

Project Directory

Client:
Lil'wat Nation
Lil'wat Management Services LP
P.O. Box 602
Mount Currie, BC V0N 2K0

LAND OWNER
0775448 B.C. LTD.,
IR 10 Road
Mount Currie, BC V7M 3J3

CLIENT
Tseqwtsúqum Development Ltd. (T)
PO Box 1068 (e)
Squamish, BC V8B 0A7 Contact:

ARCHITECT & LANDSCAPE ARCHITECT
Murdoch + Co. (T) (604) 905-6992
#106 - 1394 Main Street (e) murdoch@telus.net
Whistler, BC V0N 1B4 Contact: Brent Murdoch

SURVEYOR
Axis Land Surveying Ltd. (T) (604) 853-2700
202-33711 Laurel Street (e) dmitchell@axisis.com
Abbotsford, BC V2S 1X3 Contact: Darryl Mitchell

CIVIL ENGINEER
CREUS Engineering Ltd. (T) (604) 358-1330
610-East Tower, 221 Esplanade West (E) www.creus.ca
North Vancouver, BC, V7M 3J3 Contact:

STRUCTURAL ENGINEER
WHM Structural Engineers (T) (604) 484-2861
215-2550 Boundary Road (E) DWicke@whmengineers.com
Burnaby, BC, V5C 5A9 Contact: Dan Wicke

MECHANICAL ENGINEER
SRC Engineering (T) (604) 484-2861
Unit 205 - 4180 Lougheed HWY. (e) bill@src-eng.com
Burnaby, B.C. V5C 6A7 Contact: Bill Khanqura

ELECTRICAL ENGINEER
SRC Engineering (T) 1-604-268-9091
Unit 205 - 4180 Lougheed HWY. (e) dave@src-eng.com
Burnaby, B.C. V5C 6A7 Contact: Dave Gill

GEOTECHNICAL ENGINEER
KONTUR Geotechnical Consultants (T) 778-730-1822
Unit 65, 1833 Coast Meridian Road (e) esykes@kontur.ca
Port Coquitlam, BC V3C 6G5 Contact: Evan Sykes

CODE CONSULTANT
GHL Consultants Ltd (T) (604)-689-4449
800-700 W. Pender St (e) ebsl@shaw.ca
Vancouver BC V6C 1G8 Contact: DARRELL LI

BUILDING ENVELOPE CONSULTANT
JRS Engineering (T) 604-320-1999
4595 Canada Way (e) rarbo@jrsengineering.com
Burnaby, BC V5G 1J9 Contact: Stephen Cork

CONTRACTOR
to be determined (T) 604-894-2435
(e) dan@murphyconstruction.ca
Contact:

Development Statistics - Lot 2

24/3/15

Civic Address: 1000 Alpha Lake Road, Whistler, B.C.
Legal: DL 8078, GROUP1, N.W.D.
Zone: IS5, Industrial Service Five

TOTAL Site Area: 2.15 ha	231,531.70 sq.ft.	21,510.00 m2
LOT 2 (IS-5) Area: 1.612 ha	173,514.23 sq.ft.	16,120.00 m2
The max. permitted floor space ratio:	0.5	
PROPOSED F.S.R.:	0.489	
Max. allowable GFA:	86,757.11 sq.ft.	8060.00 m2
Gross Floor Area:		
Building A		
Ground Floor (Warehouse/Office)	6353.06 sq.ft.	590.22 m2
Second Floor (Residential)	5849.97 sq.ft.	543.48 m2
Third Floor (Residential)	5849.97 sq.ft.	543.48 m2
Fourth Floor (Residential)	5849.97 sq.ft.	543.48 m2
Total	23,902.97 sq.ft.	2,220.66 m2
Building B		
U/G Parkade	440.68 sq.ft.	40.94 m2
Ground (Commercial/Industrial)	13176.29 sq.ft.	1224.12 m2
Second Floor (Residential)	11729.45 sq.ft.	1089.70 m2
Third Floor (Residential)	11729.45 sq.ft.	1089.70 m2
Total	37,075.87 sq.ft.	3,444.46 m2
Building C		
Ground Floor (Warehouse/Office)	6353.06 sq.ft.	590.22 m2
Second Floor (Residential)	5849.97 sq.ft.	543.48 m2
Third Floor (Residential)	5849.97 sq.ft.	543.48 m2
Fourth Floor (Residential)	5849.97 sq.ft.	543.48 m2
Total	23,902.97 sq.ft.	2,220.66 m2
Total G.F.A. available GFA	84,881.81 sq.ft.	7,885.78 m2
	1,875.30 sq.ft.	174.22 m2
Height Permitted 12.0m see Roof Plans for calc.	Building A: 11.93m ht. Building B: 11.52 m ht. Building C: 11.93 m ht.	
Flood Control Level (FCL) 602.3m (as per LaCas Consultants Inc. report, October 2008)		
Design Under Part 3 2018 BC Building Code updated 24/02/01		

LOT 2 Total Parking Calculations

24/3/15

REQUIRED:		
LOT 2 :		No of Stalls
1442 m2	Commercial/Industrial Parking Req.	14.4
96 m2	Industrial @ 1/100m2	3.8
72 m2	Retail @ 4/100m2 GFA	3.6
361 m2	Restaurant @5/100m2	7.2
433 m2	Research/Indoor Rec @ 2/100m2	13.0
2404 m2 GFA	Office @ 3/100m2 GFA	42
CURRENT COMMERCIAL GFA: = 2404.56 m2		
Resident Parking Req.		
24 units@ 1 car, 48 units @ 1.5 cars: _____		
24+72=96 cars		
TOTAL PARKING REQUIRED:		138 CARS
PROVIDED :		
LOT 2:	92 surface stalls (incl. 3 HC/accessible) + 3 loading	
	49 underground parkade	Lot 2 Total: 141 cars
TOTAL PARKING PROVIDED:		141 CARS
141 cars including 4 EV charging stalls & 3 Accessible stalls + plus 3 loading		

Residential Units: Gross Floor Area

BUILDING	UNIT	UNIT GFA	NO. OF UNITS	TOTAL GFA	TOTAL UNITS
BUILDING A	UNIT A (2 BR)	706.0 sf	12	8472.0 sf	12
	UNIT B (3 BR)	951.0 sf	4	3804.0 sf	4
	UNIT C (1 BR)	477.0 sf	4	1908.0 sf	4
	20 units			14184.0 sf	1317.7m2
BUILDING B	UNIT C (1 BR)	477.0 sf	16	7632.0 sf	16
	UNIT A (2 BR)	706.0 sf	16	11296.0 sf	16
	32 units			18928.0 sf	1758.5m2
	20 units			14184.0 sf	1317.7m2
BUILDING C	UNIT A (2 BR)	706.0 sf	12	8472.0 sf	12
	UNIT B (3 BR)	951.0 sf	4	3804.0 sf	4
	UNIT C (1 BR)	477.0 sf	4	1908.0 sf	4
	20 units			14184.0 sf	1317.7m2
TOTAL GFA			47296.0 sf	4393.9m2	

updated 24/02/01

Drawing List

- A-0.0 [R] COVER SHEET, Site Location & Context
- A-1.0 [R] Site Plan (Combined Lots 1 & 2)
- A-1.1 [R] Snow Storage Plan
- TP-1 [R] Tree Preservation Plan
- F-1.0 [R] Wildfire- Fire Smart Site Plan

