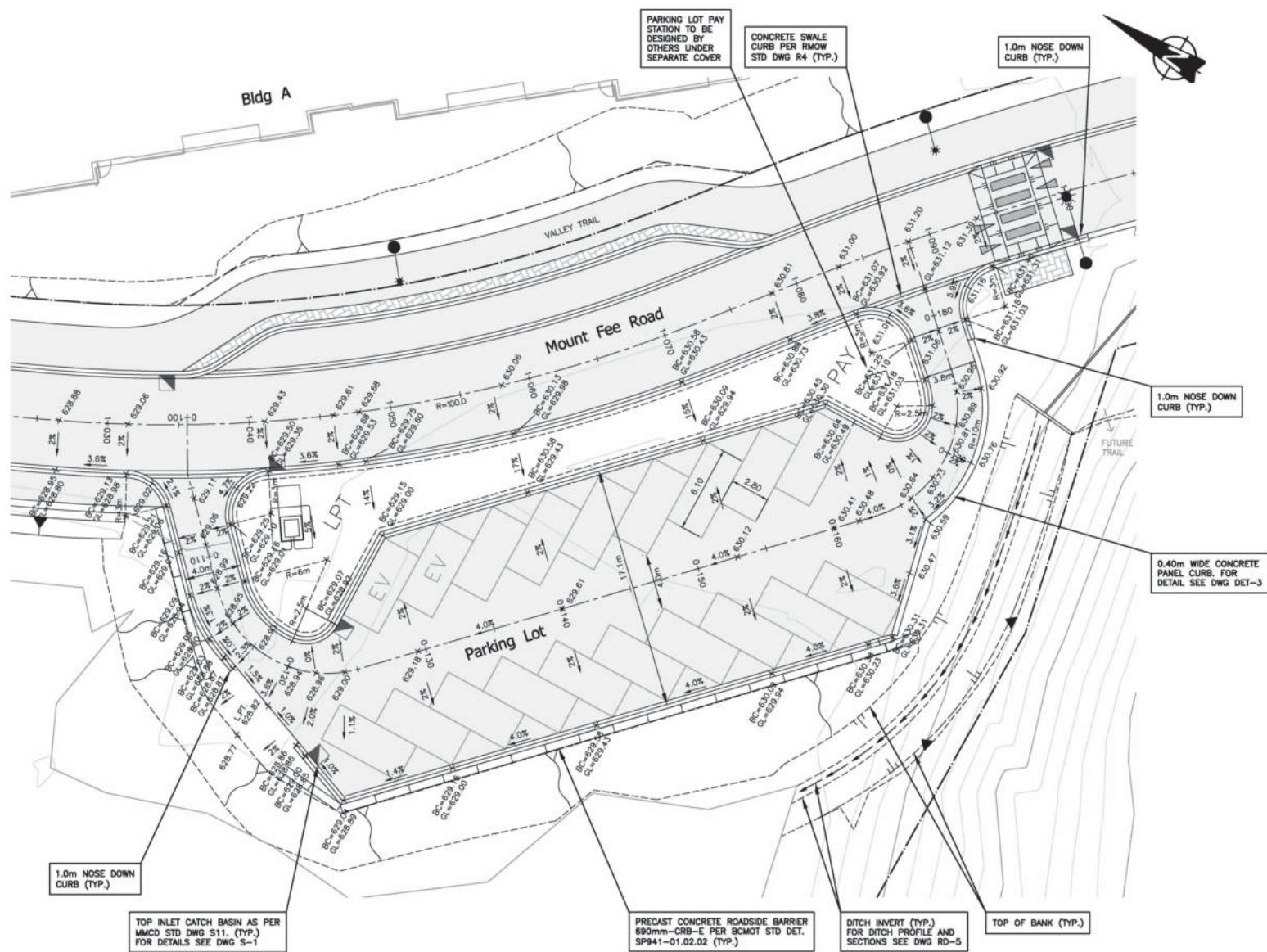
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approved  
 designed by J.A.T.  
 drawn by M.J.F.  
 checked by H.K.G.  
 date SEPT.24.19

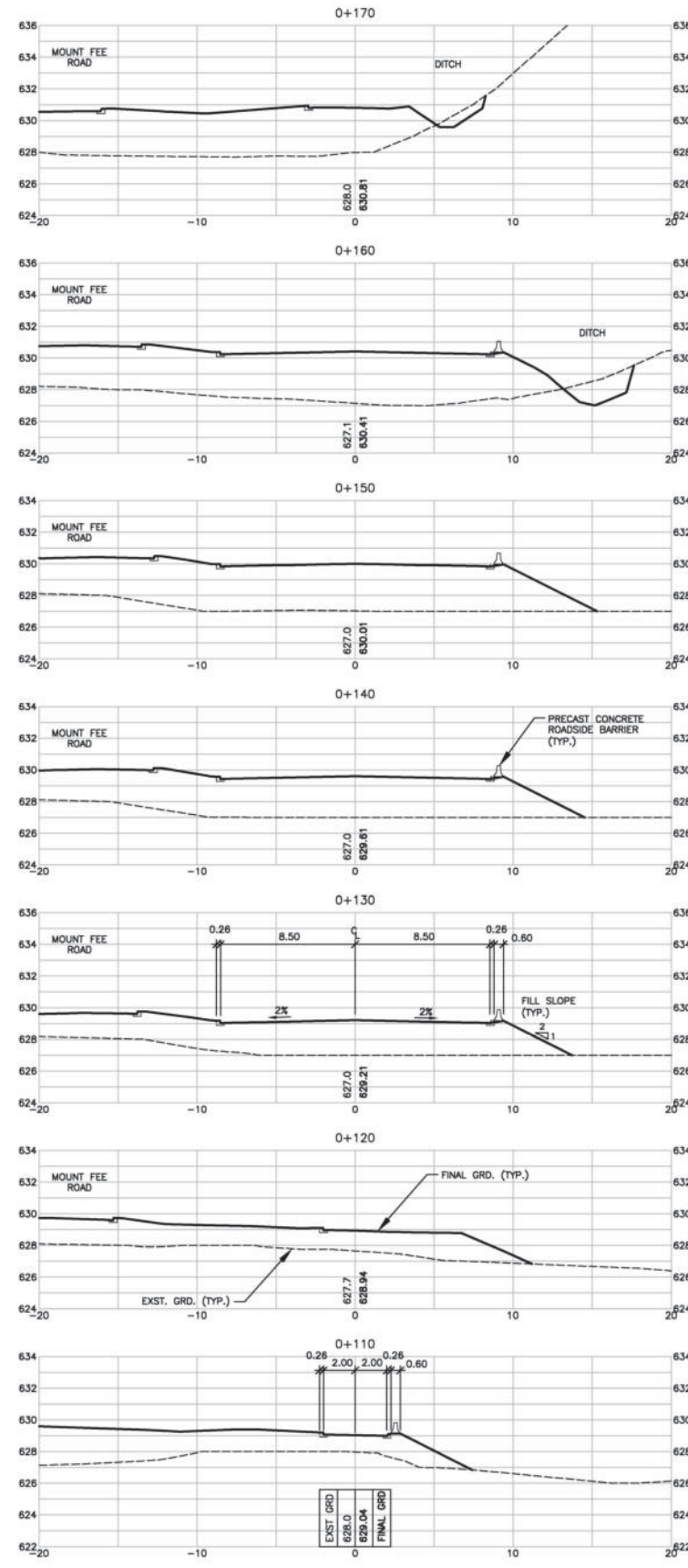
title

**ROAD & DRAINAGE**  
**DETAILS**

scales hor: 1:200 vert: 1:200  
 file no. **4002**  
 drawing no. **RD-3** rev. **3**



Parking Lot - Profile



Parking Lot - Cross-sections



LEGEND -- ROADWORKS		
DESCRIPTION	PROPOSED	EXISTING
PROPERTY LINE	---	---
ROAD-CL	---	---
EDGE OF ASPHALT	---	---
CURB & GUTTER	---	---
CONCRETE BAND - 0.4m	---	---
PAVERS	---	---
ASPHALT SIDEWALK	---	---
FILL SLOPE	---	---
CUT SLOPE	---	---
ROCKSTACK WALL	---	---
CULVERT	---	---
CULVERT CROSSING	---	---
CATCH BASIN (TOP INLET)	---	---
CATCH BASIN (SIDE INLET)	---	---
DITCH	---	---
STREETLIGHT	---	---
TRAIL LIGHT	---	---
POWER POLE	---	---

FOR GENERAL NOTES SEE DWG CU-1  
FOR ROADWORKS NOTES SEE DWG RD-1  
FOR TYPICAL ROAD CROSS-SECTIONS SEE DWG TYP-1 & 2

no.	date	revision	chk'd	no.	date	revision	chk'd
3	SEP.04.20	ISSUED FOR DEVELOPMENT PERMIT	JAT				
2	JUL.24.20	ISSUED FOR COORDINATION	JAT				
1	DEC.18.19	90% PARTIAL BUILDING PERMIT SUBMISSION	JAT				

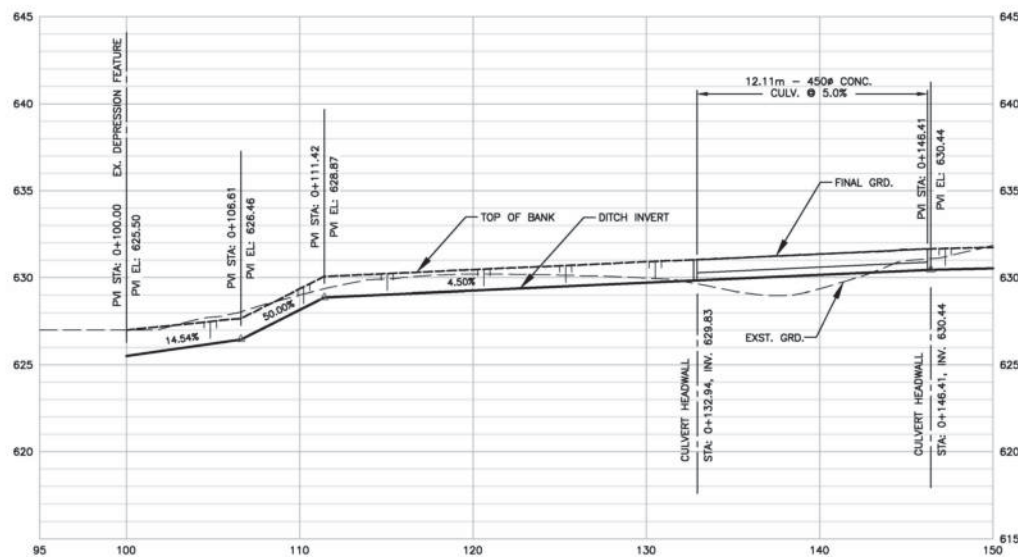
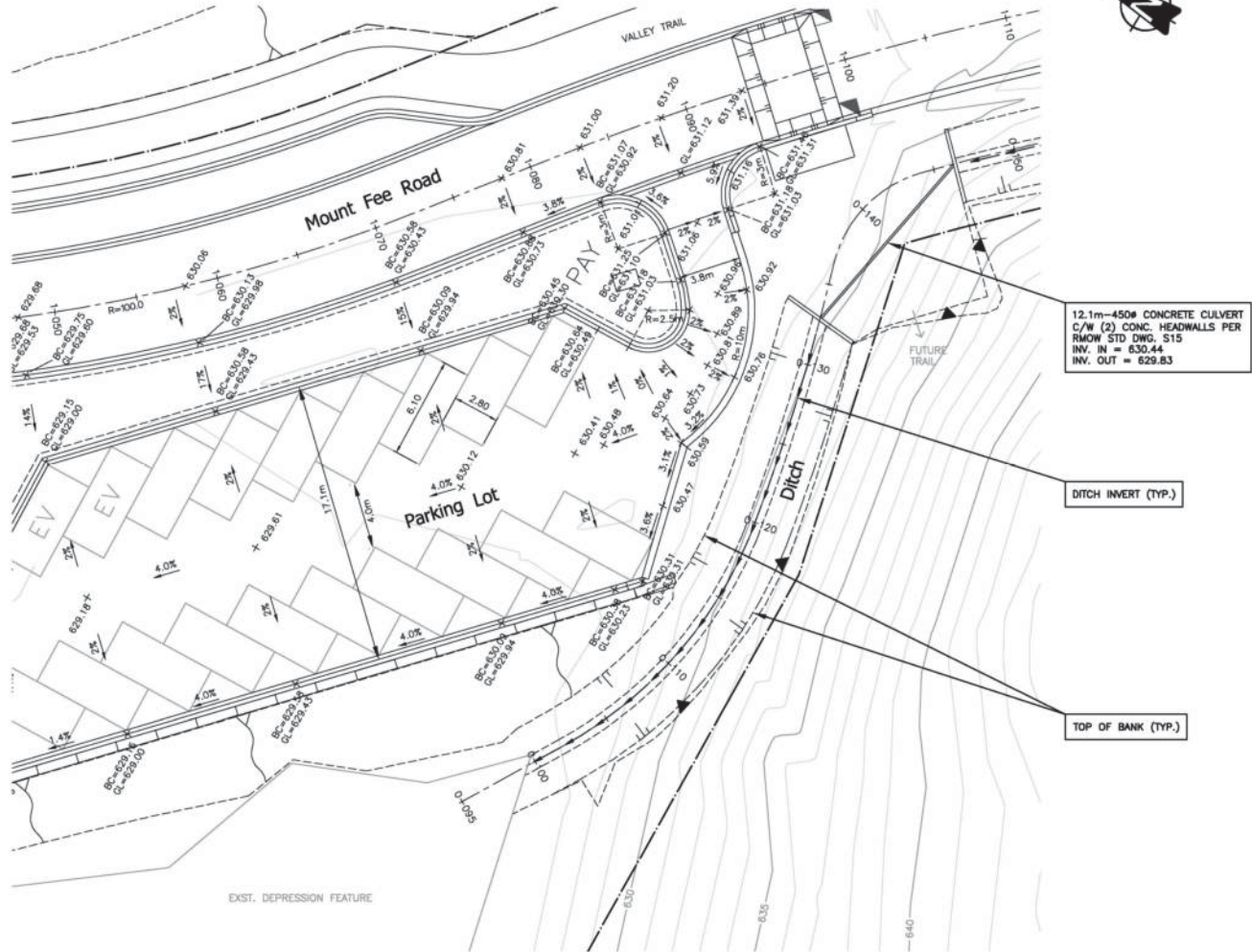
client	WHISTLER DEVELOPMENT CORPORATION
project	CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS	<b>WEBSTER</b> ENGINEERING LTD.	LAND DEVELOPMENT CONSULTANTS
3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458		

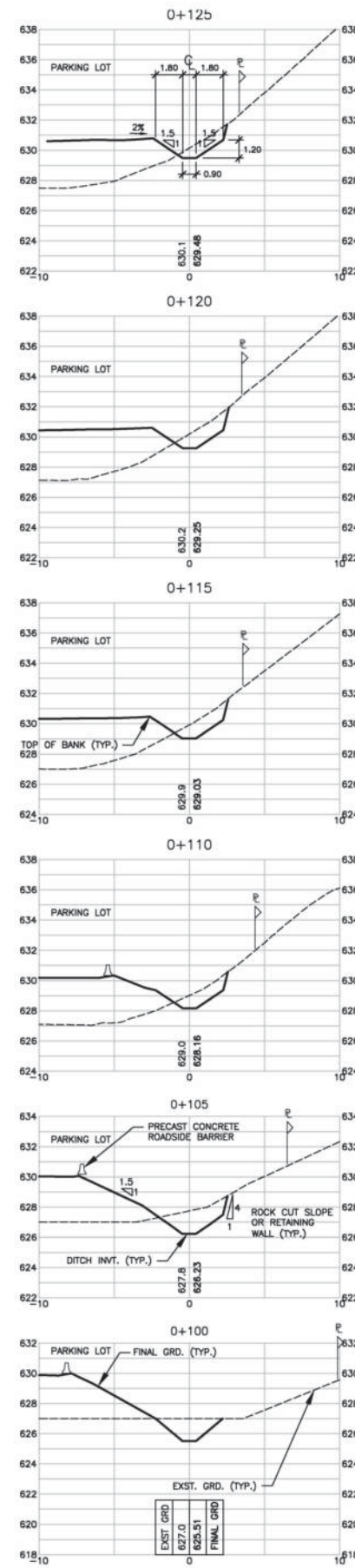
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		drawn by M.J.F.	
		checked by H.K.G.	
		date SEPT.24.19	

