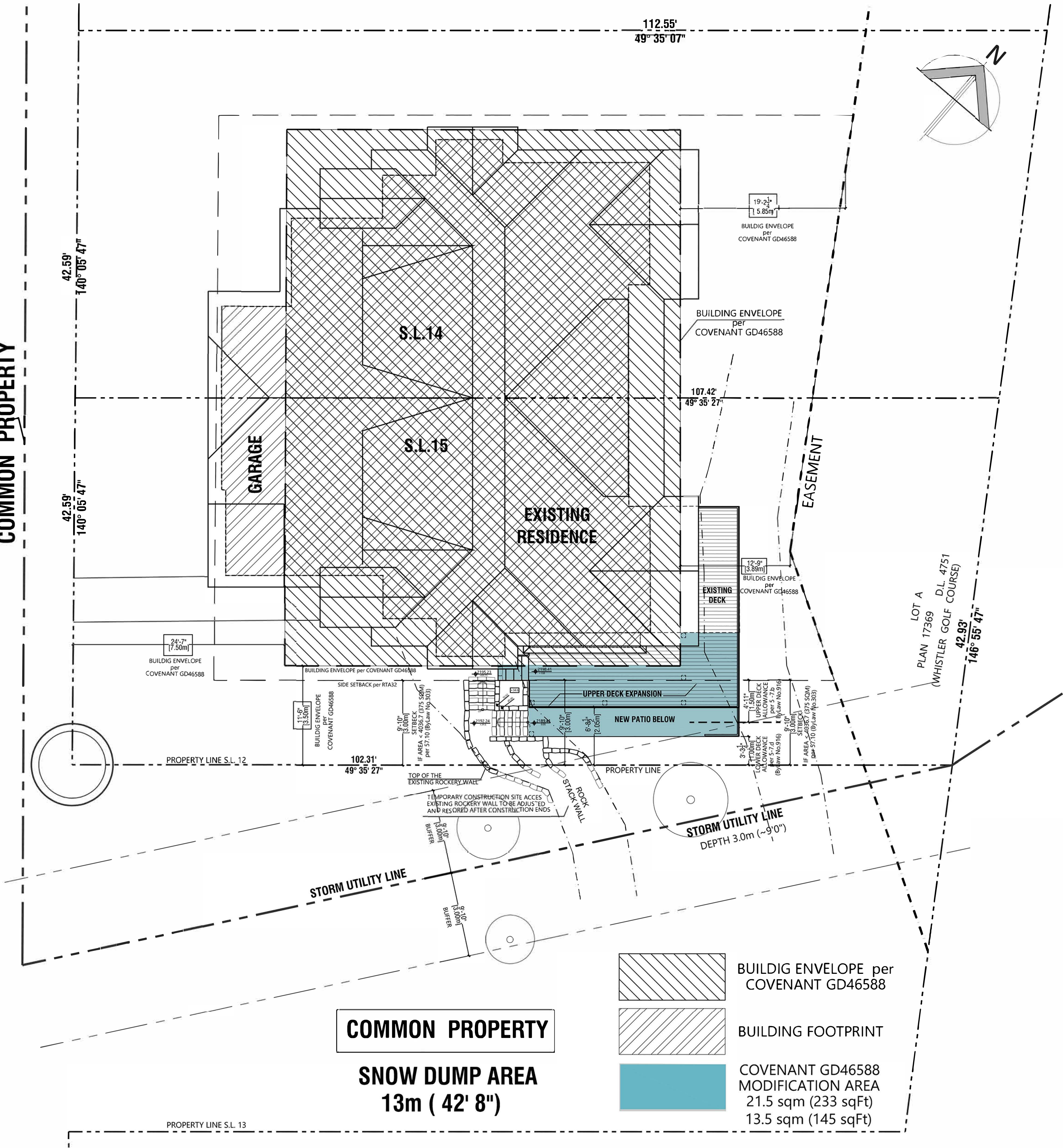




VICINITY MAP NTS

PROJECT TEAM	
OWNER:	
Nebojsa Nastic	
3339 Nighthawk Lane	
Whistler, BC V0N 1B3	
DESIGNER:	
Design Ark Inc	
Bozurka Morrison	
135 15th Avenue	
Kirkland WA 98033	
T: 425 206 755 0257	
F: 425 822 2683	
STRUCTURAL ENGINEER:	
Twin Peaks Engineering Ltd.	
Benjamin Towsey P.Eng.	
101 - 1080 Millar Creek Road	
Whistler B.C. V8E 0S7	
T: 604 967 1701	
SURVEYOR:	
Doug Bush Survey Services Ltd.	
Unit 18, 1370 Alpha Lake Road	
Whistler, B.C. V8E 0H9	
T: 604-932-3314	
GEOTECHNICAL ENGINEER:	
Steven Fofonoff	
Frontera Geotechnical Inc.	
1 – 38920 Queens Way	
Squamish, BC V8B 0K8	
T: 604-898-1093	
GENERAL CONTRACTOR:	
TBD	