Lot 1, Service Station

- L-1.1 LOT 1 Site Grading Plan
- L-1.2 LOT 1 Landscape Planting Plan
- A-2.1 Lower Floor Plan
- A-2.1b Lower Floor Plan - AREAS
- A-2.2 Roof Plan
- A-2.3 Elevations
- A-3.2 Elevations
- A-3.3 Elevations - Canopy
- A-4.1 Sections
- A-4.2 Sections

Lot 2, Commercial Development

- L-2.1 [R] LOT 2 Site Grading Plan
- L-2.2 [R] LOT 2 Landscape Planting Plan
- L-2.3 [R] LOT 2 Parking Plan
- L-2.4 [R] LOT 2 Site Lighting Plan

- Plans**
- A-2.0 A [R] Building A - Municipal GFA
 - A-2.1 A [R] Building A - Ground Floor Plan
 - A-2.2 A [R] Building A - Second Floor Plan
 - A-2.3 A [R] Building A - Third Floor Plan
 - A-2.4 A [R] Building A - Fourth Floor Plan
 - A-2.5 A [R] Building A - Roof Plan
 - A-2.6 A [R] Building A - Roof Height Calculations
 - A-2.00 B [R] Building B - Municipal GFA
 - A-2.0 B [R] Building B - Foundation/Underground Parking
 - A-2.1 B [R] Building B - Ground Floor Plan
 - A-2.2 B [R] Building B - Second Floor Plan
 - A-2.3 B [R] Building B - Third Floor Plan
 - A-2.4 B [R] Building B - Roof Plan
 - A-2.5 B [R] Building B - Roof Height Calculations
 - A-2.0 C [R] Building C - Municipal GFA
 - A-2.1 C [R] Building C - Ground Floor Plan
 - A-2.2 C [R] Building C - Second Floor Plan
 - A-2.3 C [R] Building C - Third Floor Plan
 - A-2.4 C [R] Building C - Fourth Floor Plan
 - A-2.5 C [R] Building C - Roof Plan
 - A-2.6 C [R] Building C - Roof Height Calculations

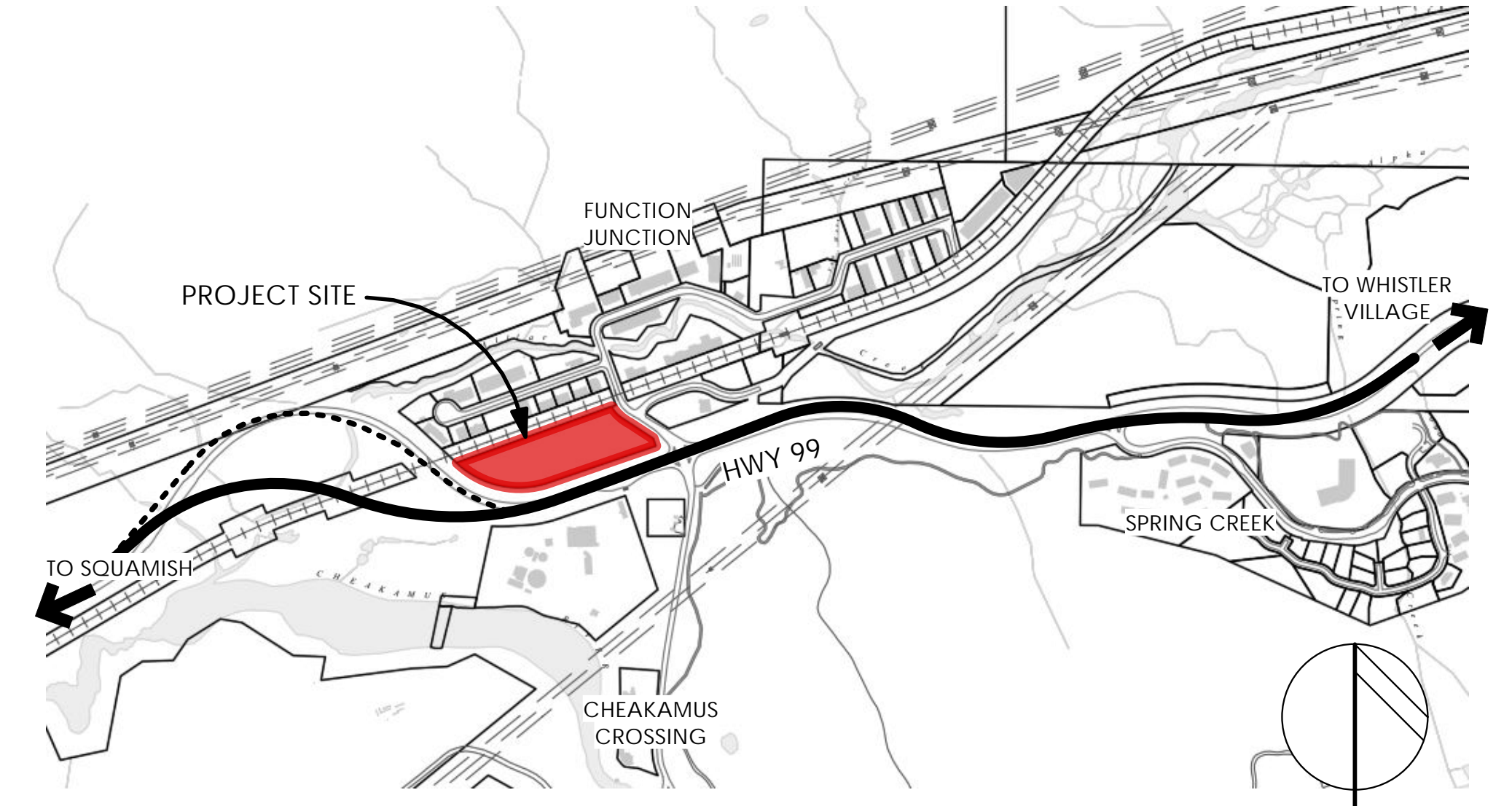
- Elevations**
- A-3.1 A [R] Building A - Elevations
 - A-3.1 B [R] Building B - Elevations
 - A-3.2 B [R] Building B - Elevations
 - A-3.1 C [R] Building C - Elevations

- Sections**
- A-4.1 A [R] Building A - Sections
 - A-4.2 B [R] Building B - Sections
 - A-4.3 C [R] Building C - Sections