ROAD & DRAINAGE  
PARKING LOT

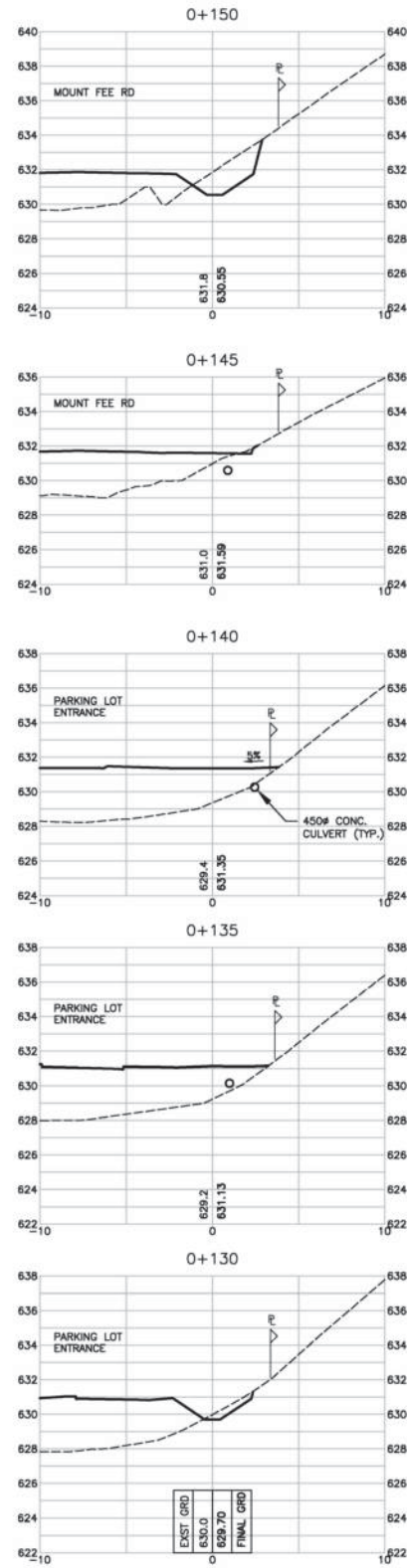
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file no.	4002	
drawing no.	RD-4	rev. 3



Ditch Profile



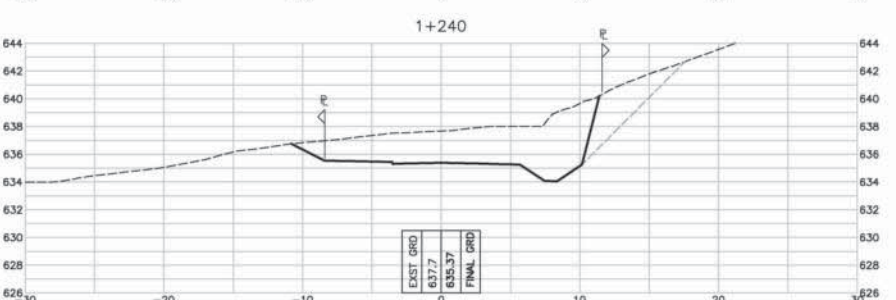
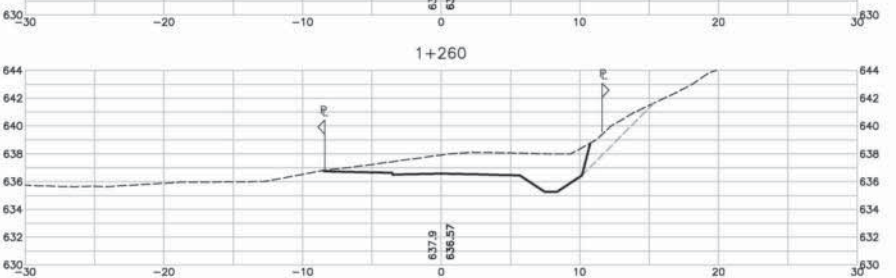
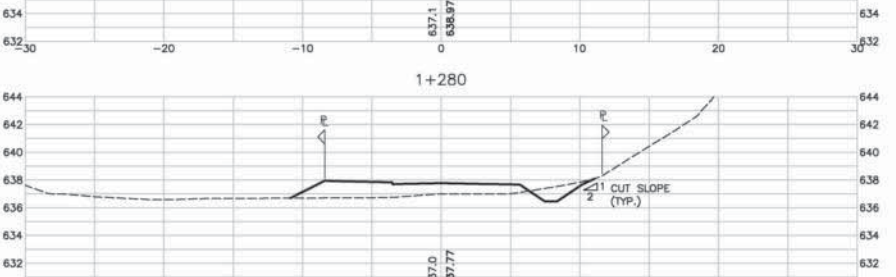
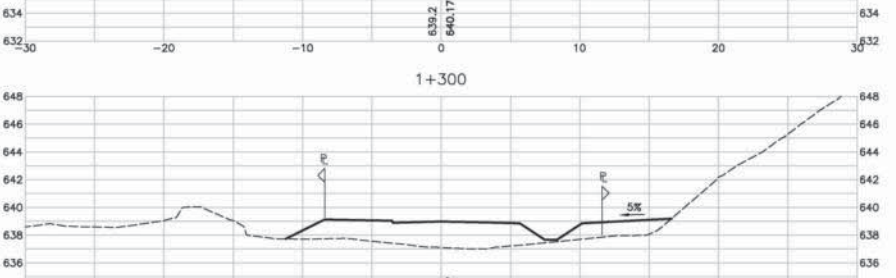
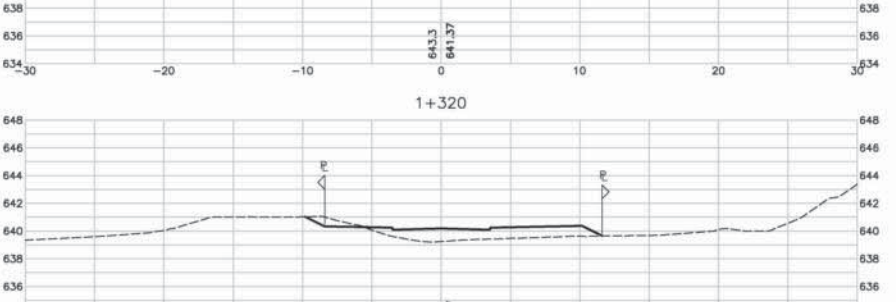
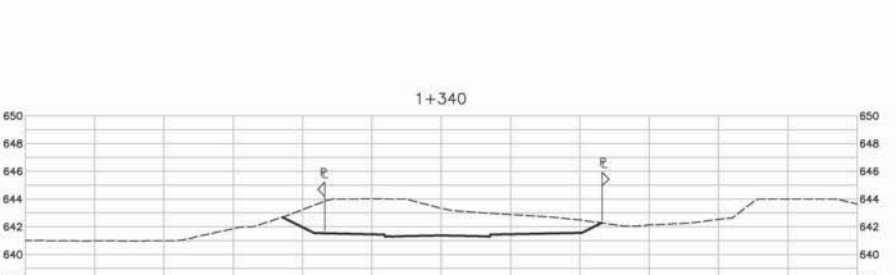
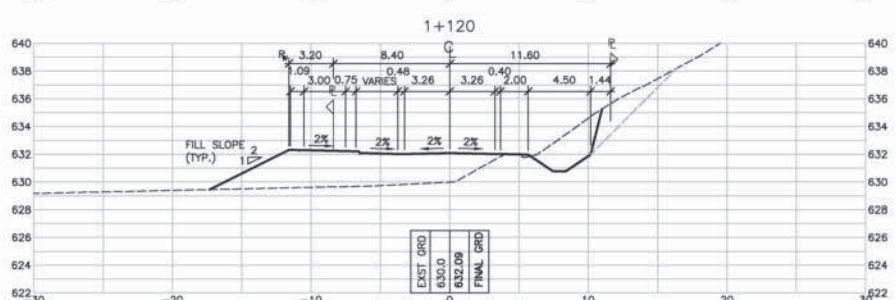
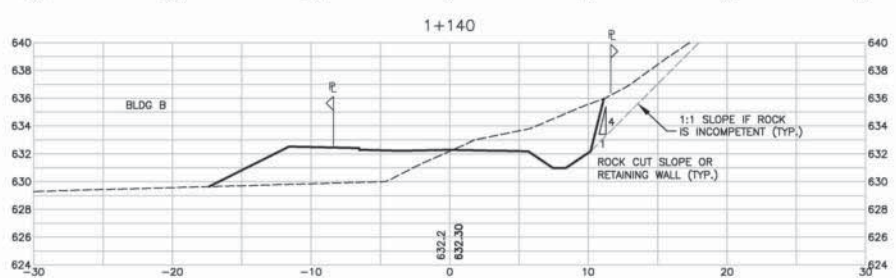
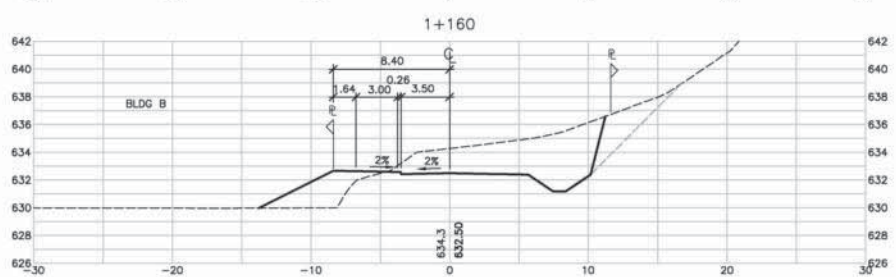
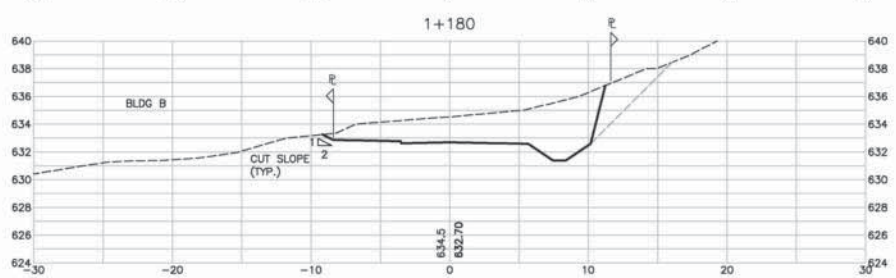
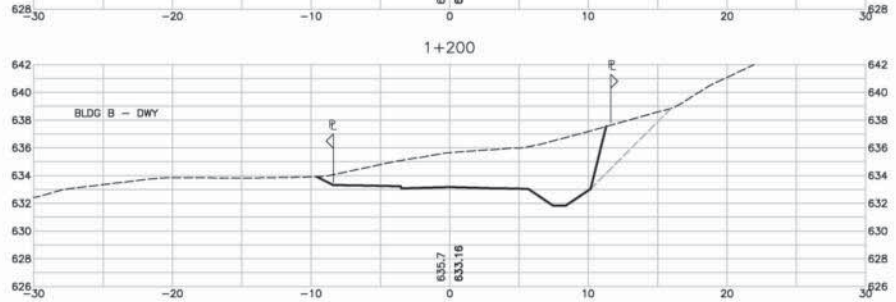
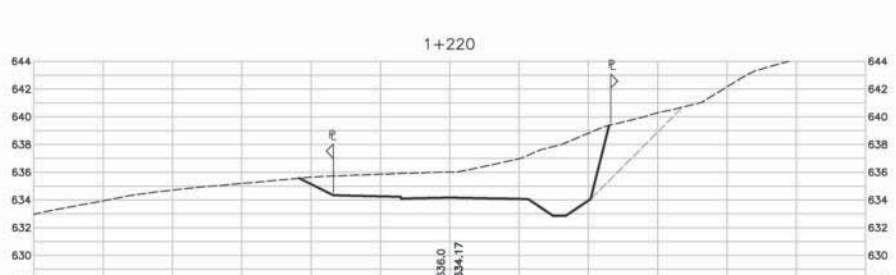
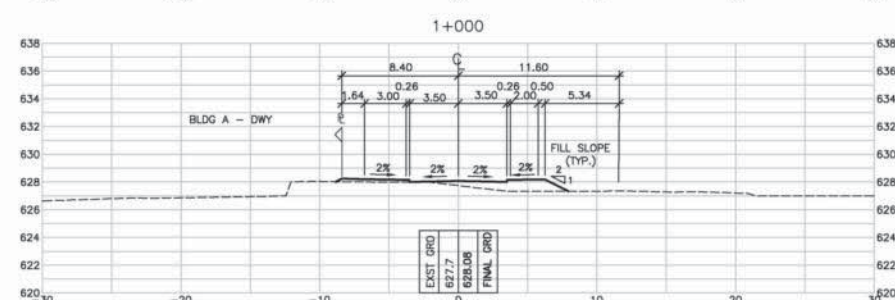
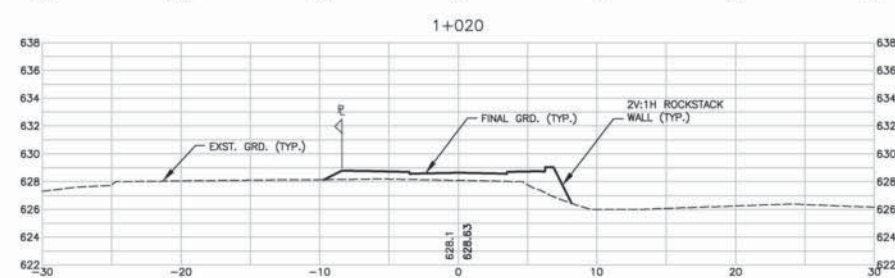
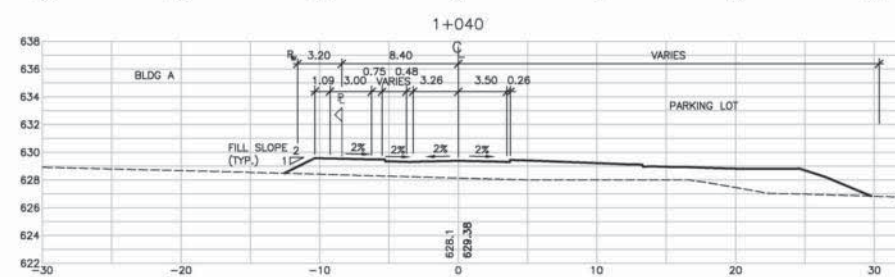
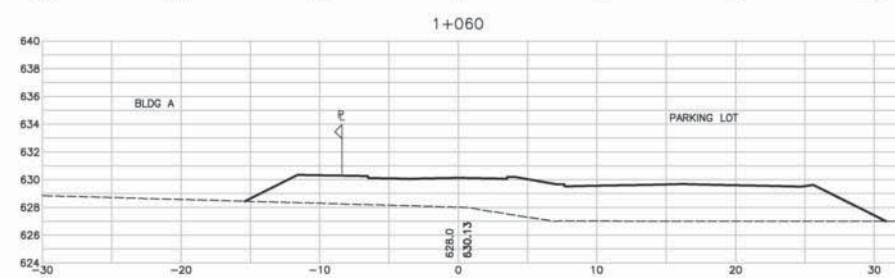
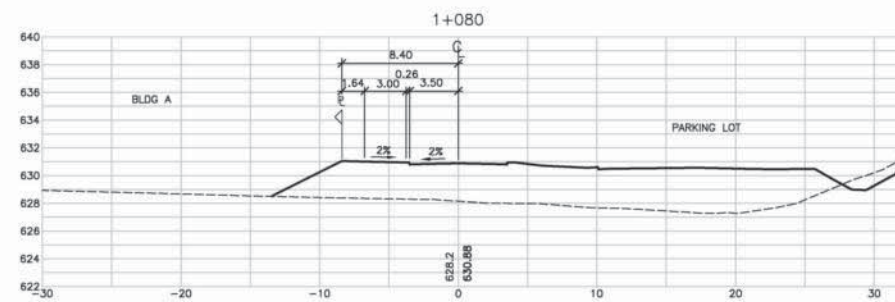
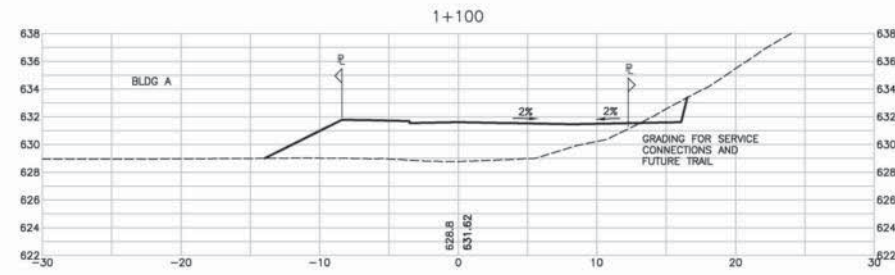
Ditch Cross-sections