WORK DESCRIPTION
Expanding the lower patio/deck and adding a hot tub. The structural engineer's site inspection has determined the existing footings supporting the lower deck, upper deck and partial upper floor are showing signs of settlement and rotation and need to be rebuilt to prevent further de-stabilisation of the existing structure. For that reason the lower deck and post footings will be rebuilt and the upper floor deck reinforced. With doing so the upper deck will be expanded wile providing the ground access.

CODES
ALL WORK SHALL CONFORM TO APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO:
RM of Whistler Zoning and Parking Bylaw No. 303
BC Building Code - 2024 (Part 9)
ALL RULES, REGULATIONS AND ORDINANCES OF THE GOVERNING JURISDICTION.

DRAWING INDEX
A 1.00 SITE PLAN
A 2.00 BASEMENT FLOOR PLAN
A 2.01 MAIN FLOOR PLAN
A 3.00 ELEVATIONS
A 4.00 SECTIONS
1 of 1 SURVEY

SITE PLAN SCALE 1" - 10'

NASTIC RESIDENCE DECK REPAIR and EXSPANSION

residential • commercial • interiors

135 15th Avenue

Kirkland, WA 98033

T • (425) 739.6761

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designark@designarkinc.com

PROJECT NAME:
NASTIC RESIDENCE DECK EXPANSION

PROJECT ADDRESS:
**3339 Nighthawk Lane
Whistler, BC V0N 1B3**

REGISTRATION:

GENERAL NOTES:

NO.	DATE:	ISSUE/REVISION:
1	Nov. 09, 2023	Strata Review
2	January 31, 2024	Schematic 2
3	April 10, 2024	BP application
4	March 13, 2025	BP revisions 1

DESIGNED BY:	BPM
DRAWN BY:	BPM
CHECKED BY:	BPM
PROJECT NO:	A24_01
DATE:	March 13, 2025
SCALE:	1/8" = 1' 0"

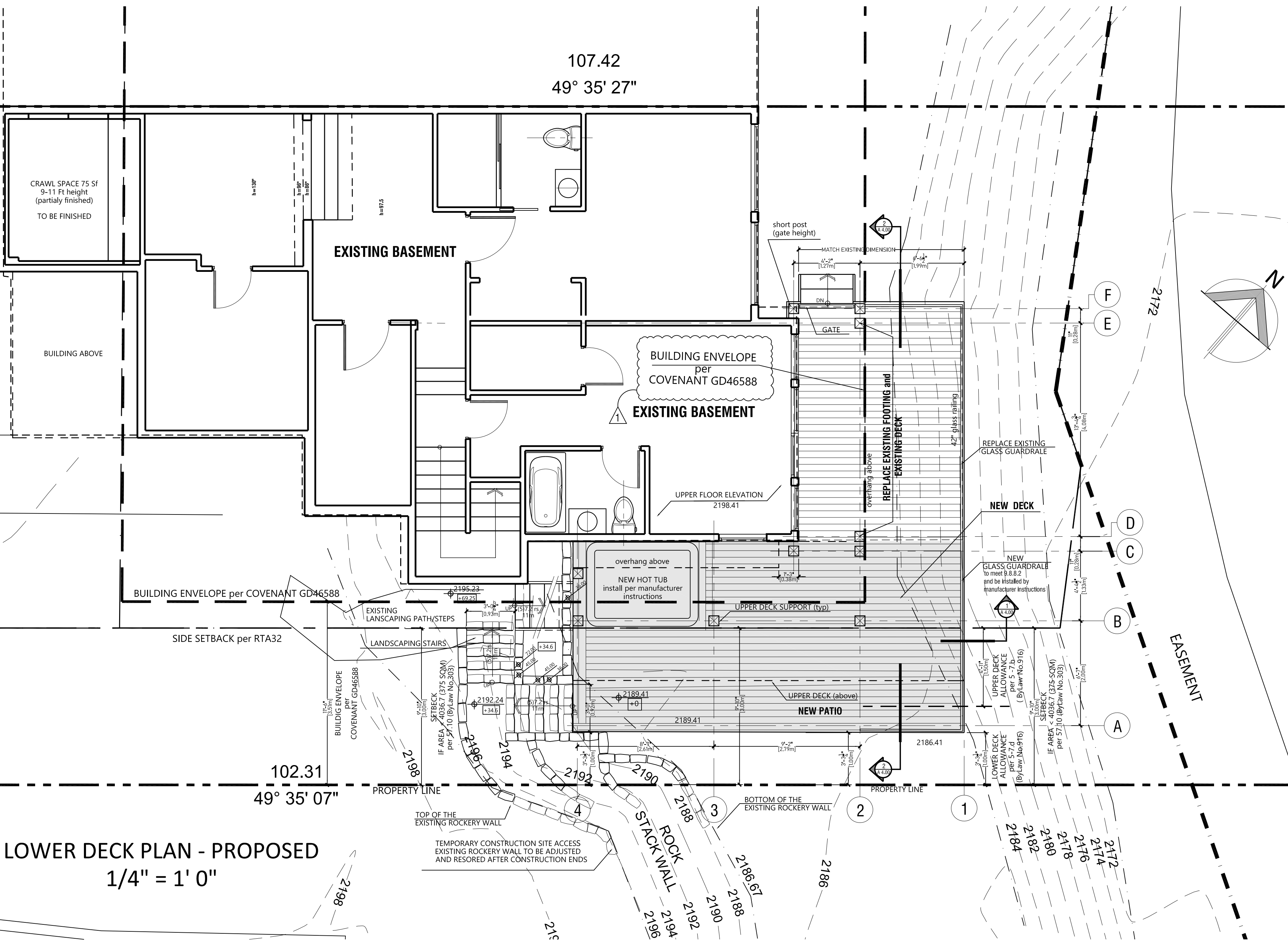
SHEET TITLE:
COVENANT MODIFICATION SITE PLAN