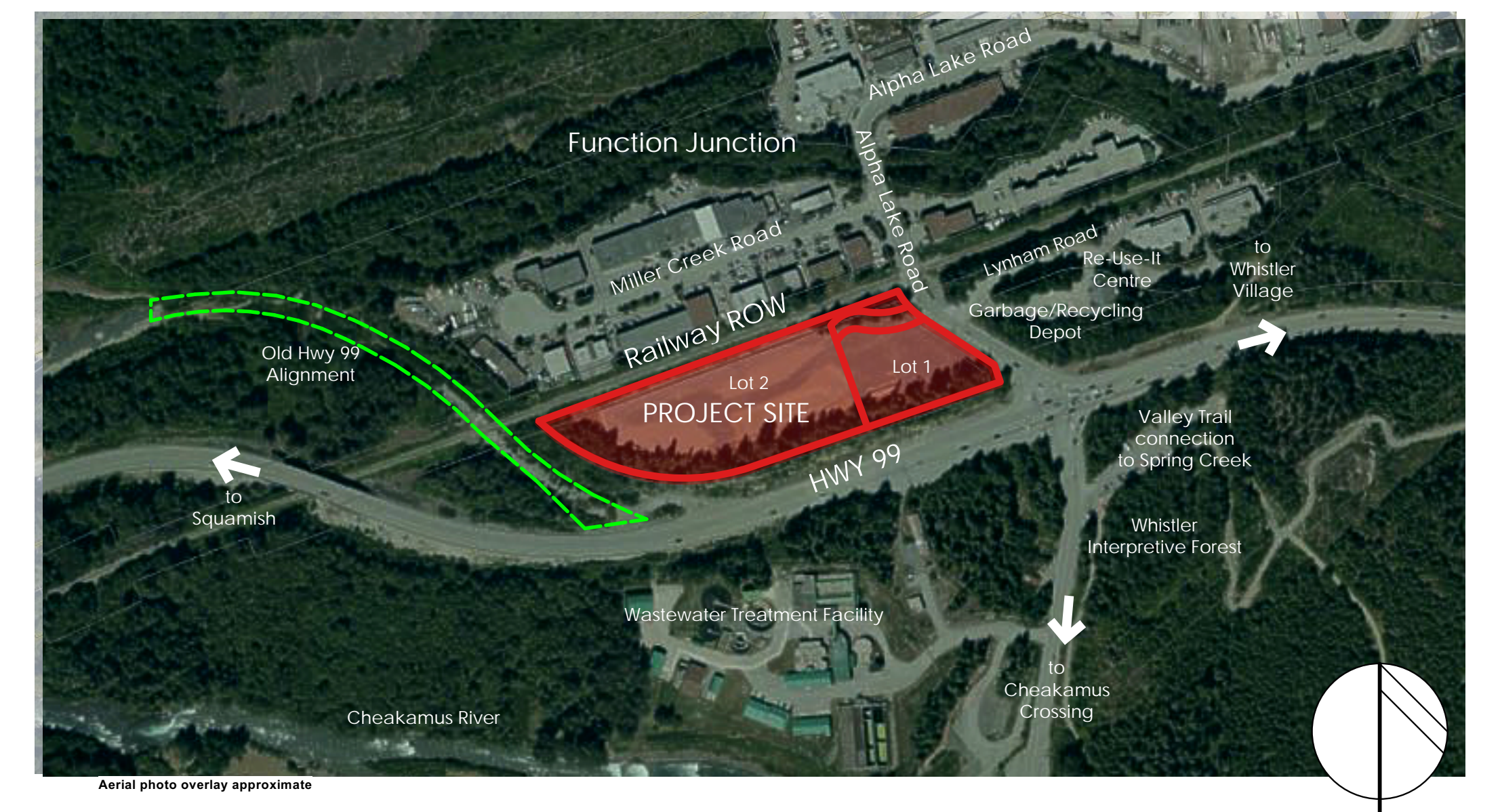
- Materials**
- A-5.1 A [R] Building A - Material Board
 - A-5.1 B [R] Building B - Material Board
 - A-5.1 C [R] Building C - Material Board

- Unit Plans**
- A-8.1 [R] Unit Plans

- RENDERINGS**
- A-9.1 [R] Renderings
 - A-9.2 [R] Renderings



key plan n.t.s



context plan n.t.s

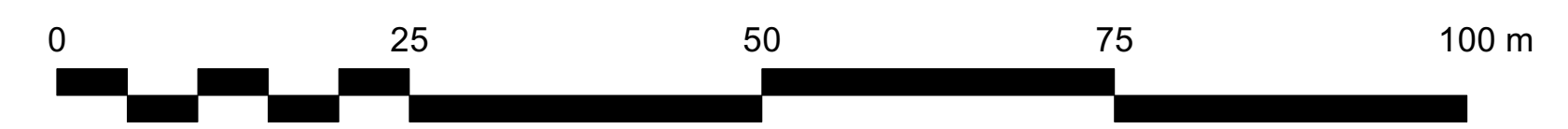
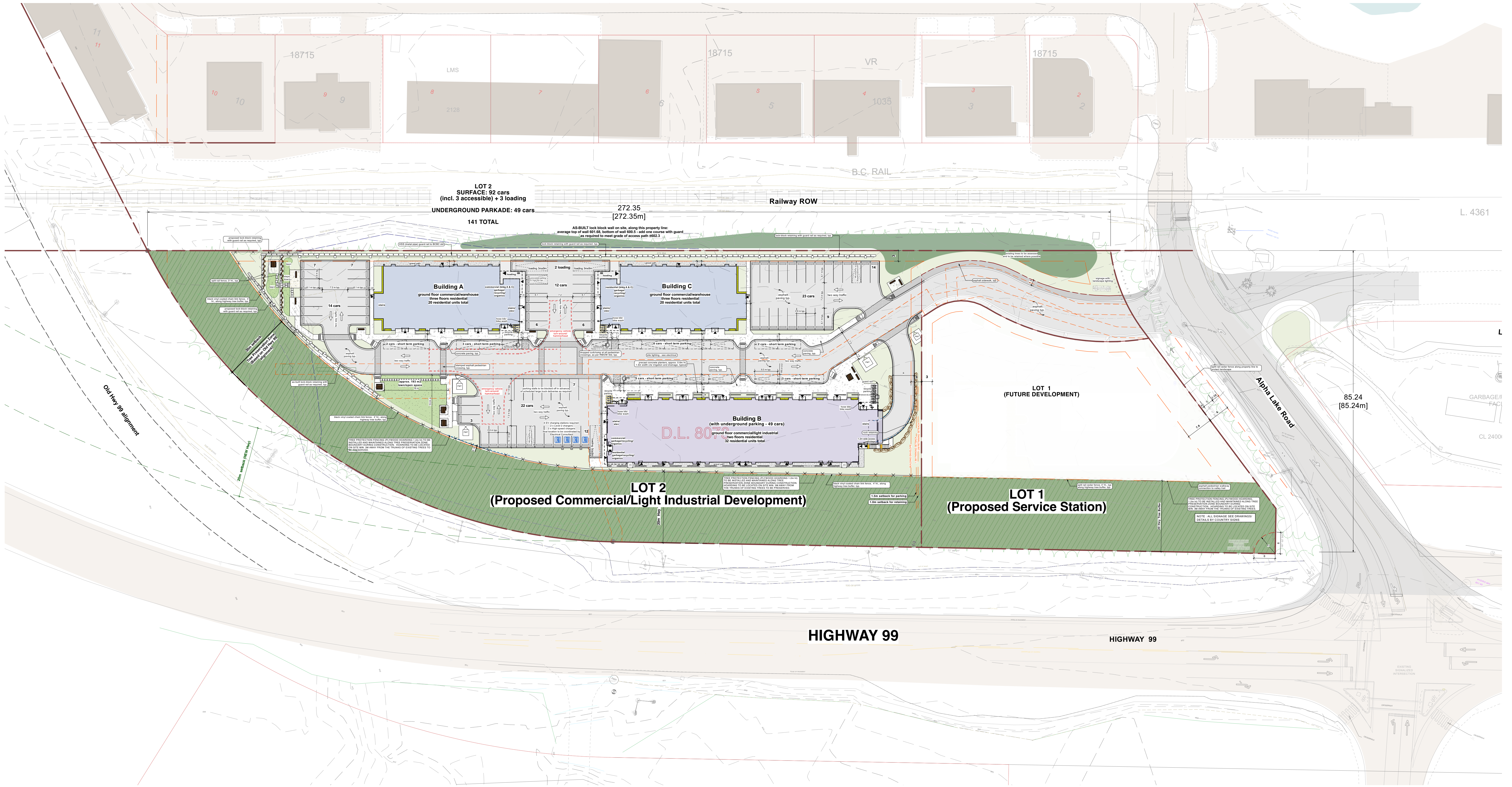
Lil'wat Nation: Tseqwtsúqum', Function Junction, Lot 2