LEGEND -- ROADWORKS		
DESCRIPTION	SYMBOLS	
	PROPOSED	EXISTING
PROPERTY LINE	---	---
ROAD-CL	---	---
EDGE OF ASPHALT	---	---
CURB & GUTTER	---	---
CONCRETE BAND - 0.4m	---	---
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ASPHALT SIDEWALK	---	---
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CATCH BASIN (SIDE INLET)	---	---
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STREETLIGHT	---	---
TRAIL LIGHT	---	---
POWER POLE	---	---

FOR GENERAL NOTES SEE DWG CU-1  
FOR ROADWORKS NOTES SEE DWG RD-1  
FOR TYPICAL ROAD CROSS-SECTIONS SEE DWG TYP-1 & 2

										client										project										approved										designed by J.A.T.										title										scales																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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Mount Fee Road

no.	date	revision	chk'd	rev.	date	revision	chk'd
3	SEP.04.20	ISSUED FOR DEVELOPMENT PERMIT	JAT				
2	JUL.24.20	ISSUED FOR COORDINATION	JAT				
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client	WHISTLER DEVELOPMENT CORPORATION
project	CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS

**WEBSTER ENGINEERING LTD**

STEEL ROCKY TERRAIN SPECIALISTS

LAND DEVELOPMENT CONSULTANTS

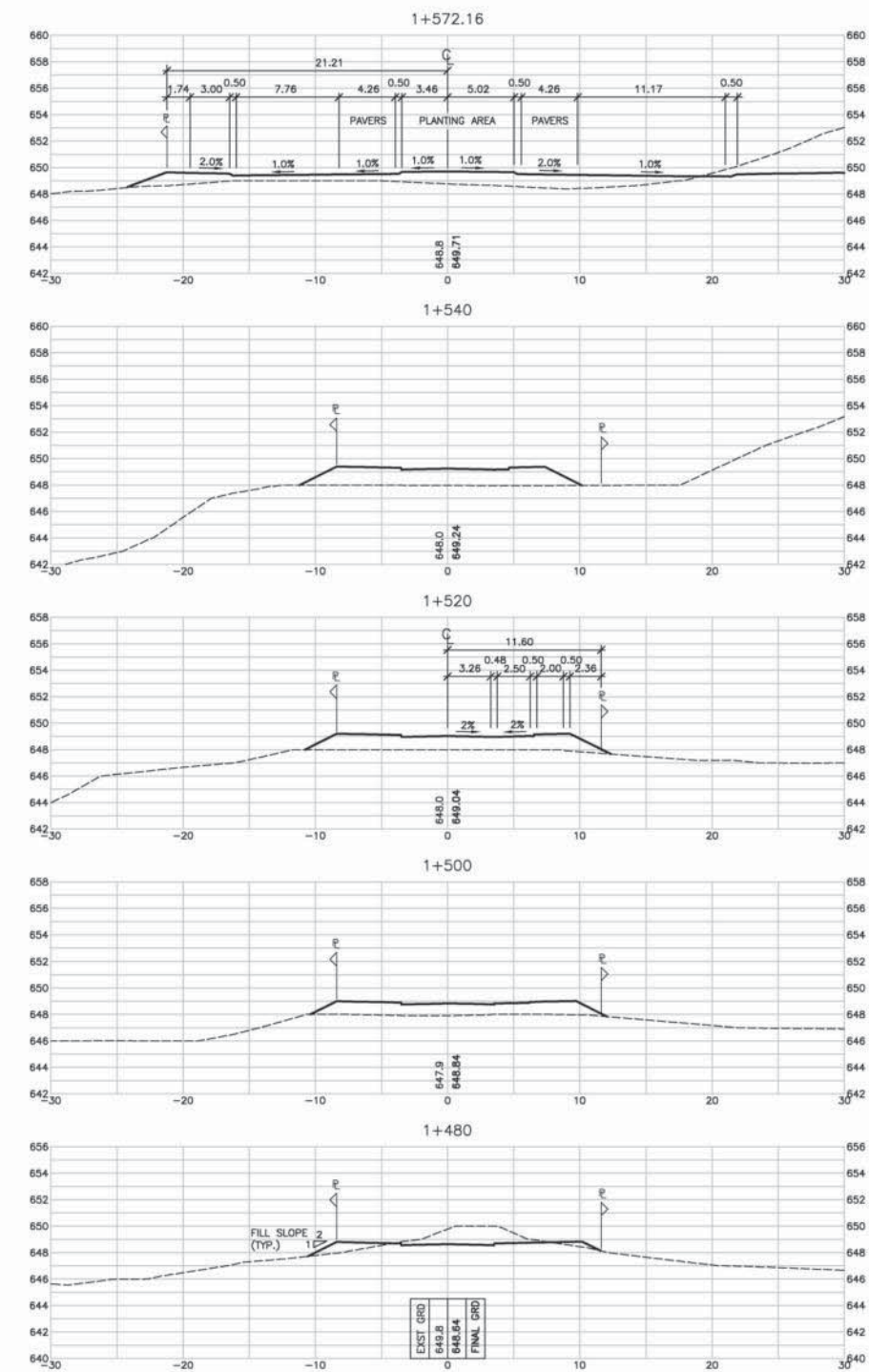
3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458

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approved	
designed by	J.A.T.
drawn by	S.T.
checked by	H.K.G.
date	SEPT.24.19

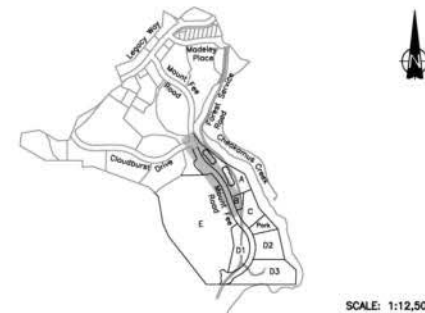
title	CROSS-SECTIONS MOUNT FEE ROAD (1+000 - 1+340)
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scales	hor: 1:250	vert: 1:250
file no.	4002	
drawing no.	X-1	rev: 3



Mount Fee Road

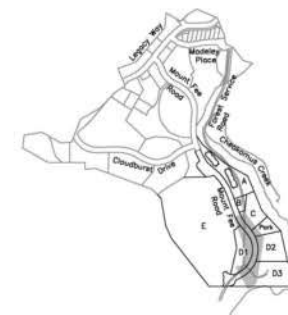
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FOR GENERAL NOTES SEE DWG CU-1  
FOR ROADWORKS NOTES SEE DWG RD-1  
FOR SANITARY NOTES SEE DWG S-1

THE EXISTING UTILITY/SERVICING INFORMATION SHOWN ON THIS DRAWING IS DERIVED FROM AS-BUILTS AND RECORD INFORMATION BY OTHERS. WEBSTER ENGINEERING LTD. DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATION, SIZE, AND INVERT ELEVATIONS AS REQUIRED, AND REPORT ANY DISCREPANCIES, AND/OR CONFLICTS TO WEBSTER ENGINEERING LTD. PRIOR TO CONSTRUCTION.

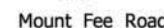




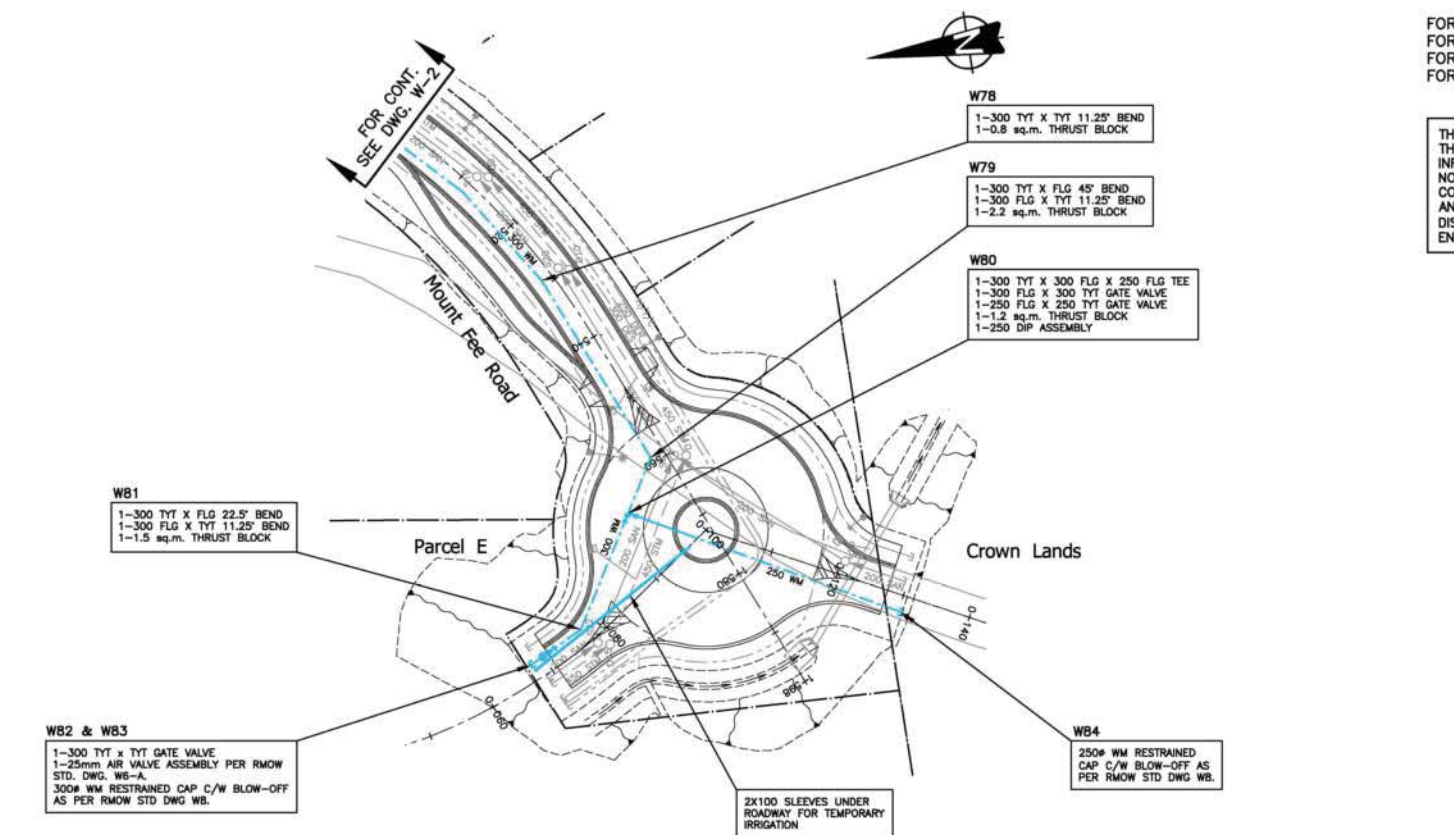
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FOR GENERAL NOTES SEE DWG CU-1  
FOR ROADWORKS & STORM NOTES SEE DWG RD-3  
FOR SANITARY NOTES SEE DWG S-1  
FOR WATERWORKS NOTES SEE DWG W-1

THE EXISTING UTILITY/SERVICING INFORMATION SHOWN ON THIS DRAWING IS DERIVED FROM AS-BUILTS AND RECORD INFORMATION BY OTHERS. WEBSTER ENGINEERING LTD. DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATION, SIZE, AND INVERT ELEVATIONS AS REQUIRED, AND REPORT ANY DISCREPANCIES, AND/OR CONFLICTS TO WEBSTER ENGINEERING LTD. PRIOR TO CONSTRUCTION.

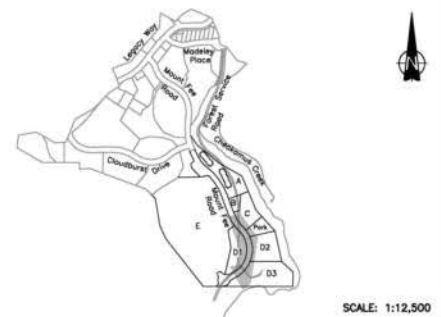
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F:\1007\0002 Cheakamus Cross - Plan 3, Water\05500\WATERWORKS.dwg, 9/10/2009 11:59:09 PM, ST

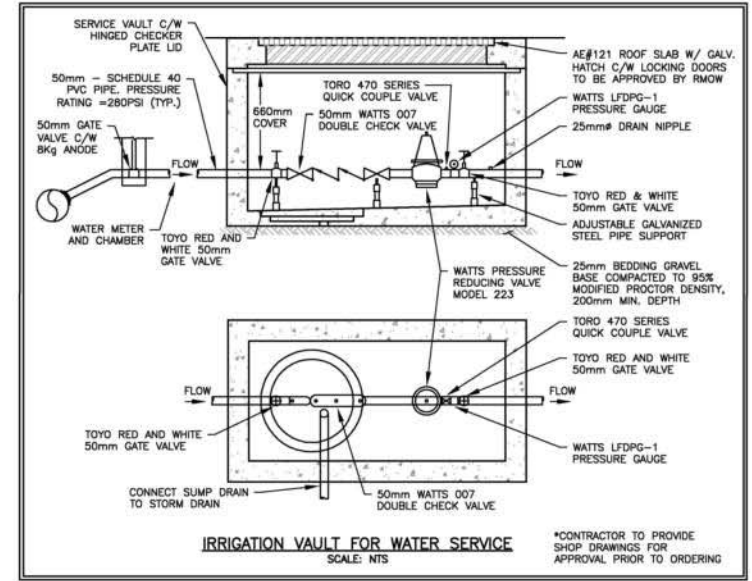
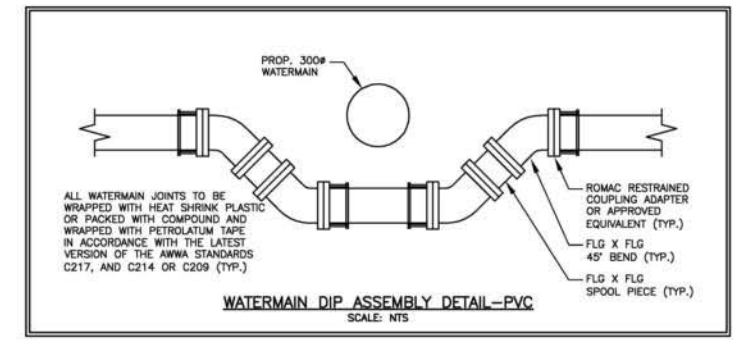
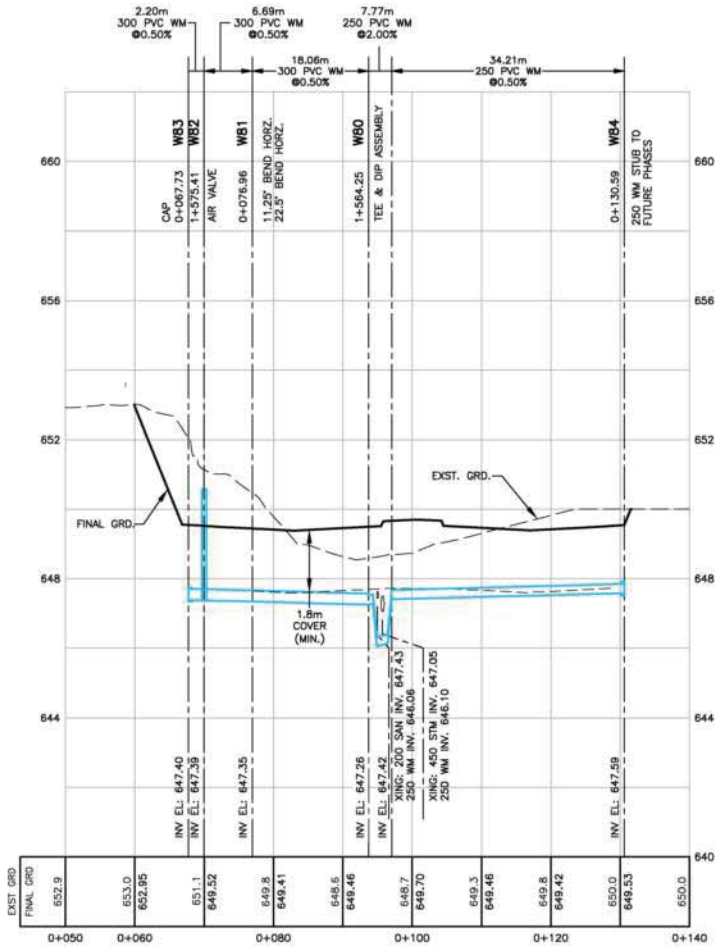
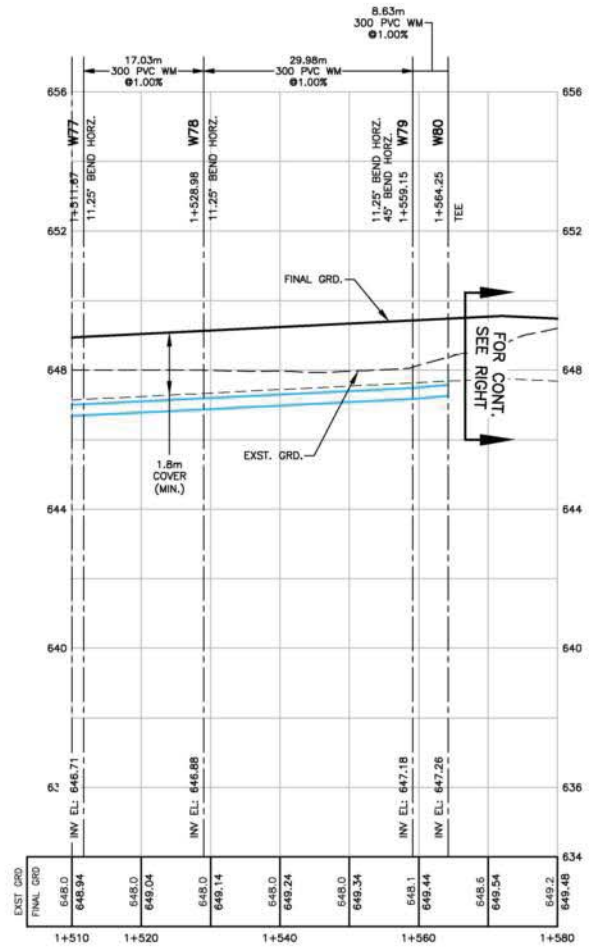