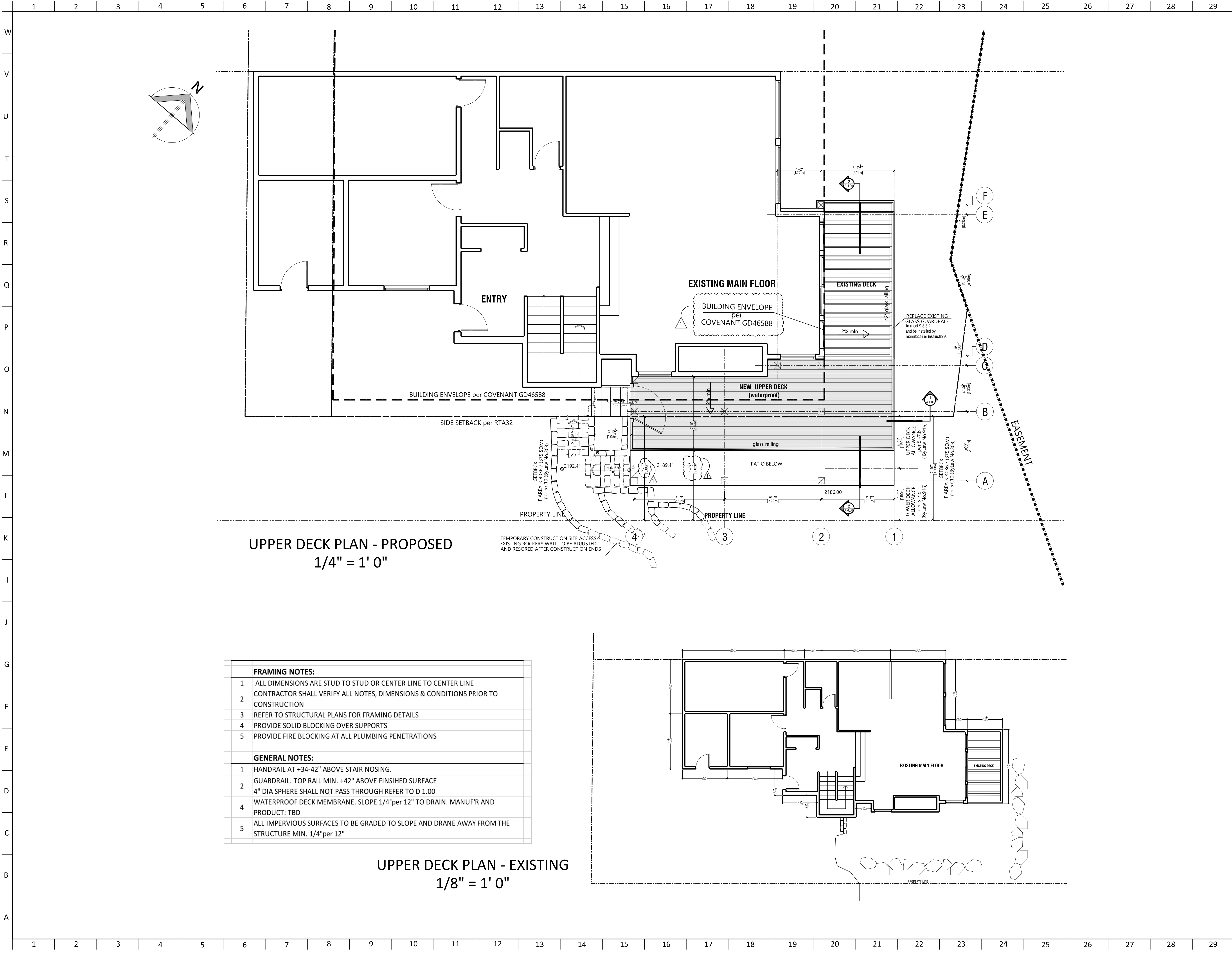
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CODE SUMMARY	
9.8.3.	STAIR CONFIGURATION
9.8.3.2.	Except for stairs within a dwelling unit, at least 3 risers shall be provided in interior flights.
9.8.3.3.	The vertical height of any flight of stairs shall not exceed 3.7 m (12').
9.8.4.	STEP DIMENSIONS
9.8.4.1.	Except for stairs serving areas only used as service rooms or service spaces, the rise, which is measured as the vertical nosing-to-nosing distance, shall comply with Table 9.8.4.1. Private - min 125 mm (4.9"); max 200 mm (7.9")
9.8.4.2.	Except for stairs serving areas only used as service rooms or service spaces, the run shall comply with Table 9.8.4.2. Private - min 255 mm (10"), max 355 mm (14")
9.8.4.4.	Except as provided in Sentence (2), risers shall be of uniform height in any one flight, with a maximum tolerance of
9.8.4.4.	a) 5 mm between adjacent treads or landings, and
9.8.4.4.	b) 10 mm between the tallest and shortest risers in a flight
9.8.4.8.	Tread Nosings
9.8.4.8.	1) Except as permitted by Sentence (2), the top of the nosings of stair treads shall have a rounded or beveled edge extending not less than 6 mm (1/4") and not more than 14 mm (0.55") (measured horizontally from the front of the nosing).
9.8.4.8.	2) If resilient material is used to cover the nosing of a stair tread, the minimum extension of the rounded or beveled edge required by Sentence (1) is permitted to be reduced to 3 mm (1/8").
9.8.4.9.	Open Risers
9.8.4.9.	1) Except as provided in Sentence (2), stairs shall have no open risers.
9.8.4.9.	2) Open risers are permitted in
9.8.4.9.	a) interior and exterior stairs that serve a single dwelling unit or a house with a secondary suite
9.8.6.	LANDINGS
9.8.6.3.	Dimensions
9.8.6.3.	Except as provided in Sentences (2) to (7), landings shall be at least as wide and as long as the width of the stair or ramp in which they occur
9.8.6.3.	The slope of landings shall not exceed 1 in 50.
9.8.7.	HANDRAILS
9.8.7.1.	Dimensions
9.8.7.1.	1. Except as provided in Sentences (2) to (4), handrails shall be installed on stairs and ramps in accordance with Table 9.8.7.1
9.8.7.1.	Within a dwelling unit or a house with a secondary suite - 1 SIDE
9.8.7.1.	4. Only one handrail is required on exterior stairs having more than 3 risers provided such stairs serve not more than one dwelling unit or a house with a secondary suite including their common spaces.
9.8.7.2.	Continuity of Handrails