1000 Alpha Lake Road, Whistler BC

Consolidated DP Submission

March 20, 2024





This document contains copyrighted material belonging to **Murdoch+Company Architecture+Planning Ltd.** Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

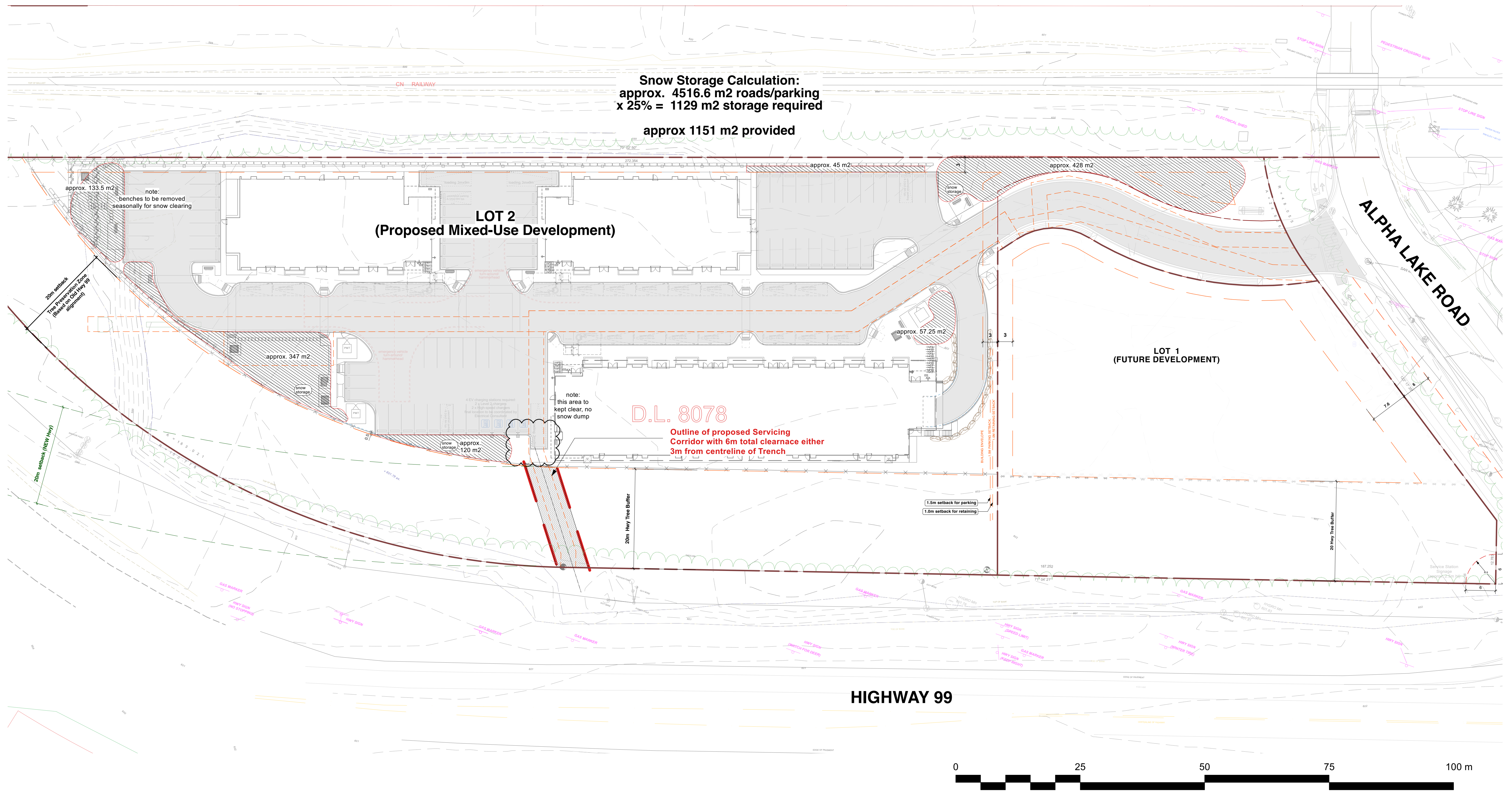
Issued For:	Date:
DP APPLICATION	FEB. 01, 2024
CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

Sheet Title:
LOT 2 ILLUSTRATIVE SITE PLAN
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

Sealed By:

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By: **BM/JL** Scale: **1:500 METRIC**
 Project No: **1210** Sheet No: **A-1.0 [R]**
LOT 2 ILLUSTRATIVE SITE PLAN



Snow Storage Calculation:
 approx. 4516.6 m² roads/parking
 x 25% = 1129 m² storage required
 approx 1151 m² provided

LOT 2
 (Proposed Mixed-Use Development)

LOT 1
 (FUTURE DEVELOPMENT)

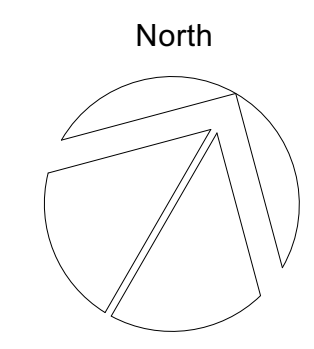
D.L. 8078
 Outline of proposed Servicing
 Corridor with 6m total clearance either
 3m from centreline of Trench

HIGHWAY 99

ALPHA LAKE ROAD



This document contains
 copyrighted material belonging
 to **Murdoch+Company**
 Architecture+Planning Ltd.
 Any unauthorized use,
 disclosure, or duplication of any
 information contained herein
 may result in liability under
 applicable laws.