FOR GENERAL NOTES SEE DWG CU-1  
FOR ROADWORKS & STORM NOTES SEE DWG RD-3  
FOR SANITARY NOTES SEE DWG S-1  
FOR WATERWORKS NOTES SEE DWG W-1

THE EXISTING UTILITY/SERVICING INFORMATION SHOWN ON THIS DRAWING IS DERIVED FROM AS-BUILTS AND RECORD INFORMATION BY OTHERS. WEBSTER ENGINEERING LTD. DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATION, SIZE, AND INVERT ELEVATIONS AS REQUIRED, AND REPORT ANY DISCREPANCIES, AND/OR CONFLICTS TO WEBSTER ENGINEERING LTD. PRIOR TO CONSTRUCTION.



LEGEND - WATERWORKS		
DESCRIPTION	SYMBOLS	
	PROPOSED	EXISTING
PROPERTY LINE	---	---
SANITARY SEWER	200 SAN	EX. 200 SAN
STORM SEWER	250 STM	EX. 250 STM
CULVERT	>---<	>---<
CULVERT CROSSING	---	---
CATCH BASIN (TOP INLET)	CB	CB
CATCH BASIN (SIDE INLET)	CB	CB
DITCH	---	---
WATERMAIN	300 WM	EX. 300 WM
FIRE HYDRANT	+	+
GATE VALVE	+	+
DISTRICT ENERGY SUPPLY	---	EX. 300 DES
DISTRICT ENERGY RETURN	---	EX. 250 DES
HYDRO/ TEL/ SHAW (OR ALT.)	---	---
POWER POLE	OP	OP
STREETLIGHT	---	---
TRAIL LIGHT	---	---



client		WHISTLER DEVELOPMENT CORPORATION	
project		CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA	
no.	date	revision	chk'd
1	SEP 04 20	ISSUED FOR DEVELOPMENT PERMIT	JAT

PROFESSIONAL ENGINEERS

**WEBSTER ENGINEERING LTD.**

STEEL ROCKY TERRAIN SPECIALISTS

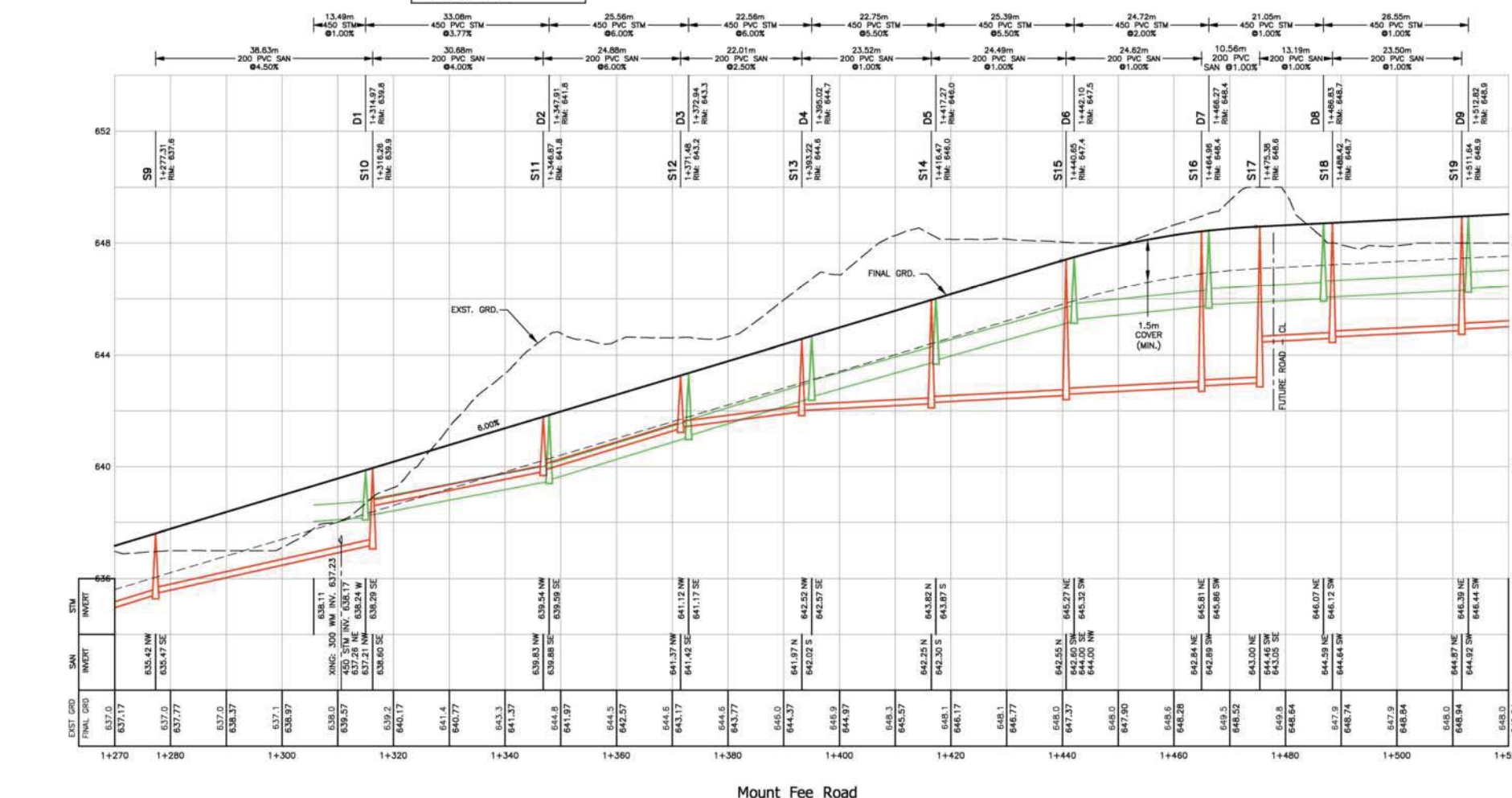
3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458

LAND DEVELOPMENT CONSULTANTS

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		drawn by	M.J.F.			hor:	1:500	vert:	1:100
		checked by	H.K.G.			file no.	4002		
		date	SEPT.24.19			drawing no.	W-3	rev.	1

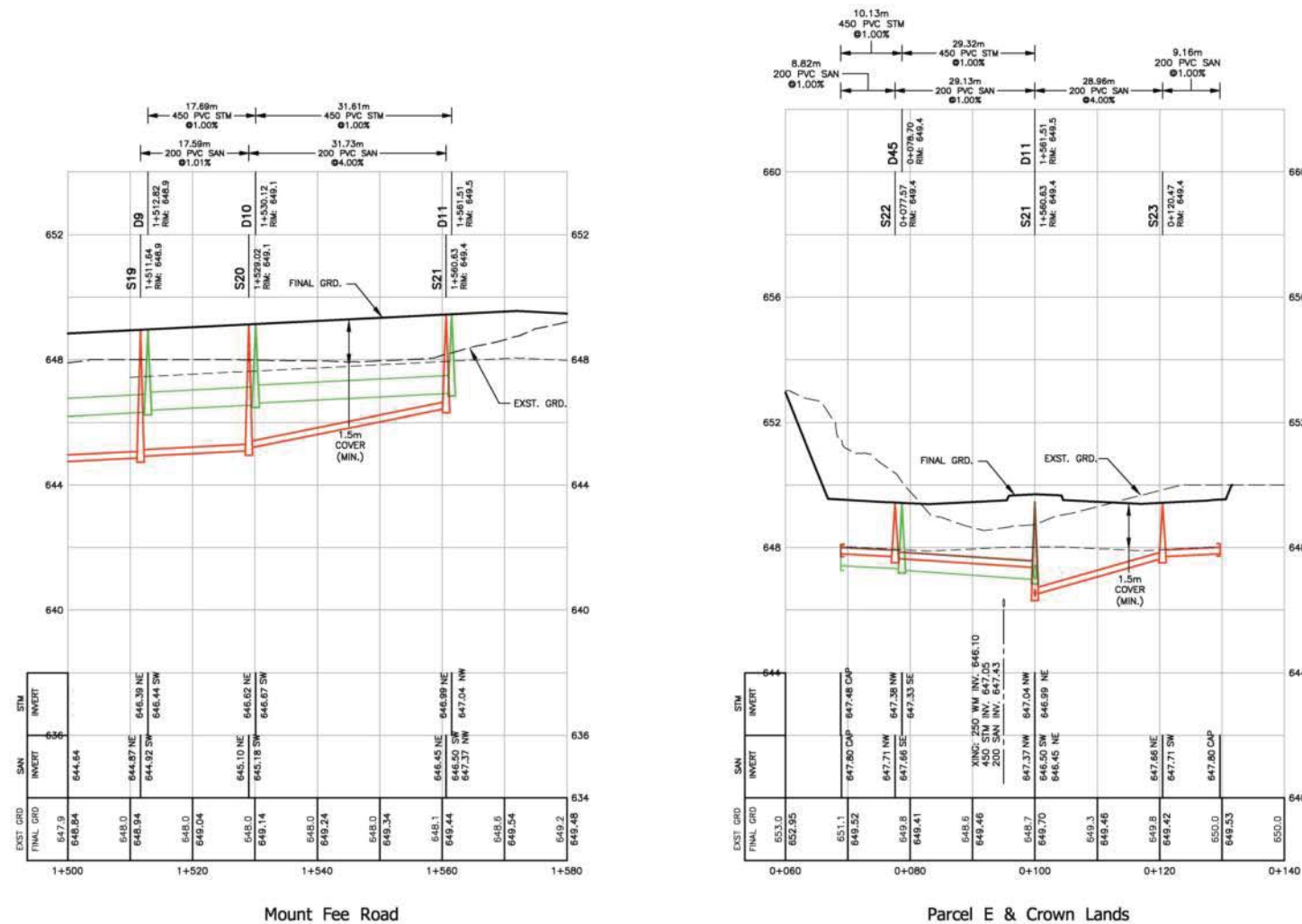
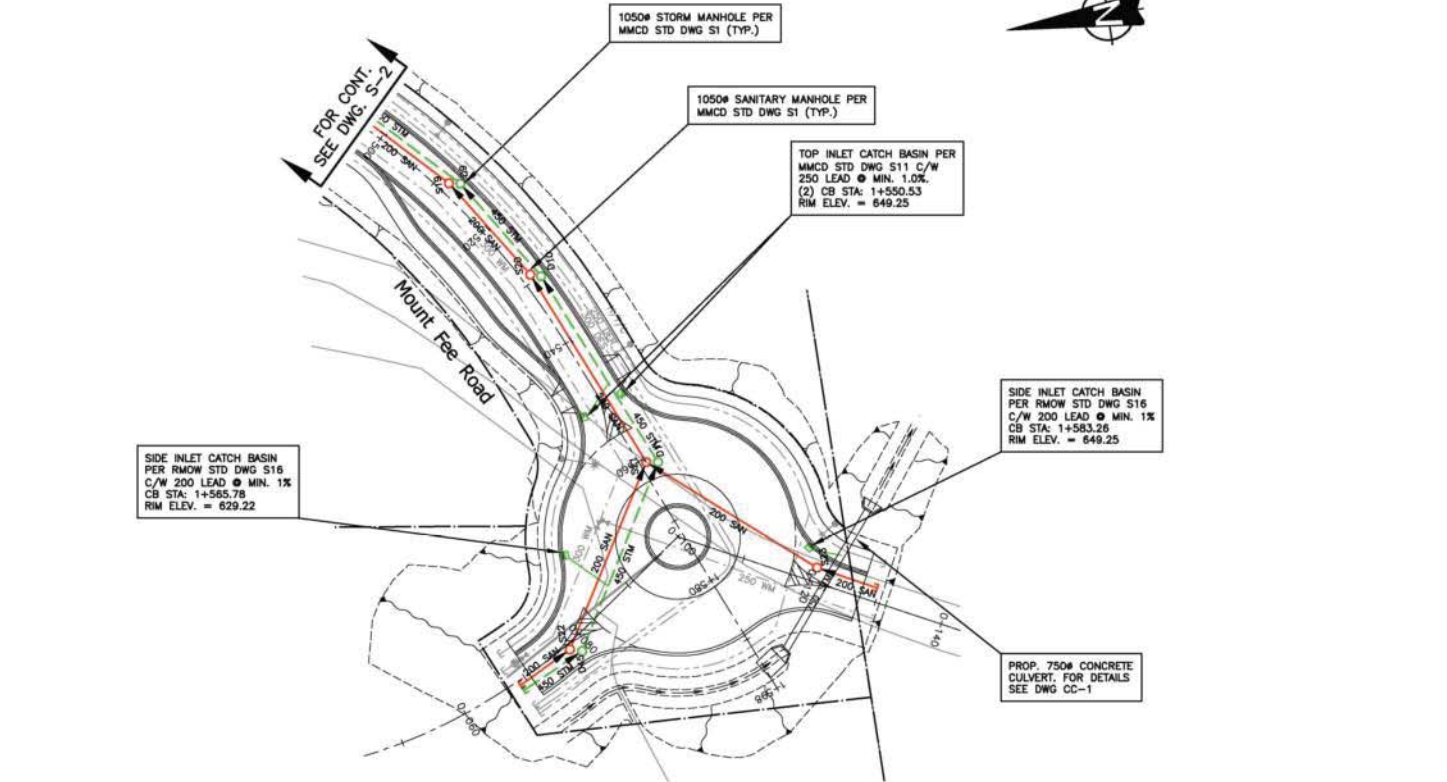


TOP INLET CATCH BASIN PER  
MMCD STD DWG S11 C/W  
250 LEAD @ MIN. 1.0%  
(2) CB STA: 1+49.72  
RIM ELEV. = 648.69



FOR GENERAL NOTES SEE DWG CU-1  
FOR SANITARY NOTES SEE DWG S-1  
FOR ROADWORKS NOTES SEE DWG RD-1  
FOR WATERWORKS NOTES SEE DWG W-1

- M & SANITARY SEWER  
FEE ROAD (1+270 - 1+520)