9.8.7.2.	2. Except for stairs or ramps serving a single dwelling unit or a house with a secondary suite including their common spaces, at least one required handrail shall be continuous throughout the length of the stair or ramp, including at the landing except where interrupted by doorways. (See Note A-3.4.6.5.(11).)
9.8.7.2.	3. For stairs or ramps serving a single dwelling unit or a house with a secondary suite including their common spaces, a handrail is permitted to start from a newel post or volute installed on the bottom tread
9.8.7.4.	Height of Handrails
9.8.7.4.	2. Except as provided in Sentence (3) and Clause 3.8.3.5.(1)(e), required handrails shall be 865 mm (34") to 1 070 mm (42") high.
9.8.8.	GUARDS
9.8.8.1.	Required Guards
9.8.8.1.	1. Except as provided in Sentence (2) and except at the leading edge at the top of a flight, every surface to which access is provided, including but not limited to flights of steps and ramps, exterior landings, porches, balconies, mezzanines, galleries and raised walkways, shall be protected by a guard on each side that is not protected by a wall for the length where the difference in elevation is more than 600 mm (24") between the walking surface and the adjacent surface within 1.2 m (48").
9.8.8.2.	Load on Guards
9.8.8.2.	Guards within dwelling units and exterior guards serving not more than two dwelling units: Horizontal load applied inward or outward at any point at the minimum required height of the guard - 0.5 kN/m OR concentrated load of 1.0 kN applied at any point
9.8.8.2.	Horizontal load applied outward on elements within the guard, including solid panels and balusters - 0.5 kN applied over a maximum width of 300 mm (12") and a height of 300 mm (12")
9.8.8.2.	Evenly distributed vertical load applied at the top of the guard 1.5kN/m
9.8.8.3.	Heigh of Guards
9.8.8.3.	1) Except as provided in Sentences (2) and (3), all guards shall be not less than 1 070 mm (42") high
9.8.8.3.	3. Exterior guards serving not more than one dwelling unit or a house with a secondary suite including their common spaces shall be not less than 900 mm (36") high where the walking surface served by the guard is not more than 1 800 mm (71") above the finished ground level.
9.8.8.7.	Glass in Guards
9.8.8.7.	1. Glass in guards shall be
9.8.8.7.	a) safety glazing of the laminated or tempered type conforming to CAN/CGSB-12.1, "Safety Glazing" or
9.8.8.7.	b) wired glass conforming to CAN/CGSB-12.11-M, "Wired Safety Glass."