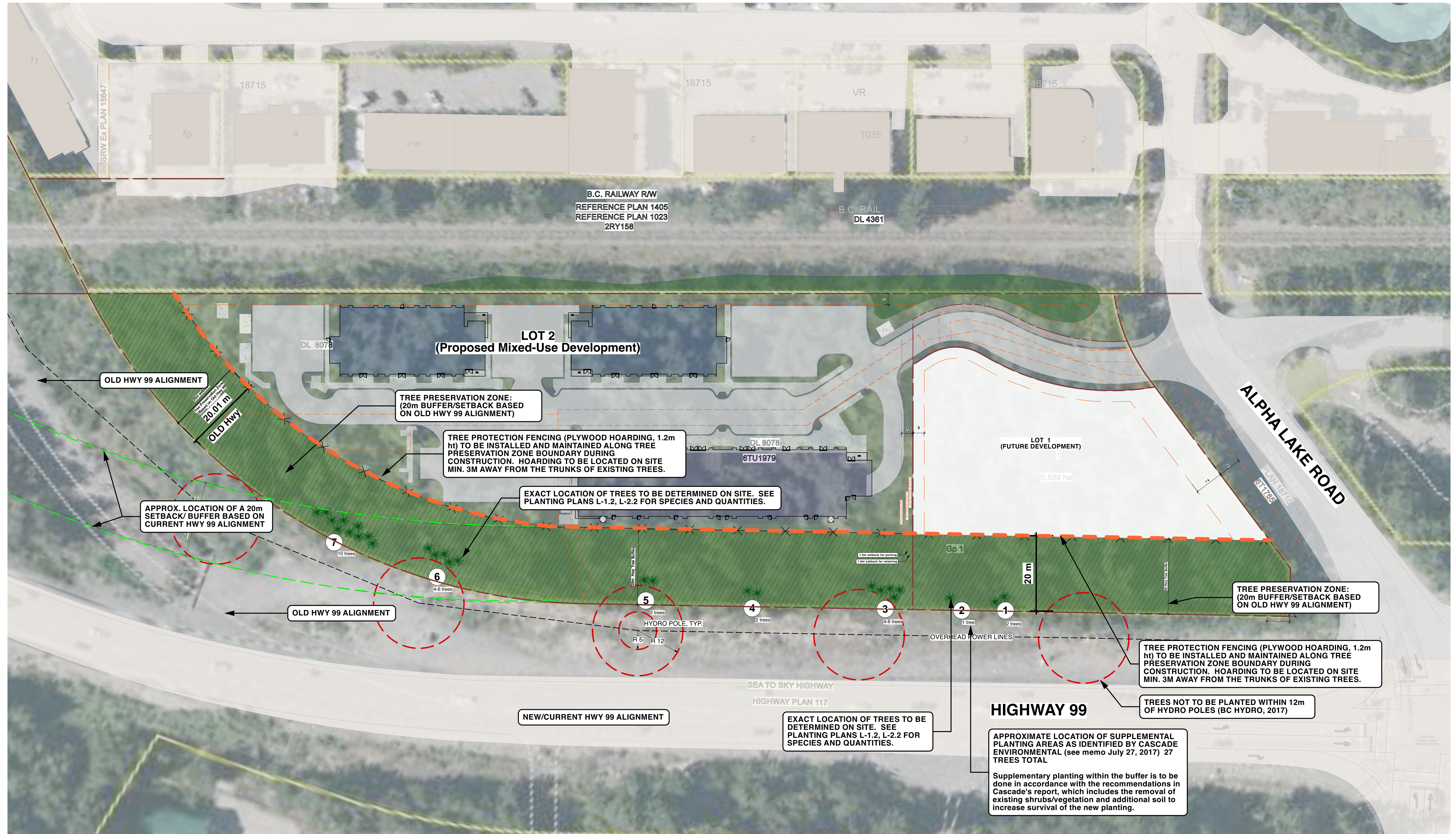
Issued For:	Date:
DP APPLICATION	FEB. 01, 2024
CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

Sheet Title:
LOT 2: SNOW STORAGE
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler, BC

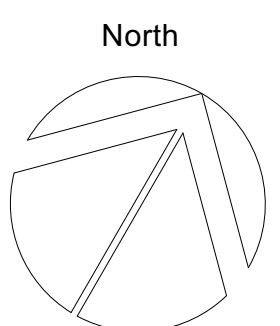
Sealed By:

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By:	Scale:
BM/JL	1:400 METRIC
Project No:	Sheet No:
1210	A-1.1 [R]
LOT 2: SNOW STORAGE	



This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



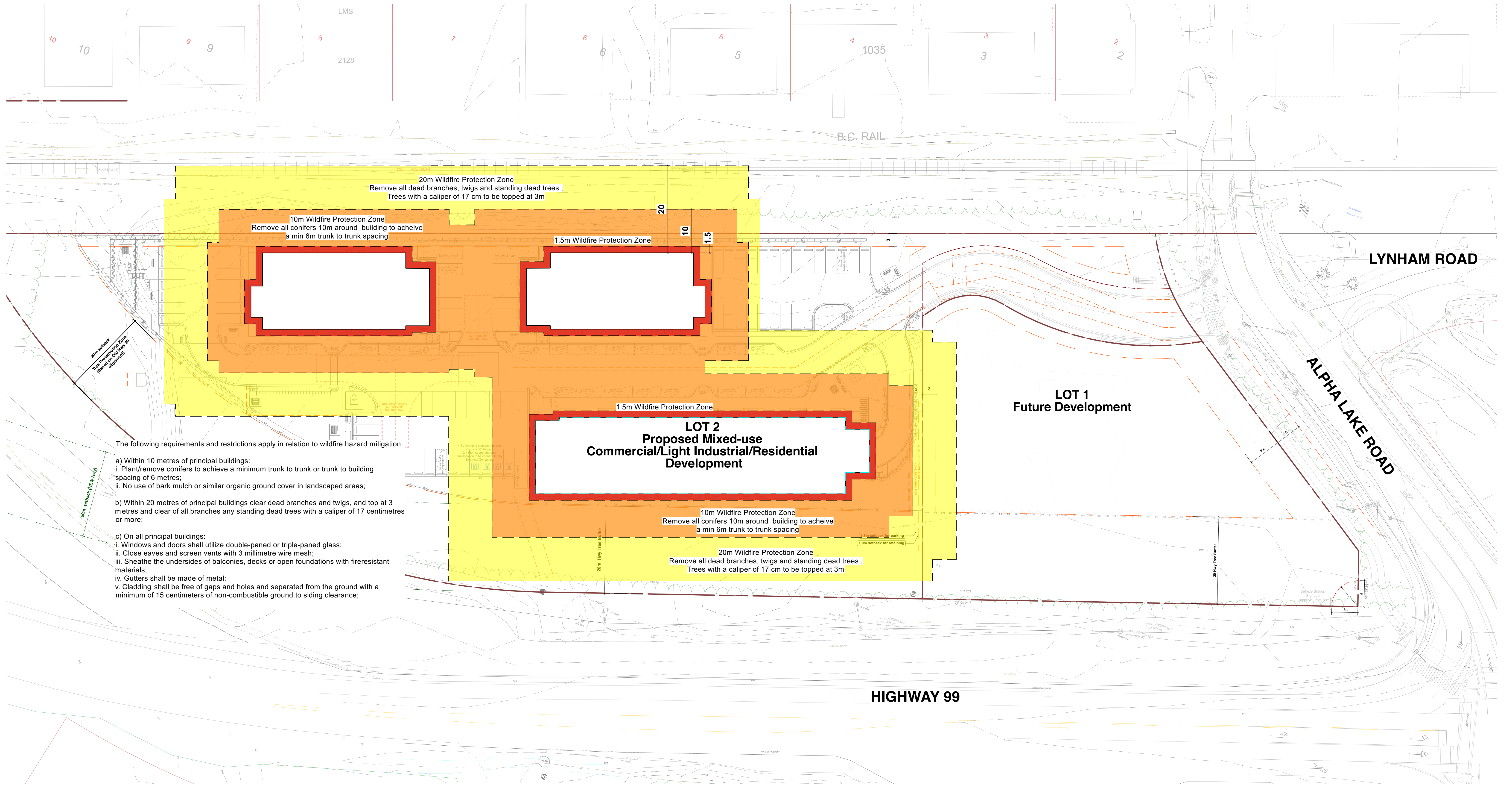
Issued For:	Date:
DP APPLICATION	FEB. 01, 2024
CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