LEGEND - STORM & SANITARY		
DESCRIPTION	SYMBOLS	
PROPERTY LINE	PROPOSED	EXISTING
SANITARY SEWER	200 SAN	EX. 200 SAN
STORM SEWER	250 STM	EX. 250 STM
CULVERT		
CATCH BASIN (TOP INLET)		
CATCH BASIN (SIDE INLET)		
DITCH		
CULVERT CROSSING		
WATERMAIN		
FIRE HYDRANT		
GATE VALVE		
DISTRICT ENERGY SUPPLY		
DISTRICT ENERGY RETURN		
HYDRO/ TEL/ SHAW (OR ALT.)		
POWER POLE		
STREETLIGHT		
TRAIL LIGHT		

FOR GENERAL NOTES SEE DWG CU-1  
FOR SANITARY NOTES SEE DWG S-1  
FOR STORM NOTES SEE DWG S-2  
FOR ROADWORKS NOTES SEE DWG RD-1  
FOR WATERWORKS NOTES SEE DWG W-1

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				client				WHISTLER DEVELOPMENT CORPORATION			
				project				CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION WHISTLER, BRITISH COLUMBIA			
1	SEP 04 20	ISSUED FOR DEVELOPMENT PERMIT	JAT	no.	date	revision	chk'd	no.	date	revision	chk'd
1	SEP 04 20	ISSUED FOR DEVELOPMENT PERMIT	JAT								

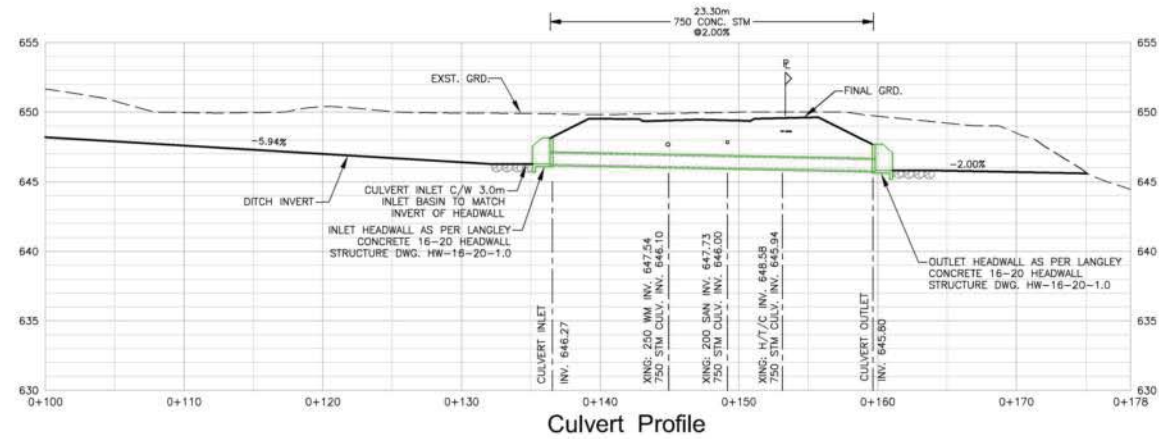
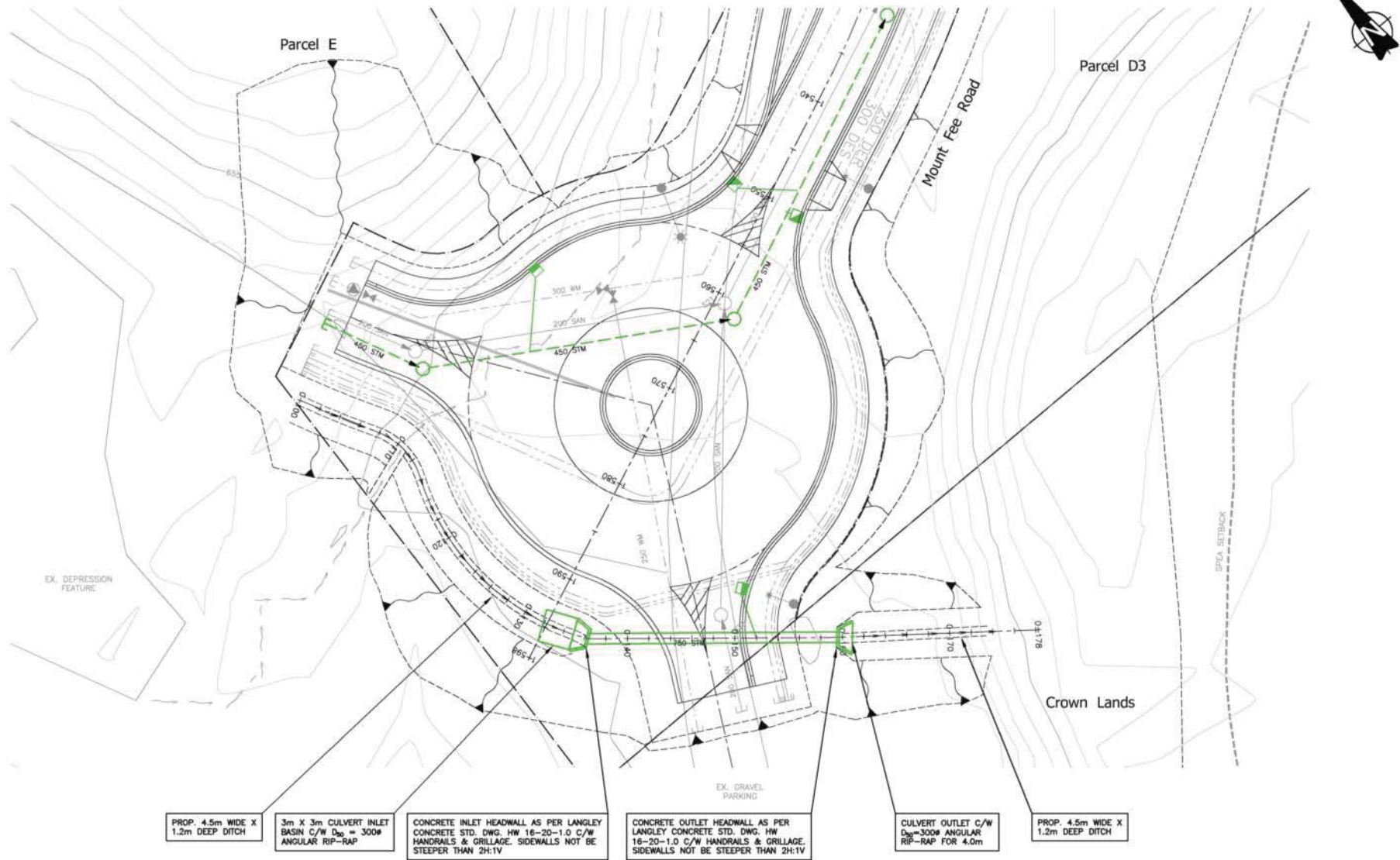
designed by		J.A.T.	title
drawn by		M.J.F.	
checked by		H.K.G.	
date		SEPT 24, 19	

scales		hor: 1:500	vert: 1:100
file no.		4002	
drawing no.		S-3	rev.
			1

STORM & SANITARY SEWER	
MOUNT FEE ROAD (1+510 - 1+580)	

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approved	
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LAND DEVELOPMENT CONSULTANTS	

P:\4000\4002 Cheakamus Creek - Phase 2, Whistler\DESIGN\STN CULVERT UNITS - ROUND ABOUT.dwg, 16/10/2016 1:12:54 PM, HPF



no	date	revision	chk'd	no	date	revision	chk'd
1	SEP 04 20	ISSUED FOR DEVELOPMENT PERMIT	JAT				

client  
**WHISTLER DEVELOPMENT CORPORATION**

project  
**CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION  
WHISTLER, BRITISH COLUMBIA**

PROFESSIONAL ENGINEERS

**WEBSTER**  
ENGINEERING LTD

LAND DEVELOPMENT CONSULTANTS

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approved

designed by J.A.T.

drawn by M.J.F.

checked by H.K.G.

date SEP 06 19

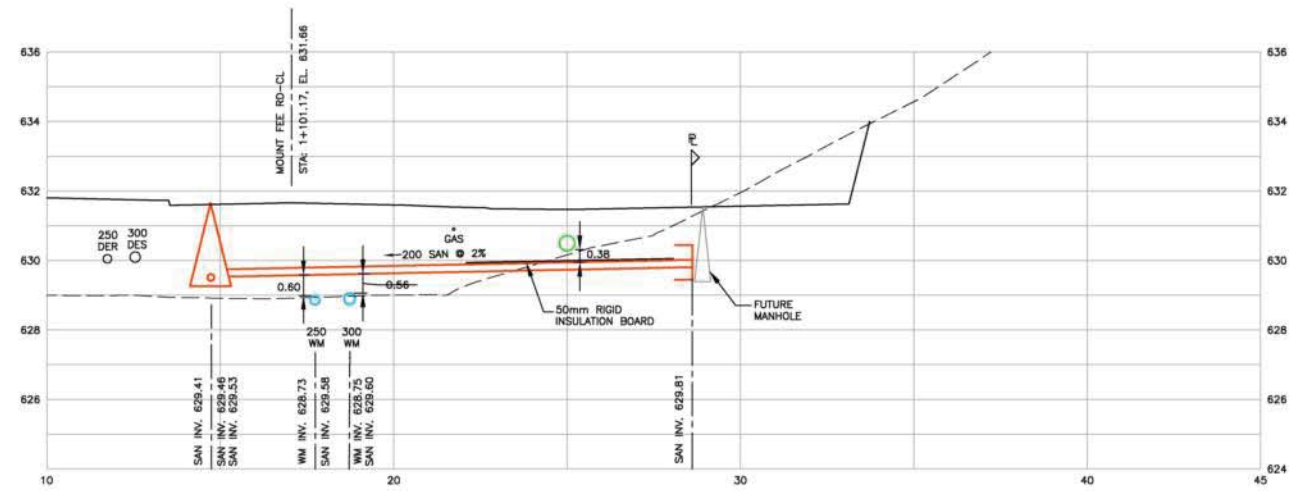
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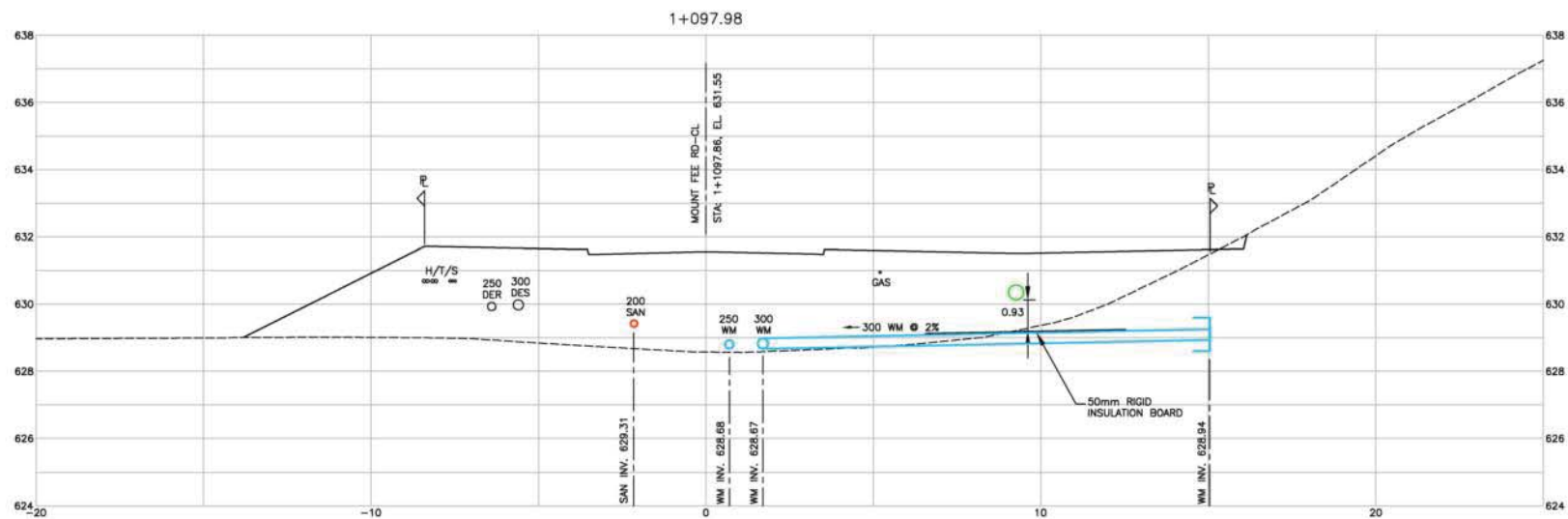
file no.  
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drawing no.  
**CC-1**