PROJECT NAME:
**NASTIC RESIDENCE
DECK EXPANSION**

PROJECT ADDRESS:
**3339 Nighthawk Lane
Whistler, BC V0N 1B3**

REGISTRATION:

GENERAL NOTES:

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4	March 13, 2025	BP revisions 1

DESIGNED BY: **BPM**
DRAWN BY: **BPM**
CHECKED BY: **BPM**
PROJECT NO: **A24_01**
DATE: **March 13, 2025**
SCALE: **1/4" = 1'0"**

SHEET TITLE:
**UPPER DECK FLOOR PLAN - PROPOSED
UPPER DECK FLOOR PLAN - EXISTING**

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PROJECT NAME:

NASTIC RESIDENCE
DECK EXPANSION

PROJECT ADDRESS:

3339 Nighthawk Lane
Whistler, BC V0N 1B3

REGISTRATION:

GENERAL NOTES:

REVISIONS:

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DRAWN BY:	BPM
CHECKED BY:	BPM
PROJECT NO:	A24_01
DATE:	March 13, 2025
SCALE:	3/16" = 1'0"

SHEET TITLE:

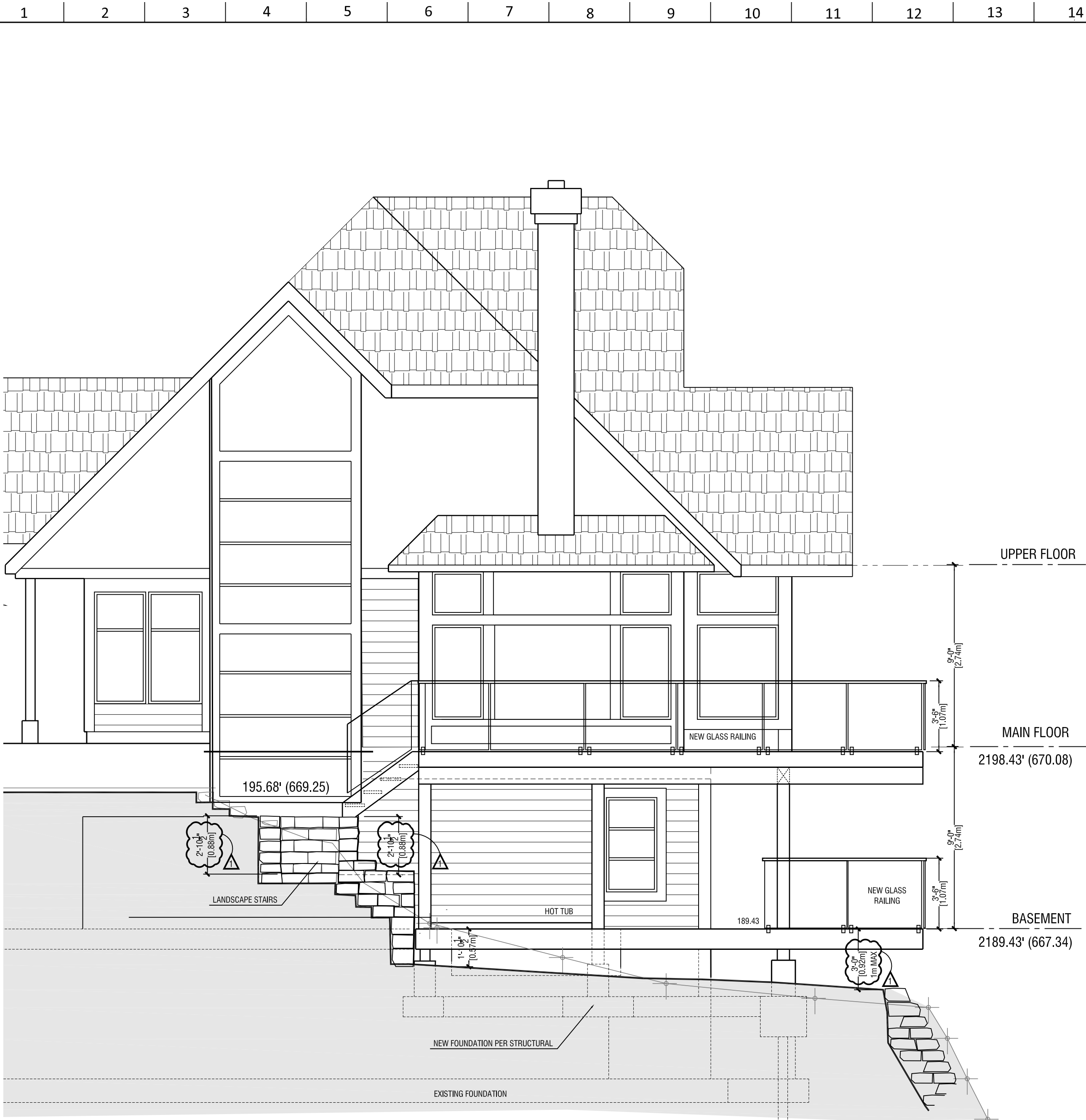
ELEVATIONS

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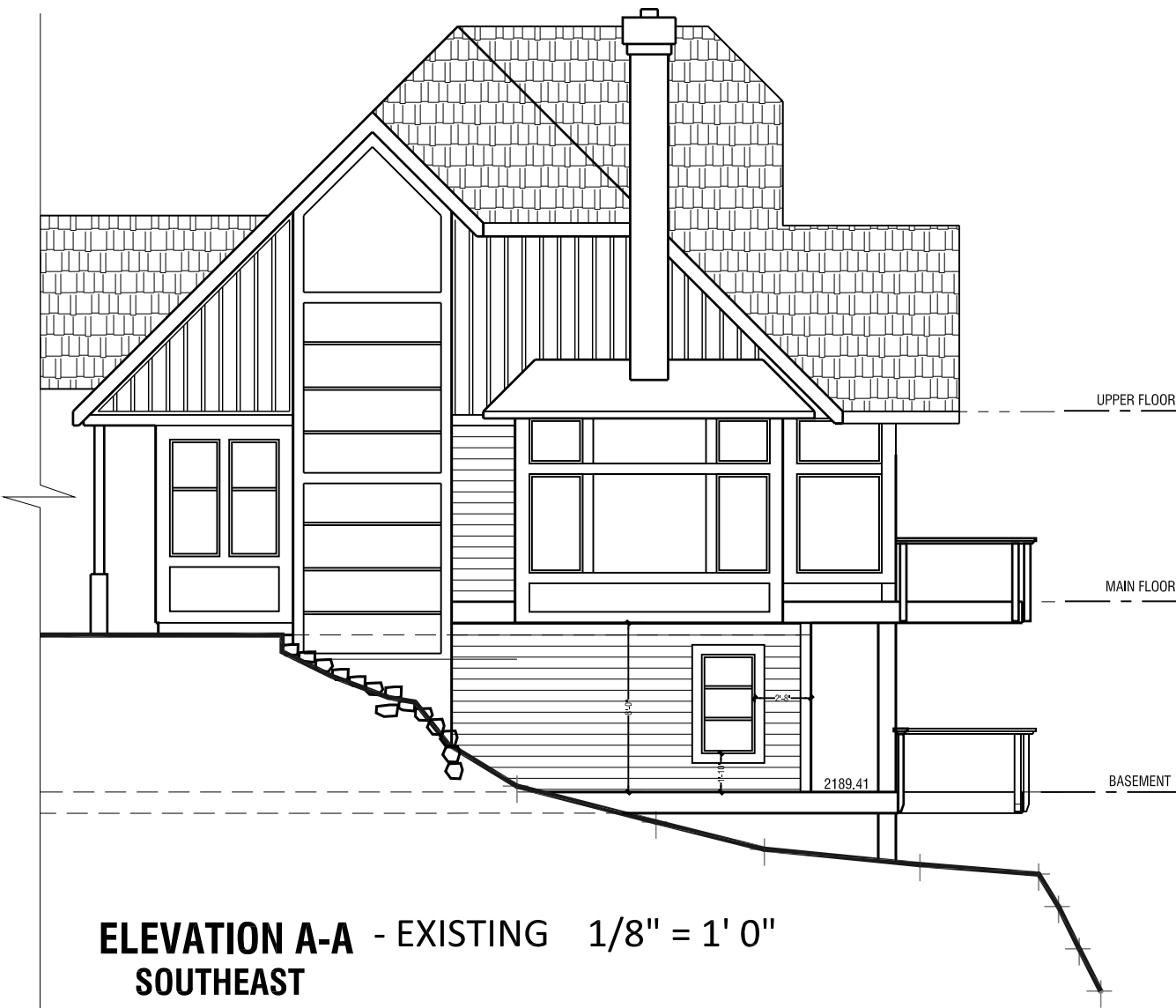
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DRAWING NO.