Sheet Title:
TREE PRESERVATION/HIGHWAY BUFFER
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, , Whistler, BC

Sealed By:

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By:	Scale:
BM/JL	1:500 METRIC
Project No:	Sheet No:
1210	TP-1 [R]

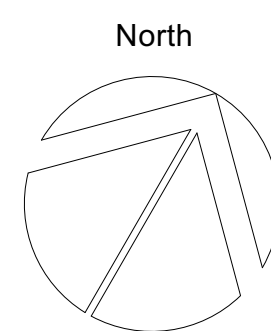


The following requirements and restrictions apply in relation to wildfire hazard mitigation:

- a) Within 10 metres of principal buildings:
 - i. Plant/remove conifers to achieve a minimum trunk to trunk or trunk to building spacing of 6 metres;
 - ii. No use of bark mulch or similar organic ground cover in landscaped areas;
- b) Within 20 metres of principal buildings clear dead branches and twigs, and top at 3 metres and clear of all branches any standing dead trees with a caliper of 17 centimetres or more;
- c) On all principal buildings:
 - i. Windows and doors shall utilize double-paned or triple-paned glass;
 - ii. Close eaves and screen vents with 3 millimetre wire mesh;
 - iii. Sheathe the undersides of balconies, decks or open foundations with fire-resistant materials;
 - iv. Gutters shall be made of metal;
 - v. Cladding shall be free of gaps and holes and separated from the ground with a minimum of 15 centimeters of non-combustible ground to siding clearance;



This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For:	Date:
DP APPLICATION	FEB. 01, 2024
CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

Sheet Title:
LOT 2 SITE PLAN - FIRESMART
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler, BC

Sealed By:

MURDOCH + COMPANY

Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By: Scale:
 BM/JL 1:400 METRIC
 Project No: Sheet No:

1210 **F-1.0 [R]**
 LOT 2 SITE PLAN - FIRESMART

LOT 2
SURFACE: 92 cars
(incl. 3 accessible) + 3 loading
UNDERGROUND PARKADE: 49 cars
141 TOTAL

272.35
[272.35m]

Railway ROW

AS-BUILT lock block wall on site, along this property line:
average top of wall 601.68, bottom of wall 600.5 - add one course with guard
as required to meet grade of access path 602.3

LEGEND

MATERIALS

- ASPHALT PATH
- GRAVEL PATH
- POURED CONCRETE SIDEWALK
- STAMPED ASPHALT PAVING
- GRAVEL/STONE DRIP STRIP
- TERRACED NATURAL ROCK RETAINING
- SPLIT RAIL CEDAR FENCE
- GUARD RAIL (TO BCBC)
- CHAIN LINK FENCE (BLACK, VINYL COATED)
- AS-BUILT/EXISTING LOCK BLOCK WALL
- PROPOSED LOCK BLOCK WALL

MISCELLANEOUS

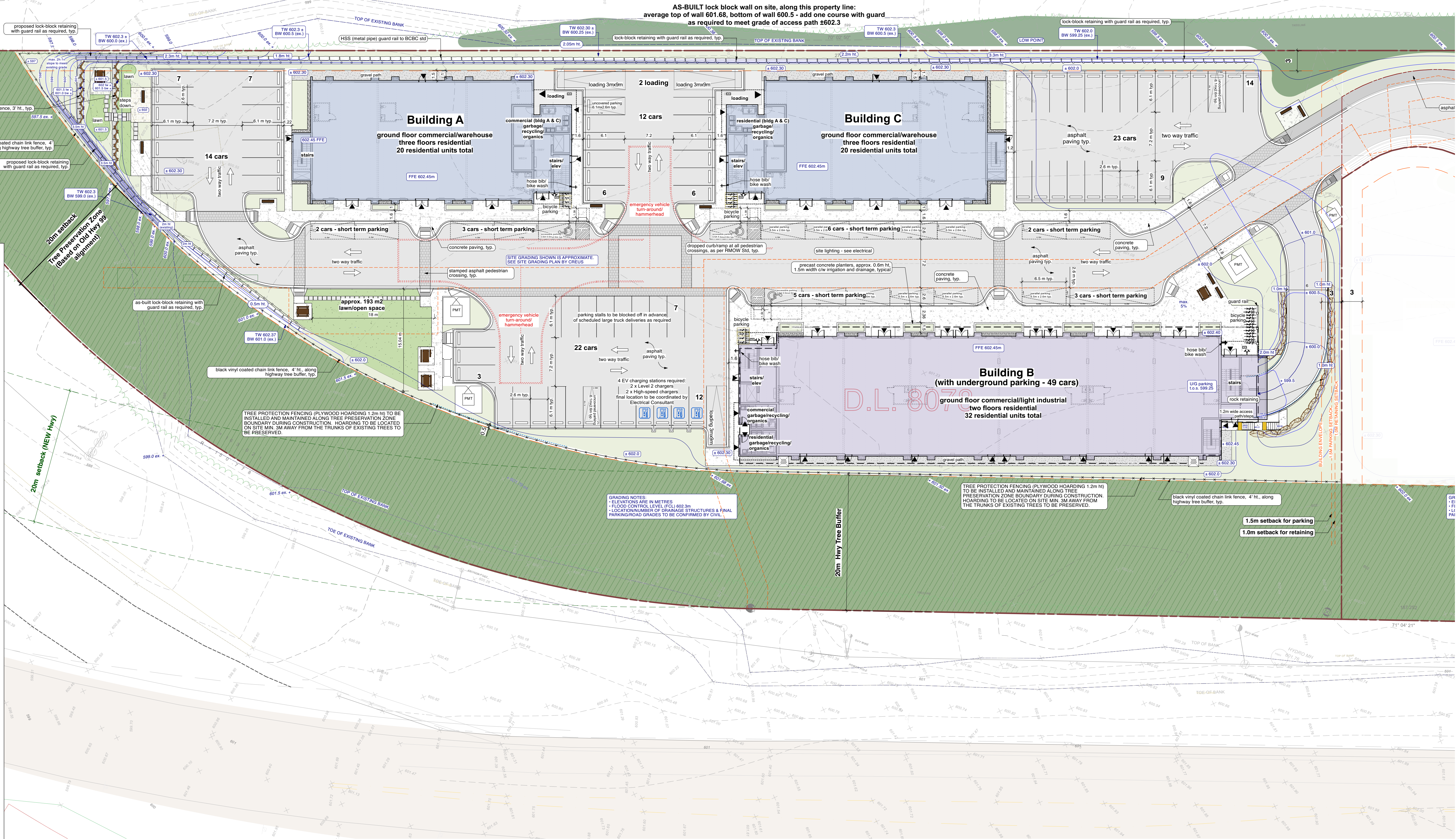
- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED SLOPE (direction of drainage)
- FIRST FLOOR UNIT ENTRANCE