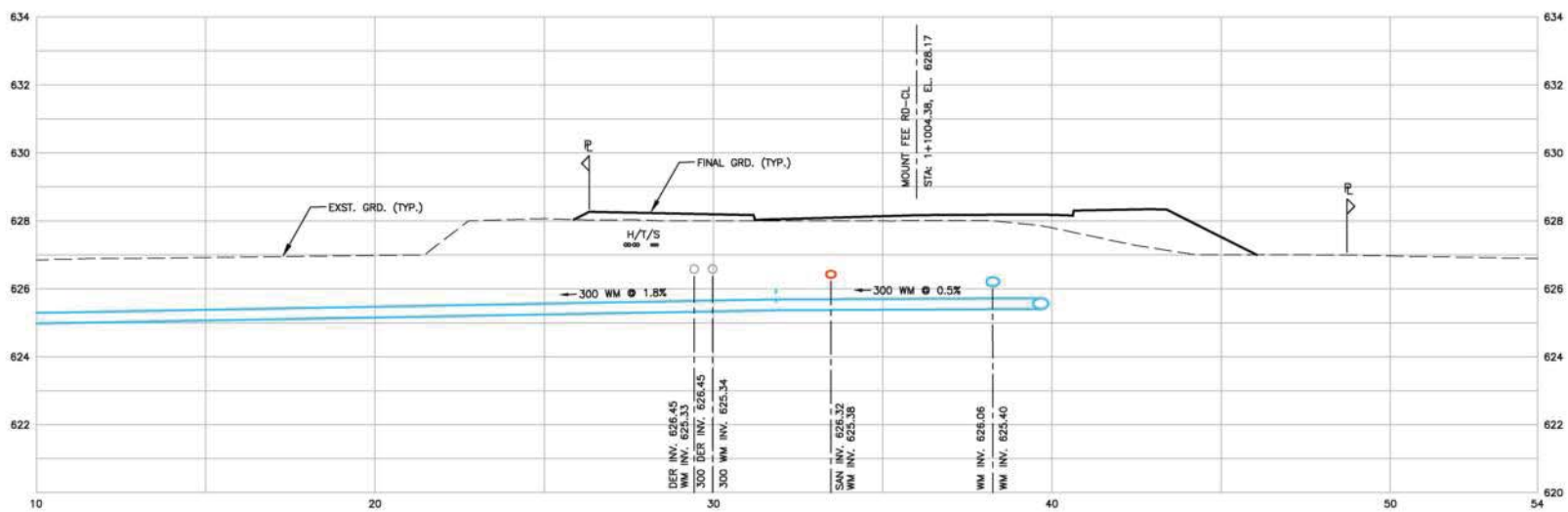
rev.  
**1**




200 SANITARY SERVICE CONNECTION TO FUTURE PHASE  
MOUNT FEE ROAD (STA: 1+101)

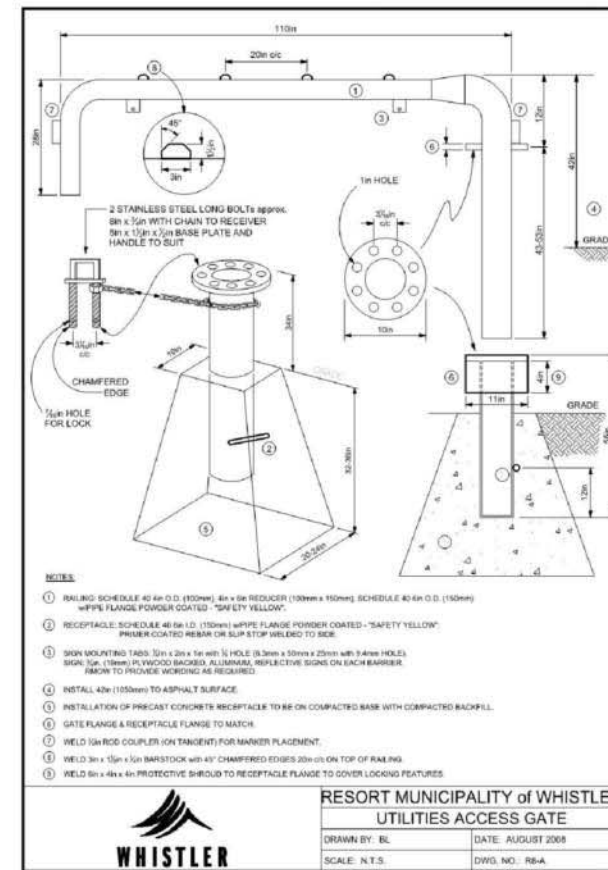
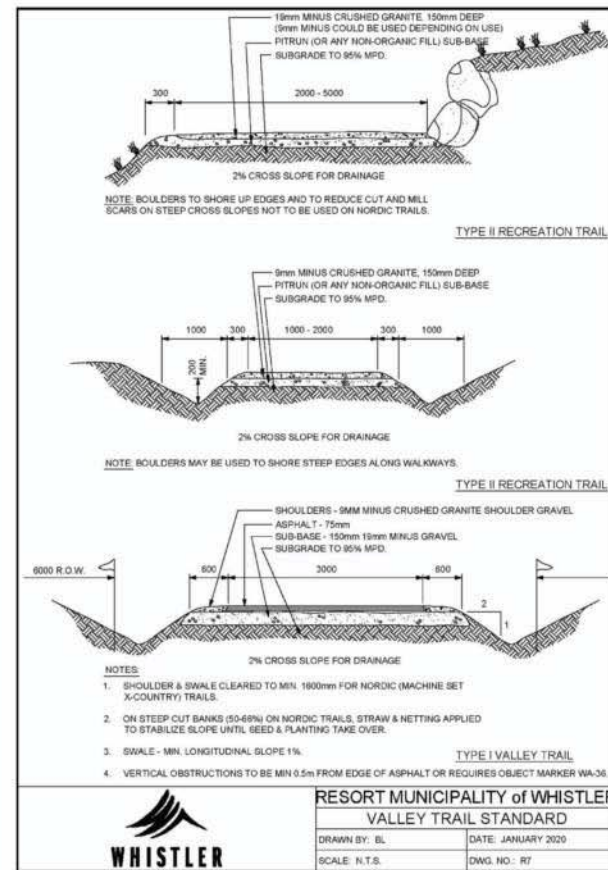
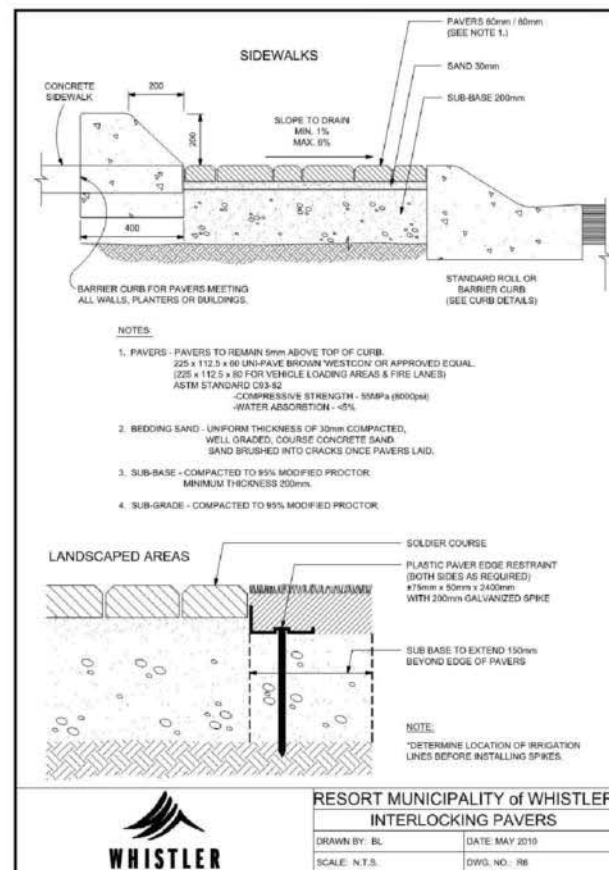
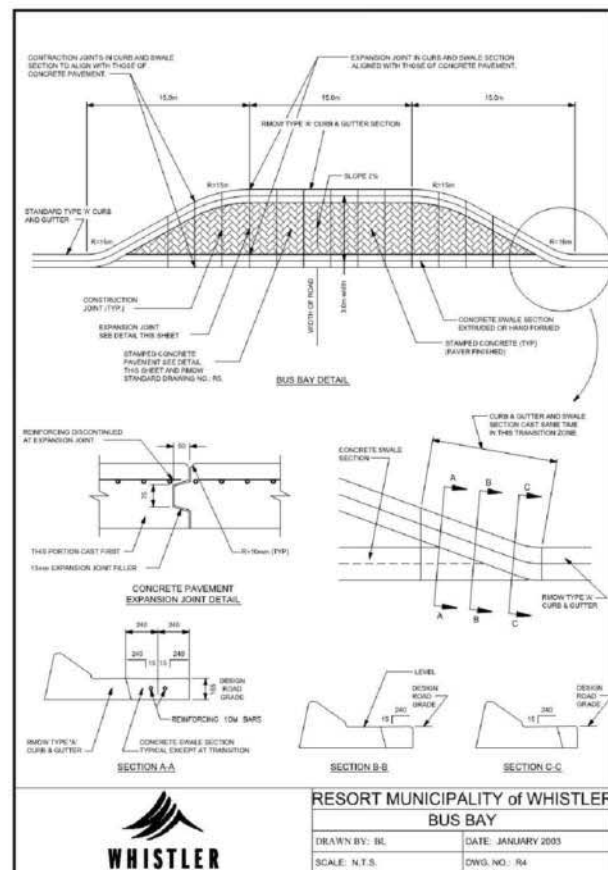
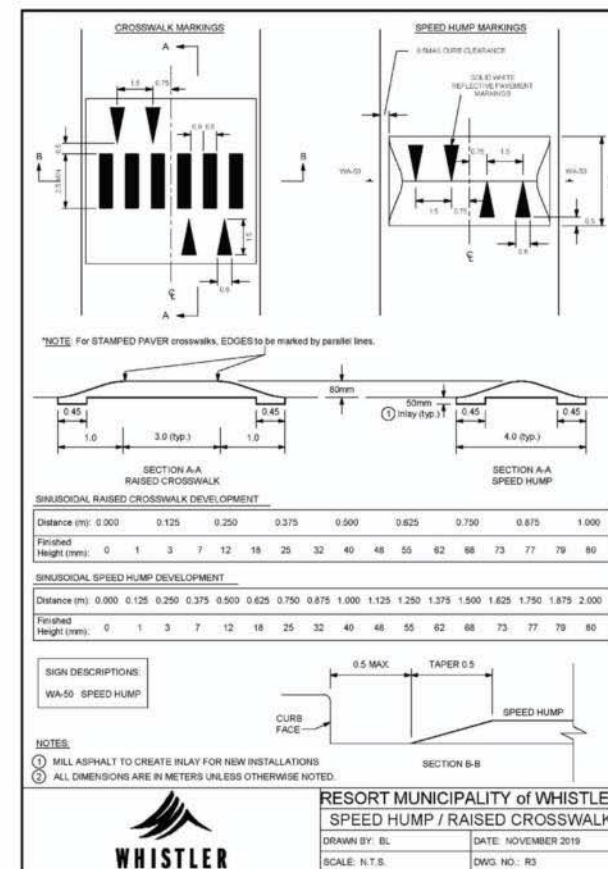
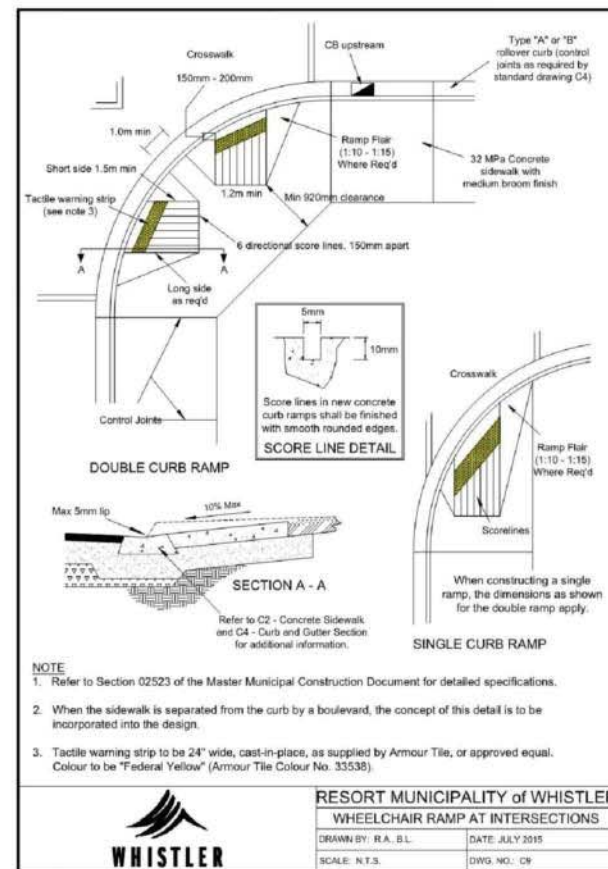
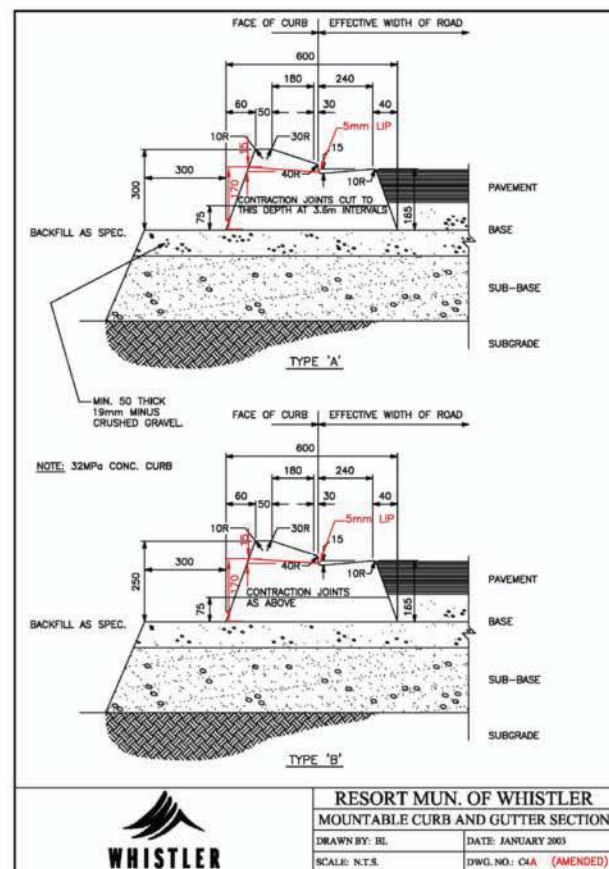
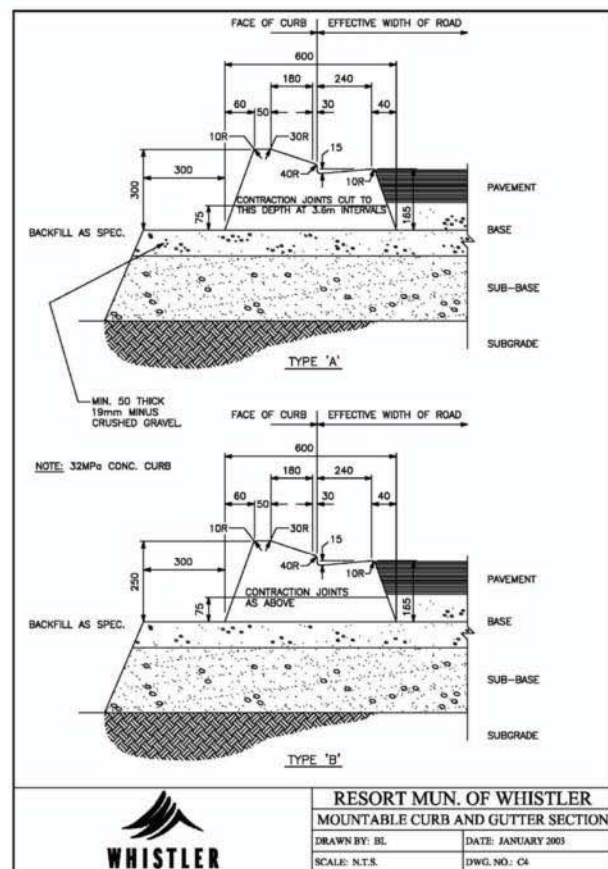