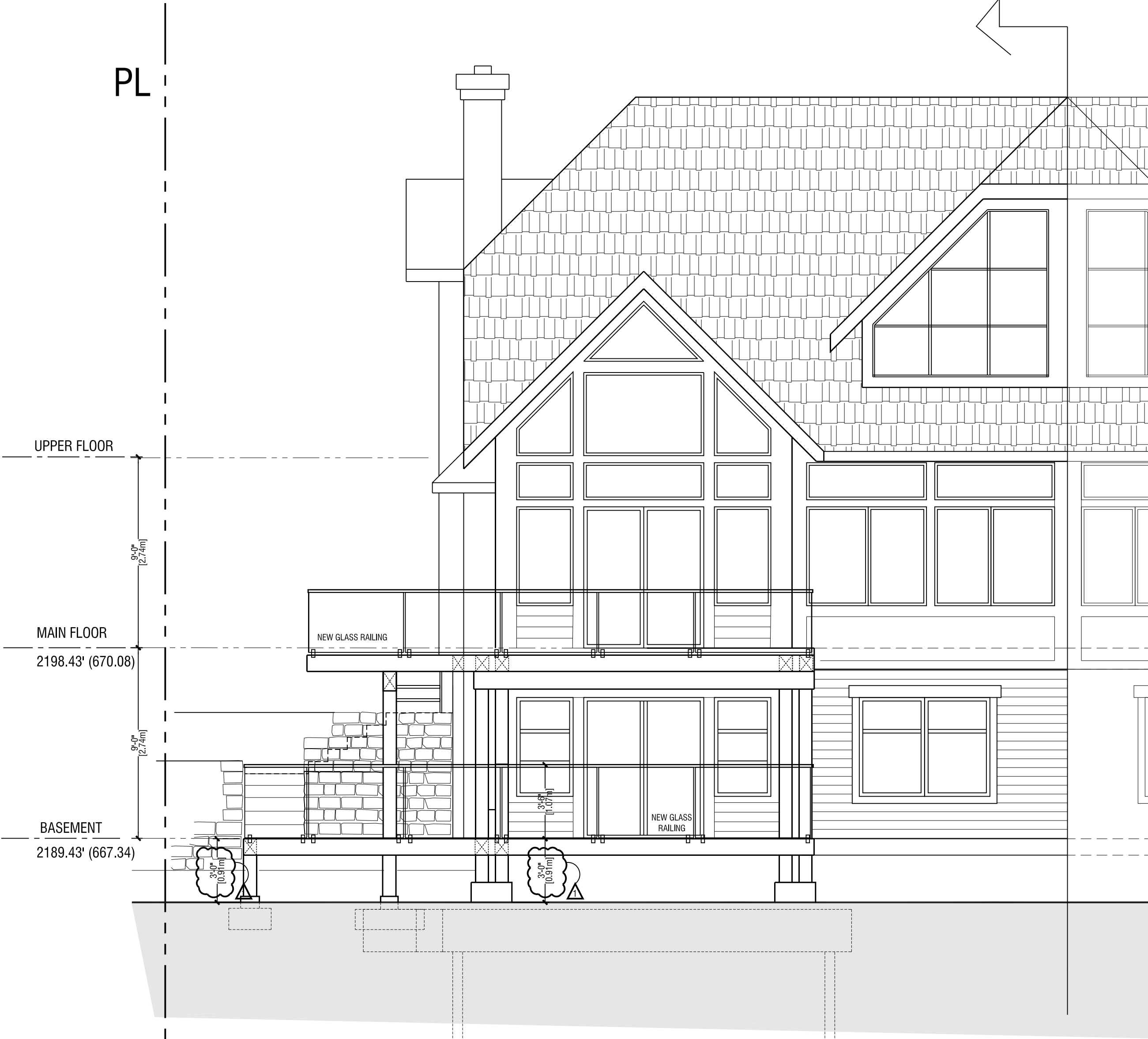
A 3.00



ELEVATION A-A - PROPOSED 1/4" = 1' 0"
SOUTHEAST



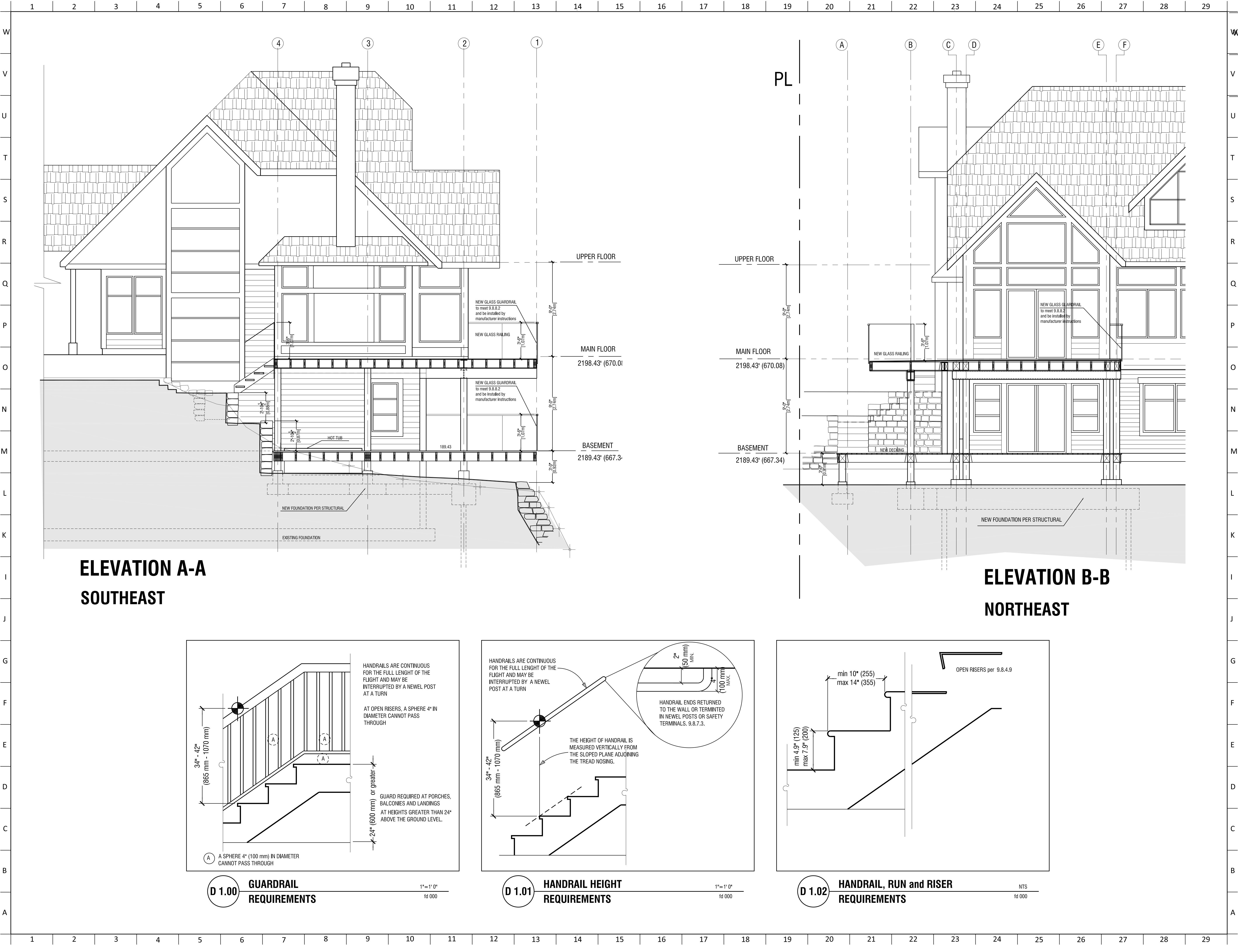
ELEVATION A-A - EXISTING 1/8" = 1' 0"
SOUTHEAST



ELEVATION B-B - PROPOSED 1/4" = 1' 0"
NORTHEAST



ELEVATION B-B - EXISTING 1/8" = 1' 0"
NORTHEAST



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SHEET TITLE:
SECTIONS

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