SITE FURNISHINGS

- BENCHES: MAGLIN 1050 SURFACE MOUNT (OR APPROVED EQUAL)
- PICNIC TABLES
- BIKE RACKS: MAGLIN MBR SERIES, SURFACE MOUNT, COLOUR: GALVANIZED, NUMBER OF RACKS VARY BY LOCATION

LANDSCAPE

- LAWN/SOD
- DECIDUOUS TREE / CONIFEROUS TREE
- SHRUBS & GROUNDCOVERS



This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

North

Issued For: DP APPLICATION
Date: FEB. 01, 2024
BP APPLICATION DP SUBMITTAL MAR. 07, 2024

Sheet Title:
LOT 2: SITE GRADING PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler, BC

Sealed By:

MURDOCH + COMPANY

Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: BM/JL
Scale: 1:300 METRIC
Project No: 1210
Sheet No: L-2.1 [R]
LOT 2: SITE GRADING PLAN

LEGEND

MATERIALS

- ASPHALT PATH
- GRAVEL PATH
- POURED CONCRETE SIDEWALK
- STAMPED ASPHALT PAVING
- GRAVEL/STONE DRIP STRIP
- TERRACED NATURAL ROCK RETAINING
- SPLIT RAIL CEDAR FENCE
- GUARD RAIL (TO BCBC)
- CHAIN LINK FENCE (BLACK, VINYL COATED)
- AS-BUILT/EXISTING LOCK BLOCK WALL
- PROPOSED LOCK BLOCK WALL

MISCELLANEOUS

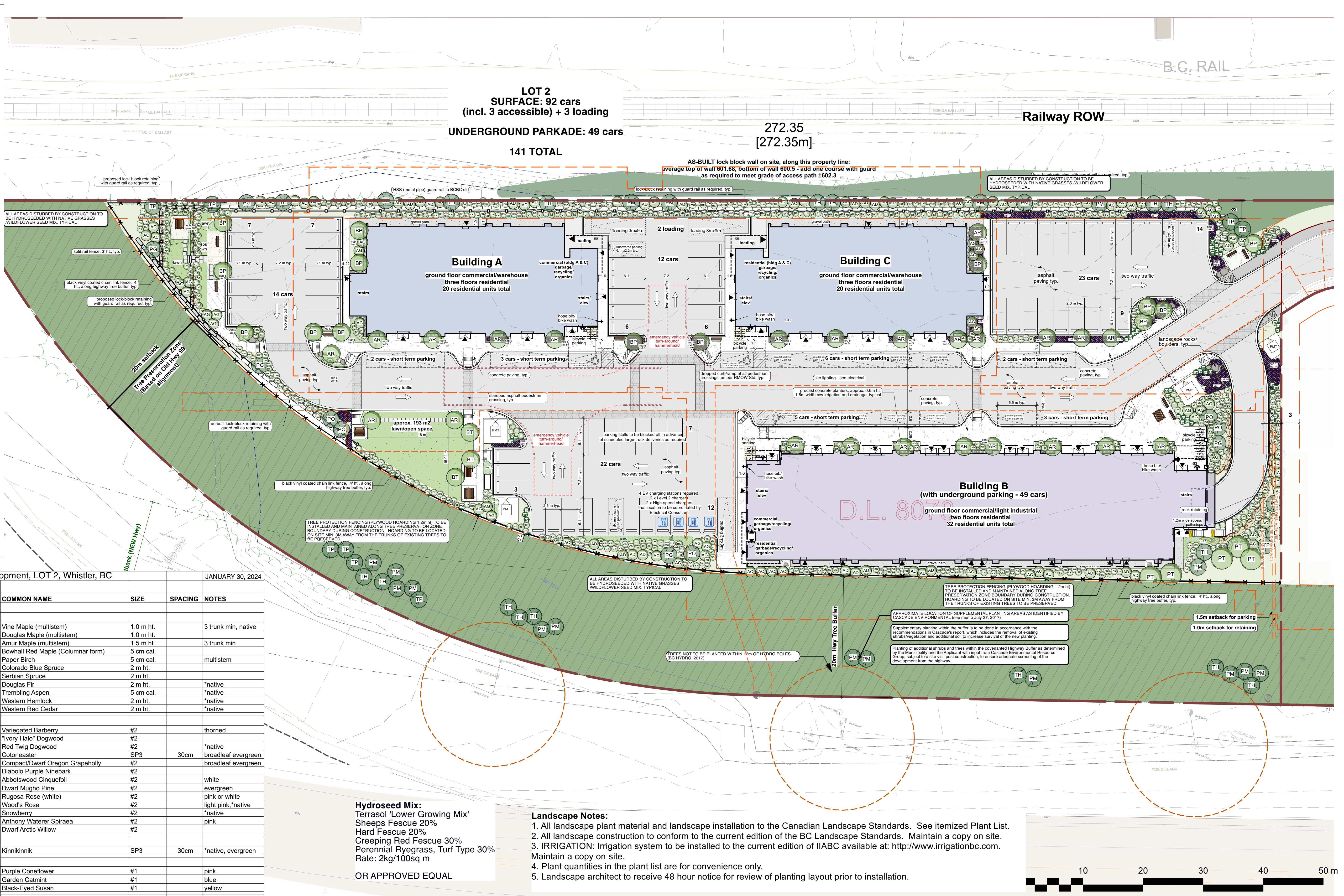
- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED SLOPE (direction of drainage)
- FIRST FLOOR UNIT ENTRANCE

SITE FURNISHINGS

- BENCHES: MAGLIN 1050 SURFACE MOUNT (OR APPROVED EQUAL)
- PICNIC TABLES
- BIKE RACKS: MAGLIN MBR SERIES, SURFACE MOUNT, COLOUR: GALVANIZED. NUMBER OF RACKS VARY BY LOCATION