300 WATER SERVICE CONNECTION TO FUTURE PHASE  
MOUNT FEE ROAD (STA: 1+098)

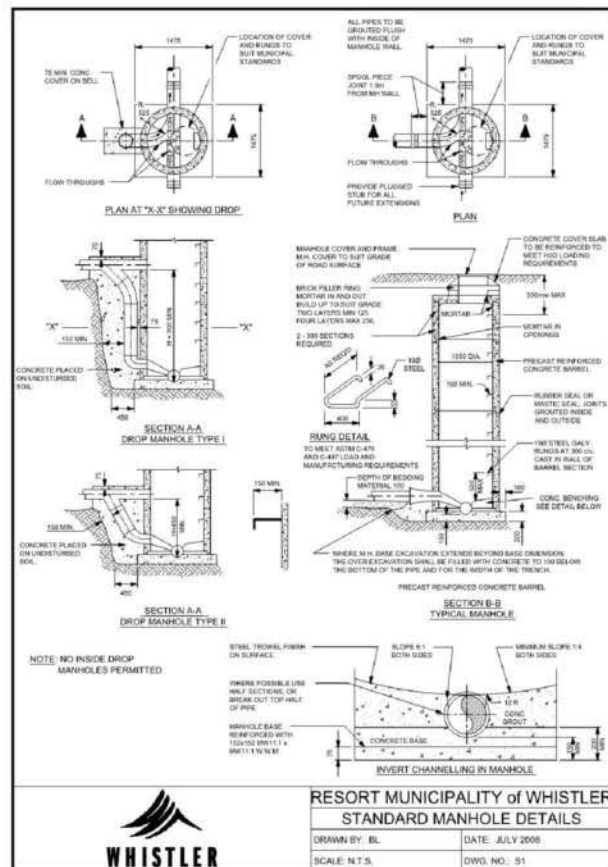
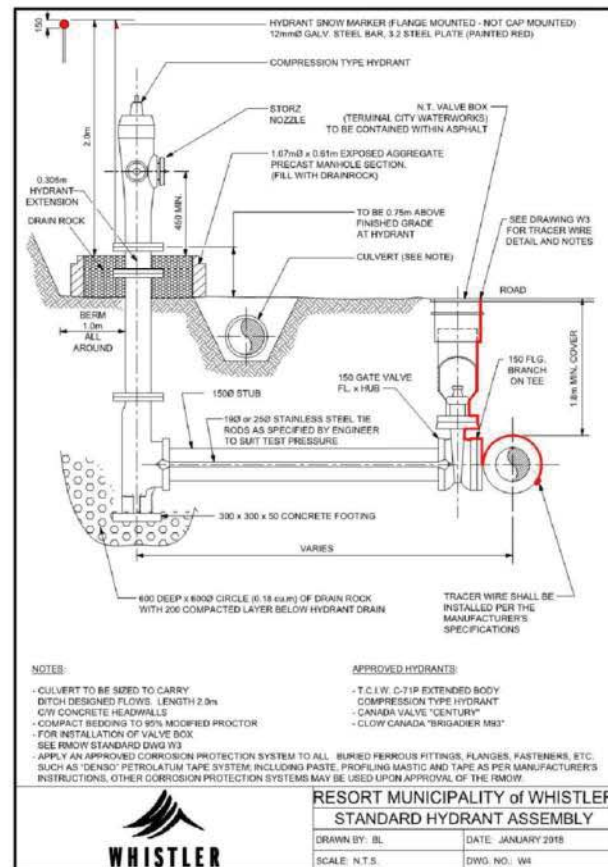
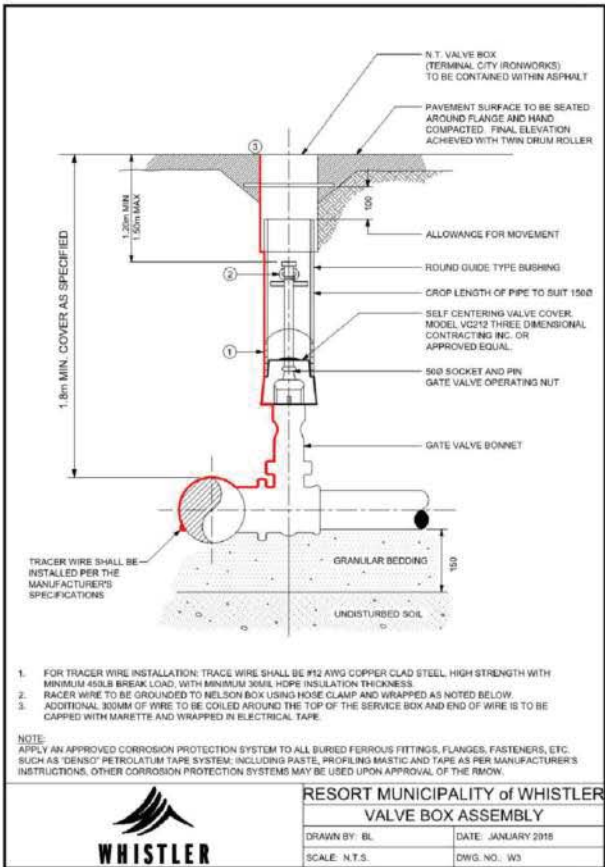
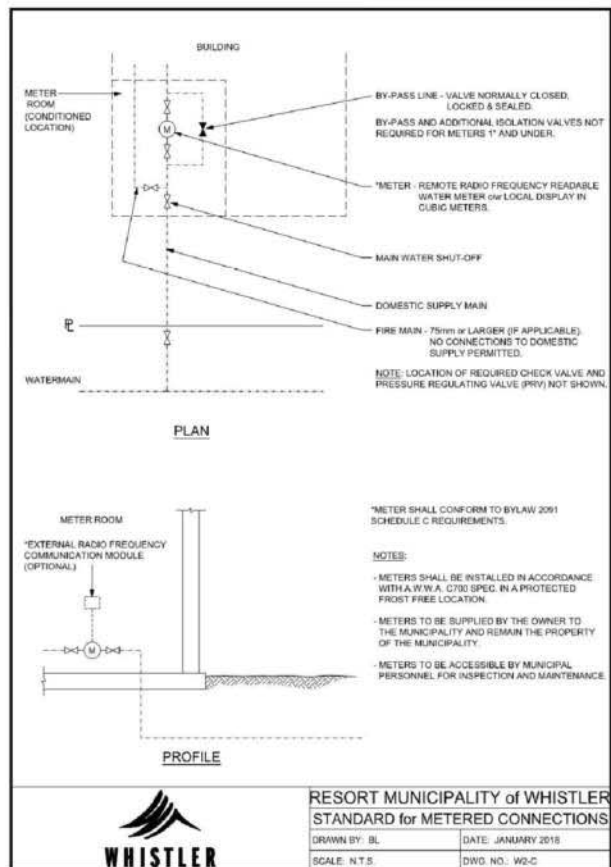
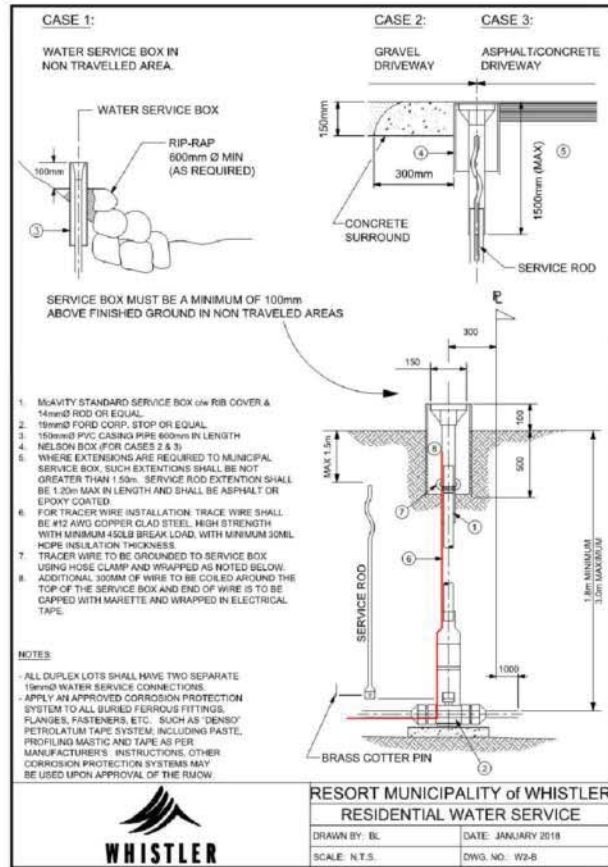
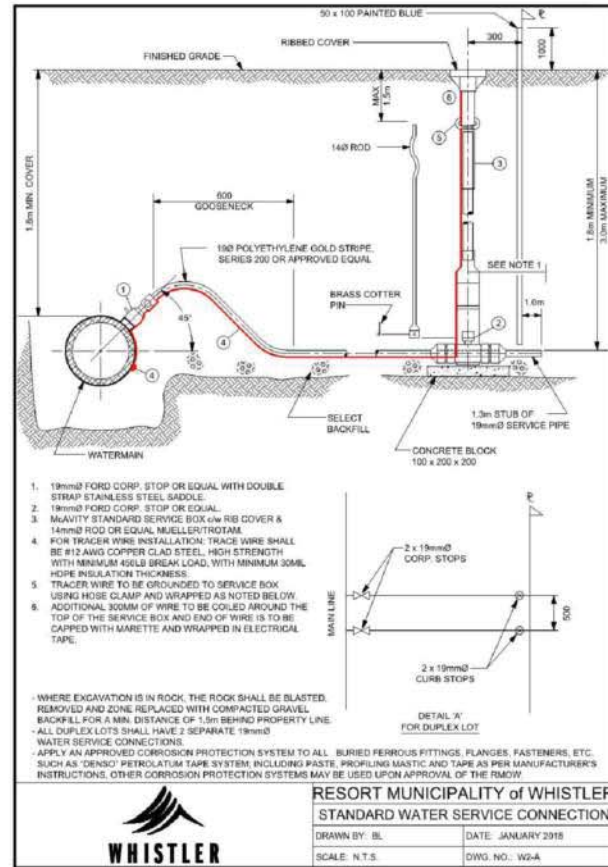
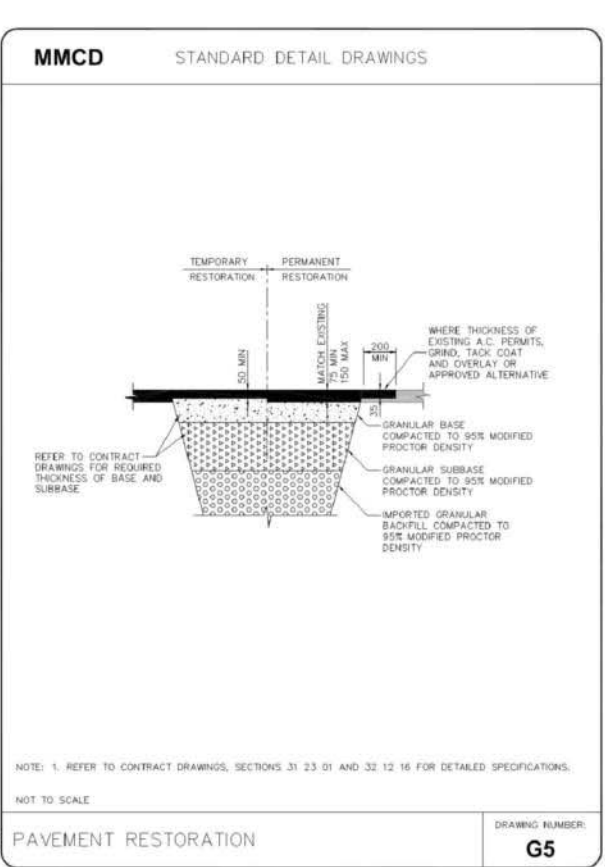
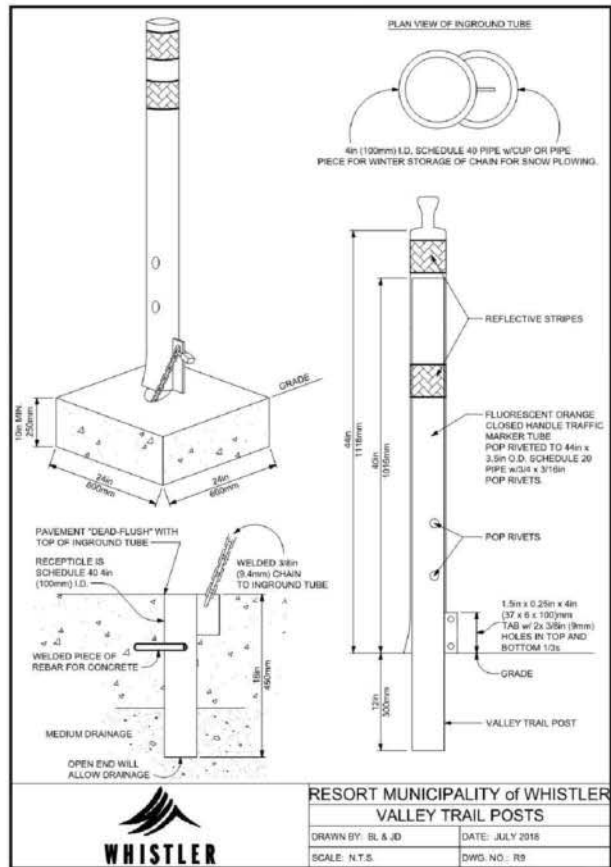


300 WATERMAIN CROSSING CROSSING 250 WATERMAIN  
MOUNT FEE ROAD (STA: 1+006)

										client										<div>PROFESSIONAL ENGINEERS</div> <div>WEBSTER ENGINEERING LTD</div> <div>LAND DEVELOPMENT CONSULTANTS</div>										approved										designed by J.A.T. drawn by S.T. checked by H.K.G. date SEPT.24.19										title   <									
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										client		<div><div><div><div>STEEP ROCKY TERRAIN SPECIALISTS</div><div><b>WEBSTER</b></div><div>ENGINEERING LTD</div></div></div><div><div>PROFESSIONAL ENGINEERS</div><div>3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458</div><div>LAND DEVELOPMENT CONSULTANTS</div></div></div>		copyright reserved. this drawing and design are, and at all times remain the exclusive property of WEBSTER ENGINEERING LTD. AND CANNOT BE USED, REPRODUCED OR DISTRIBUTED WITHOUT WRITTEN CONSENT. © 2018 WEBSTER ENGINEERING LTD.		approved	<div><div>designed byJ.A.T.</div><div>drawn byS.T.</div><div>checked byH.K.G.</div><div>dateSEP.03.19</div></div>	title		scales hor: - vert: -	
3	SEP.04.20	ISSUED FOR DEVELOPMENT PERMIT	JAT							file no. 4002											
2	JUL.24.20	ISSUED FOR COORDINATION	JAT																		
1	DEC.18.19	90% PARTIAL BUILDING PERMIT SUBMISSION	JAT							drawing no. DET-1				rev. 3							
no.	date	revision	chk'd	no.	date	revision	chk'd														
										project											
										WHISTLER DEVELOPMENT CORPORATION											
										CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION											
										WHISTLER, BRITISH COLUMBIA											



no.	date	revision	chkd	no.	date	revision	chkd
3	SEP.04.20	ISSUED FOR DEVELOPMENT PERMIT	JAT				
2	JUL.24.20	ISSUED FOR COORDINATION	JAT				
1	DEC.18.19	90% PARTIAL BUILDING PERMIT SUBMISSION	JAT				

client  
WHISTLER DEVELOPMENT CORPORATION

project  
CHEAKAMUS CROSSING NEIGHBOURHOOD EXPANSION  
WHISTLER, BRITISH COLUMBIA

PROFESSIONAL ENGINEERS

3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458

designed by J.A.T.

drawn by S.T.

checked by H.K.G.

date SEP.03.19

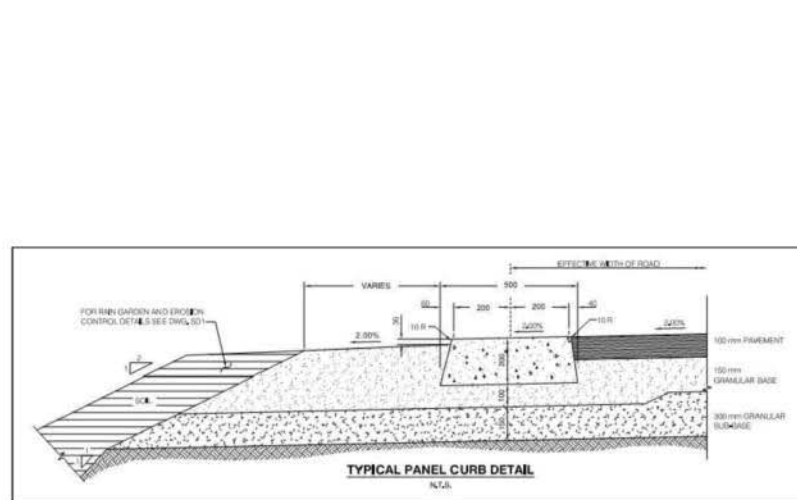
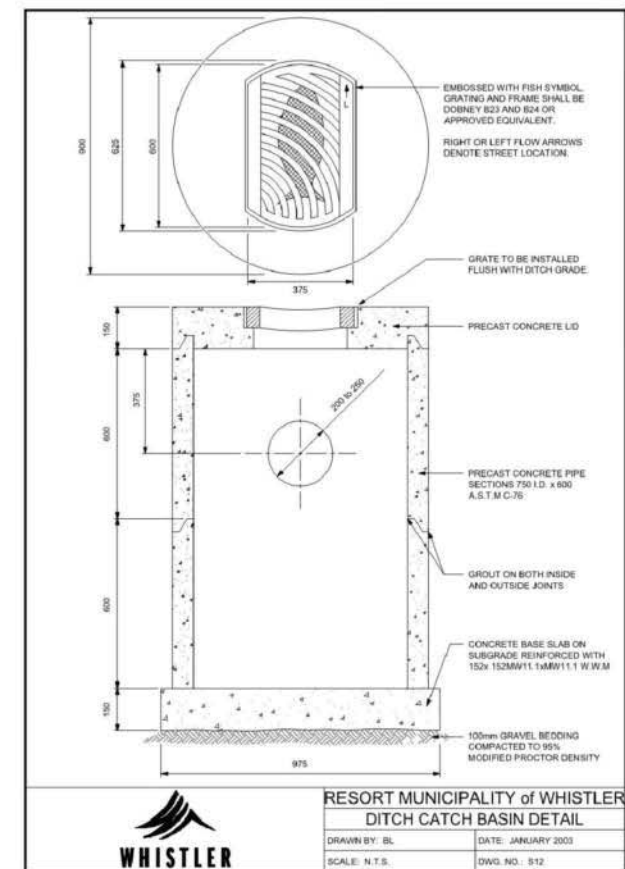
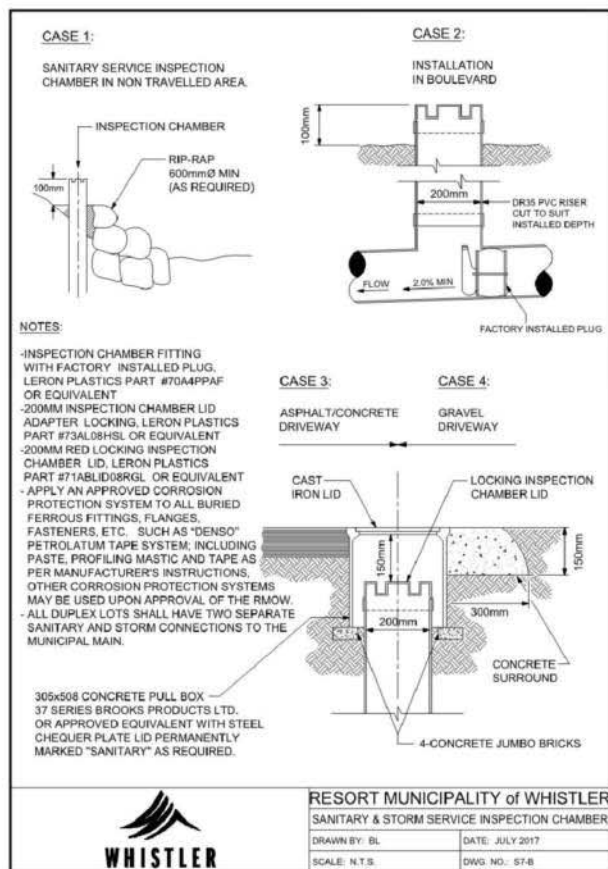
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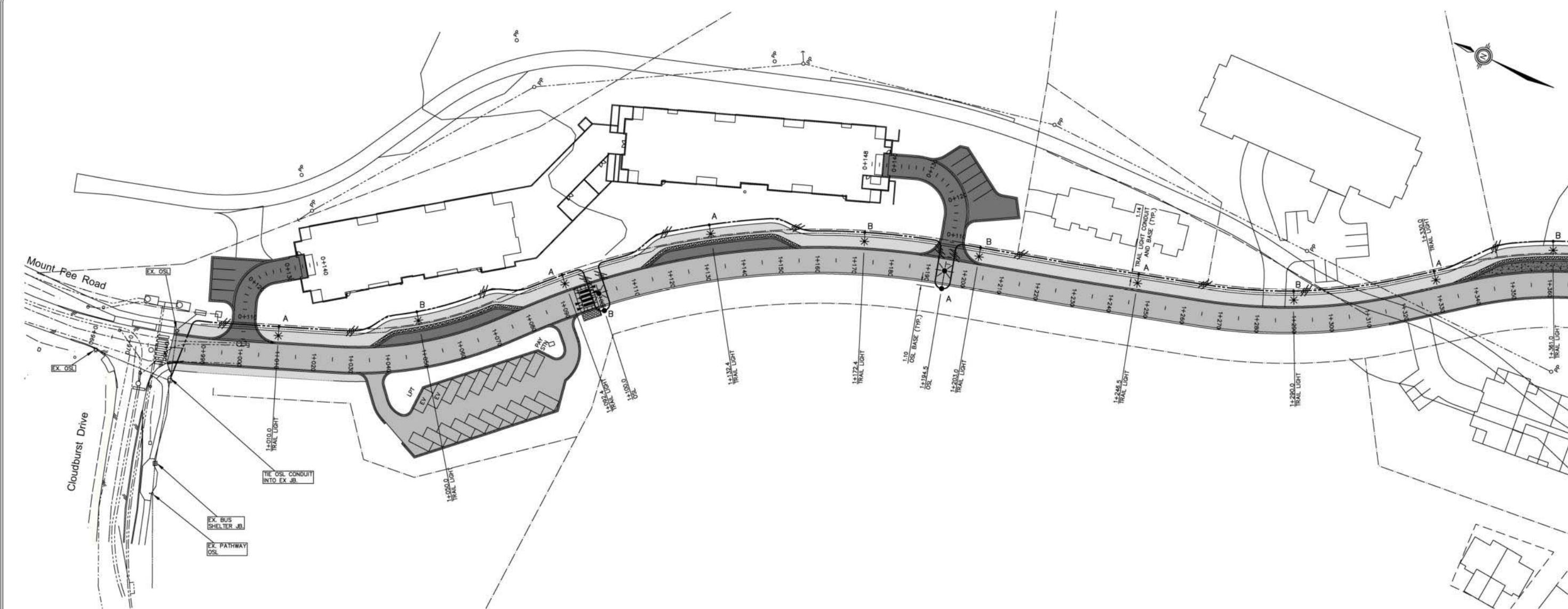
drawing no.  
DET-2

rev.  
3

STANDARD DETAILS



										client		<div><div><div><div><div></div><div>STEEP ROCKY TERRAIN SPECIALISTS</div></div><div><div><b>WEBSTER</b></div><div>ENGINEERING LTD</div></div></div><div><div>PROFESSIONAL ENGINEERS</div><div>3745 DELBROOK AVENUE, NORTH VANCOUVER, B.C. V7N 3Z4 983-0458</div><div>LAND DEVELOPMENT CONSULTANTS</div></div></div></div>				approved		designed by J. A. T.		title		scales	
3 SEP.04.20 ISSUED FOR DEVELOPMENT PERMIT JAT										project						drawn by S. T.		hor: - vert: -		file no.			
2 JUL.24.20 ISSUED FOR COORDINATION JAT										cheakamus crossing neighbourhoood expansion						checked by H. K. G.		4002		drawing no.			
1 DEC.18.19 90% PARTIAL BUILDING PERMIT SUBMISSION JAT										WHISTLER, BRITISH COLUMBIA						date SEP.03.19		STANDARD DETAILS		DET-3			
no. date revision chg'd no. date revision chg'd																				rev. 3			



- STREET LIGHTING GENERAL NOTES**
1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) AND RESORT MUNICIPALITY OF WHISTLER STANDARD DRAWINGS.
  2. ALL LAMP STANDARDS ARE TO BE MOUNTED WITH DAVIT ARM AT 90 DEGREES TO CURB FACE WITH A 3 DEGREE TOLERANCE.
  3. ALL LAMP STANDARDS ARE TO BE 7.52m MOUNTING HEIGHT FOR ROADWAY LUMINAIRES AND 4.57m FOR TRAIL LUMINAIRES, UNLESS OTHERWISE NOTED.
  4. ALL LAMP STANDARDS AND LIGHTING EQUIPMENT IS TO BE FINISHED WITH AN APPLICATION OF A ASTM D2244 STANDARD THERMOSETTING POLYESTER POWER COAT PAINT. THE COLOUR IS TO BE AAMA 2803 STANDARD TEXTURED DARK BLUE (BZ2TX).
  5. ALL LUMINAIRES ARE TO BE 120V/110 WATT LED. ALL LUMINAIRES ARE TO BE FULL CUTOFF I.E.S. TYPE II OR TYPE III DISTRIBUTION, UNLESS OTHERWISE NOTED.
  6. ALL DRIVERS TO SUIT 120V OPERATION.
  7. ALL VOLTAGES TO BE CHECKED PRIOR TO CONSTRUCTION.
  8. APPROVAL OF PROVINCIAL ELECTRICAL INSPECTOR TO BE OBTAINED PRIOR TO MAKING CONNECTION.
  9. CONTRACTOR TO ENSURE EXISTING ORNAMENTAL STREET LIGHTING IS NOT DISRUPTED DURING NEW INSTALLATION (I.E. TIE TO EXISTING CONDUIT AT COMPLETION OF O.S.L. CONSTRUCTION).
  10. ALL CONDUITS SHALL BE BURIED A MINIMUM 1000mm DEPTH AND EMBEDDED IN SAND 75mm ABOVE AND 75mm BELOW AND BURIED CONDUIT MARKER TAPE SHALL BE INSTALLED IN ALL TRENCHES.
  11. CONTRACTOR TO CONFIRM STREET LIGHT POLE TO FIT ON SPECIFIED STREET LIGHT BASE.
- PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF COMPLETION, THE OWNER'S ENGINEER SHALL SUBMIT A CERTIFICATE OF INSPECTION FOR THE WORKS IN A FORM AND CONTENT ACCEPTABLE TO THE CITY AND PREPARED AND SEALED BY THE OWNER'S ENGINEER CERTIFYING TO THE CITY THAT THE WORKS HAVE BEEN CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.**
- PROVE ALL EXISTING ELEVATIONS AND LOCATIONS AND NOTIFY BRIGHT STREET LIGHT ENGINEERING OF ANY DISCREPANCIES OR CONFLICTS BEFORE STARTING CONSTRUCTION.**

- LEGEND**
- ☀ EX. SCHREDER HESTIA SERIES - HEM-150MHED17-12- [TRITAP]-WST4-1A- ATR85-24-CAS295A-RAL9007
  - EX. SCHREDER ISME SERIES - ISME-24HPLED-[120]
  - ☀ NOVA NSD 25XB TYPE A SINGLE DAVIT LIGHT POLE WITH PHILIPS COBRAHEAD RFL-108W32LED4K-G2-R2M LUMINAIRE AND C2 TRAPEZOIDAL CONCRETE BASE AS PER MMCD DRAWING CE1.3
  - ☀ LIGHT POLE AS PER ROW DRAWING E4 WITH SIGNIFY LUMEC GPLS-48L700NW-G2-R2M LUMINAIRE AND C3 TRAPEZOIDAL CONCRETE BASE AS PER MMCD DRAWING CE1.3
  - EX. STREET LIGHT CONDUIT
  - 3 NO. 6 RW90 FEEDERS & 1 NO. 8 RW90 BOND WIRE IN 53MM RPVC STREET LIGHT CONDUIT
  - 2 NO. 6 RW90 FEEDERS & 1 NO. 8 RW90 BOND WIRE IN 53MM RPVC STREET LIGHT CONDUIT
  - C.O. STUB OUT AND CAP (CONDUIT ONLY) FOR FUTURE EXTENSIONS
  - ☐ EX. STREET LIGHTING JUNCTION BOX
  - ☐ EX. BUS SHELTER JUNCTION BOX 120VAC, 3A SERVICE
  - A LUMINAIRE ON PHASE A - RED CONDUCTOR
  - B LUMINAIRE ON PHASE B - BLACK CONDUCTOR

**NOTES:**

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO LANGLEY CONTROL MONUMENT:

ELEVATION \_\_\_\_\_

ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT 'MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD)' AND THE CURRENT CITY OF LANGLEY 'SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS', UNLESS OTHERWISE NOTED.

**BRIGHT STREET LIGHT ENGINEERING**

100 - 21320 GORDON WAY, RICHMOND, BC 604-279-0836

**WHISTLER DEVELOPMENT CORPORATION**

BRIGHT Project No. B601

REV	DATE	BY	CH	DESCRIPTION
1.	10 JUL 2020	DH	DSL	SECOND SUBMISSION
0.	18 DEC 2019	DH	DSL	FIRST SUBMISSION
REVISIONS				



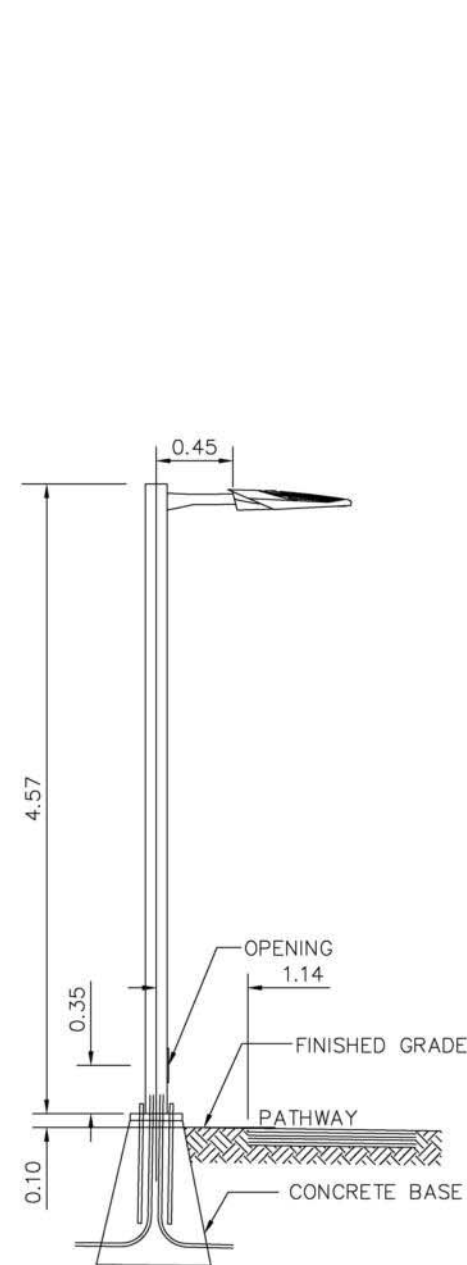
**Resort Municipality of WHISTLER**

**TITLE: STREET LIGHTING**

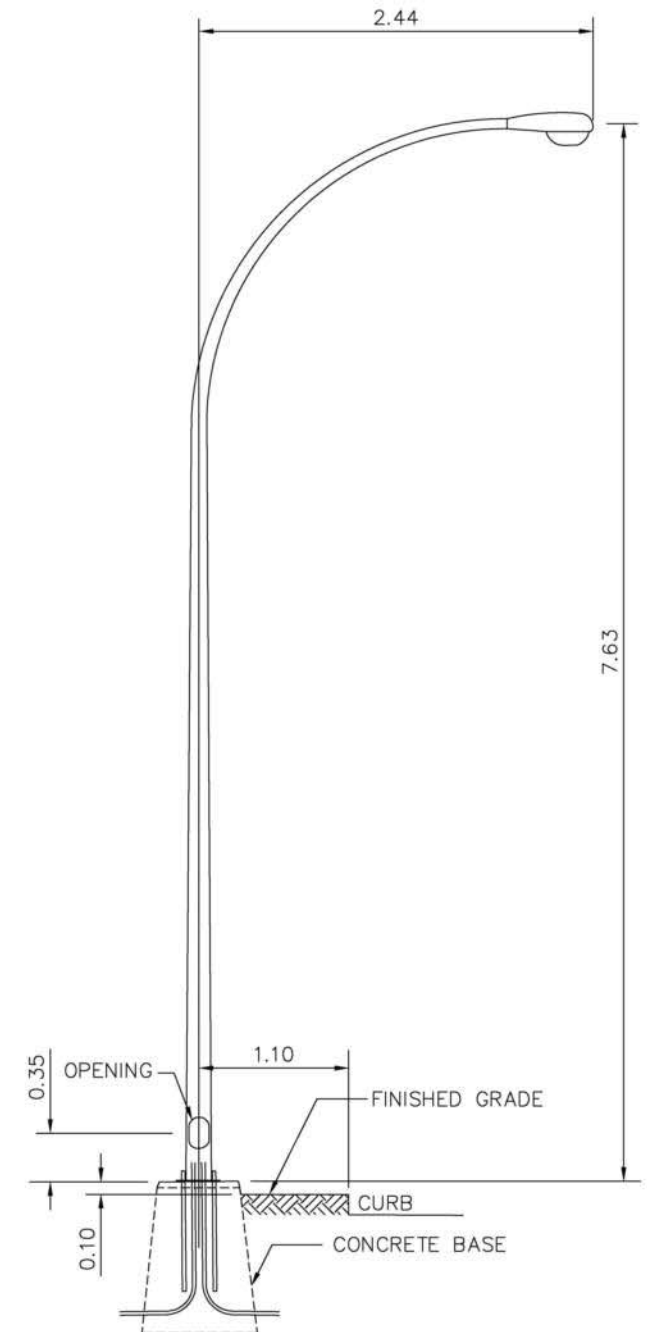
CHEAKAMUS CREEK - PHASE II  
WHISTLER, BRITISH COLUMBIA  
4002

DESIGN: DH	DWG. No.: SL - 1
DRAWN: DH	SCALE: 1:500
CHECKED: DS Lee	DATE: OCT 2019
ENGINEER: DS Lee	SHT. No.: 1 of 3





PATHWAY OSL PROFILE  
SCALE: 1:25



OSL PROFILE  
SCALE: 1:25

PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF COMPLETION, THE OWNER'S ENGINEER SHALL SUBMIT A CERTIFICATE OF INSPECTION FOR THE WORKS IN A FORM AND CONTENT ACCEPTABLE TO THE CITY AND PREPARED AND SEALED BY THE OWNER'S ENGINEER CERTIFYING TO THE CITY THAT THE WORKS HAVE BEEN CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

PROVE ALL EXISTING ELEVATIONS AND LOCATIONS AND NOTIFY DS LEE ENGINEERING OF ANY DISCREPANCIES OR CONFLICTS BEFORE STARTING CONSTRUCTION.

NOTES:

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO LANGLEY CONTROL MONUMENT.

ELEVATION \_\_\_\_\_

ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT 'MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD)' AND THE CURRENT CITY OF LANGLEY 'SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS', UNLESS OTHERWISE NOTED.



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WHISTLER DEVELOPMENT CORPORATION  
BRIGHT Project No. B601

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0.	18 DEC 2019	DH	DSL	FIRST SUBMISSION
REVISIONS				



TITLE:

STREET LIGHTING

CHEAKAMUS CREEK - PHASE II  
WHISTLER, BRITISH COLUMBIA

4002

DESIGN: DH	DWG. No.: SL - 3	DATE: OCT 2019
DRAWN: DH	SCALE: AS SHOWN	SHT. No.: 3 of 3
CHECKED: DS Lee	ENGINEER: DS Lee	