LANDSCAPE

- LAWN/SOD
- DECIDUOUS TREE / CONIFEROUS TREE
- SHRUBS & GROUNDCOVERS



PROJECT: Function Junction Commercial Development, LOT 2, Whistler, BC

JANUARY 30, 2024

PLANTLIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
TREES						
AC	41	Acer circinatum	Vine Maple (multistem)	1.0 m ht.		3 trunk min, native
AD	36	Acer glabrum	Douglas Maple (multistem)	1.0 m ht.		
AG	28	Acer ginnala	Amur Maple (multistem)	1.5 m ht.		3 trunk min
AR	24	Acer rubrum "Bowhall"	Bowhall Red Maple (Columnar form)	5 cm cal.		
BP	14	Betula papyrifera	Paper Birch	5 cm cal.		multistem
PG	5	Picea pungens "Glauca"	Colorado Blue Spruce	2 m ht.		
PO	5	Picea omorika	Serbian Spruce	2 m ht.		
PM	19	Pseudotsuga menziesii	Douglas Fir	2 m ht.		*native
PT	5	Populus tremuloides	Trembling Aspen	5 cm cal.		*native
TH	17	Tsuga heterophylla	Western Hemlock	2 m ht.		*native
TP	10	Thuja plicata	Western Red Cedar	2 m ht.		*native
SHRUBS						
bt	48	Berberis thunbergii "Rose Glow"	Variigated Barberry	#2		thorned
ca	57	Cornus alba "Ivory Halo"	"Ivory Halo" Dogwood	#2		
cs	66	Cornus sericea	Red Twig Dogwood	#2		*native
cd	61	Cotoneaster dammeri "Coral Beauty"	Cotoneaster	SP3	30cm	broadleaf evergreen
ma	53	Mahonia aquilifolia "Compacta"	Compact/Dwarf Oregon Grapeholly	#2		broadleaf evergreen
pd	52	Physocarpus opulifolius "Diabolo"	Diabolo Purple Ninebark	#2		
pf	46	Potentilla fruticosa "Abbotswood"	Abbotswood Cinquefoil	#2		white
pp	48	Pinus mugho Pumilio	Dwarf Mugho Pine	#2		evergreen
rr	50	Rosa rugosa alba	Rugosa Rose (white)	#2		pink or white
rw	45	Rosa woodsii	Wood's Rose	#2		light pink, *native
sa	48	Symphoricarpos albus	Snowberry	#2		*native
sb	49	Spiraea bumalda "Anthopny Waterer"	Anthony Waterer Spiraea	#2		pink
sp	55	Salix purpurea "Nana"	Dwarf Arctic Willow	#2		
GROUNDCOVERS						
au	75	Arctostaphylos uva-ursi	Kinnikinnik	SP3	30cm	*native, evergreen
PERENNIALS						
ech	80	Echinacea purpurea "Magnus"	Purple Coneflower	#1		pink
nep	56	Nepeta x faassenii	Garden Catmint	#1		blue
rud	70	Rudbeckia fulgida "Goldsturm"	Black-Eyed Susan	#1		yellow
GRASSES						
cal	65	Calamagrostis x acutifolia "Karl Foerster"	Feather Reed Grass	#1		
hel	50	Helictotrichon sempervirens	Evergreen Oat Grass	#1		
pen	55	Pennisetum alopecuroides "Cassian"	Dwarf Fountain Grass	#1		



This documents contains copyrighted material belonging to **Murdoch+Company Architecture+Planning Ltd.** Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

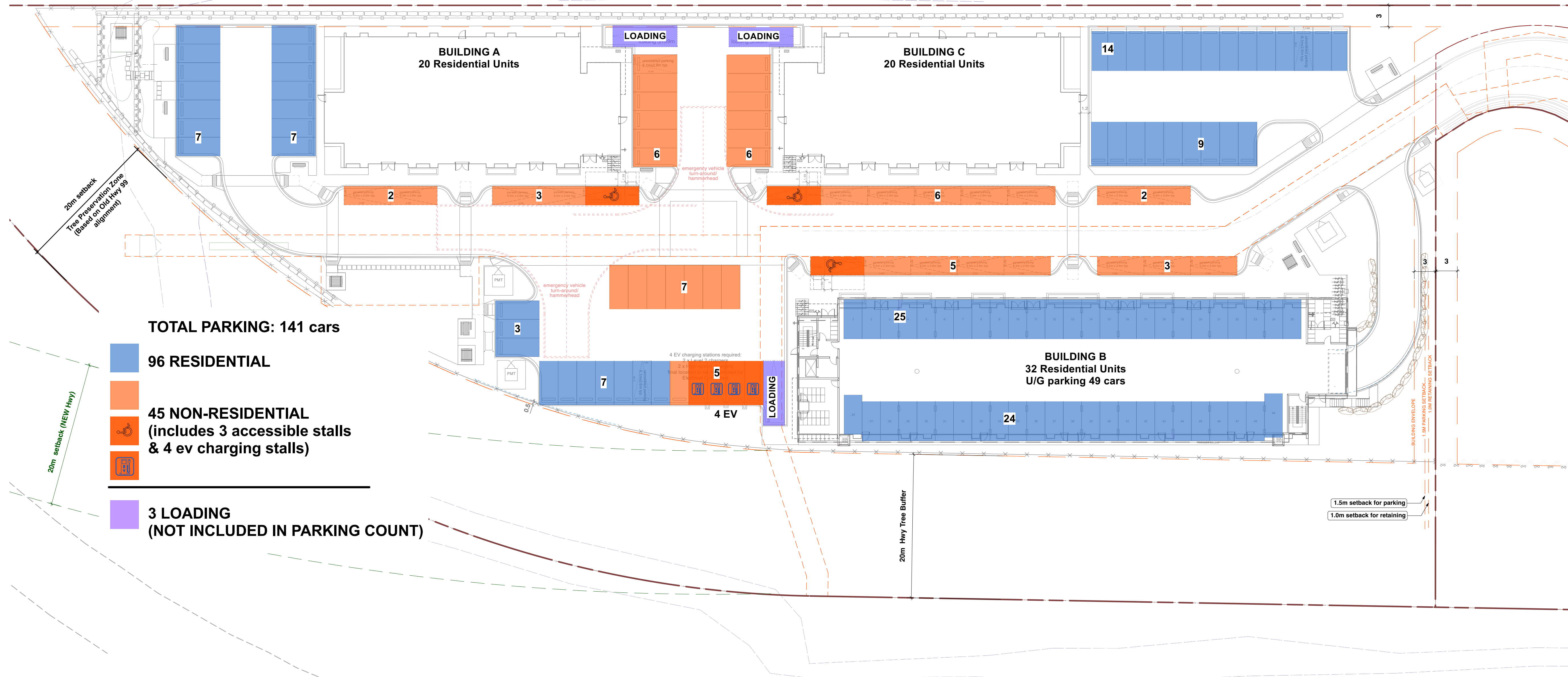
North

Issued For: **DP APPLICATION** Date: **FEB. 01, 2024**
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
LOT 2: LANDSCAPE PLAN
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler, BC

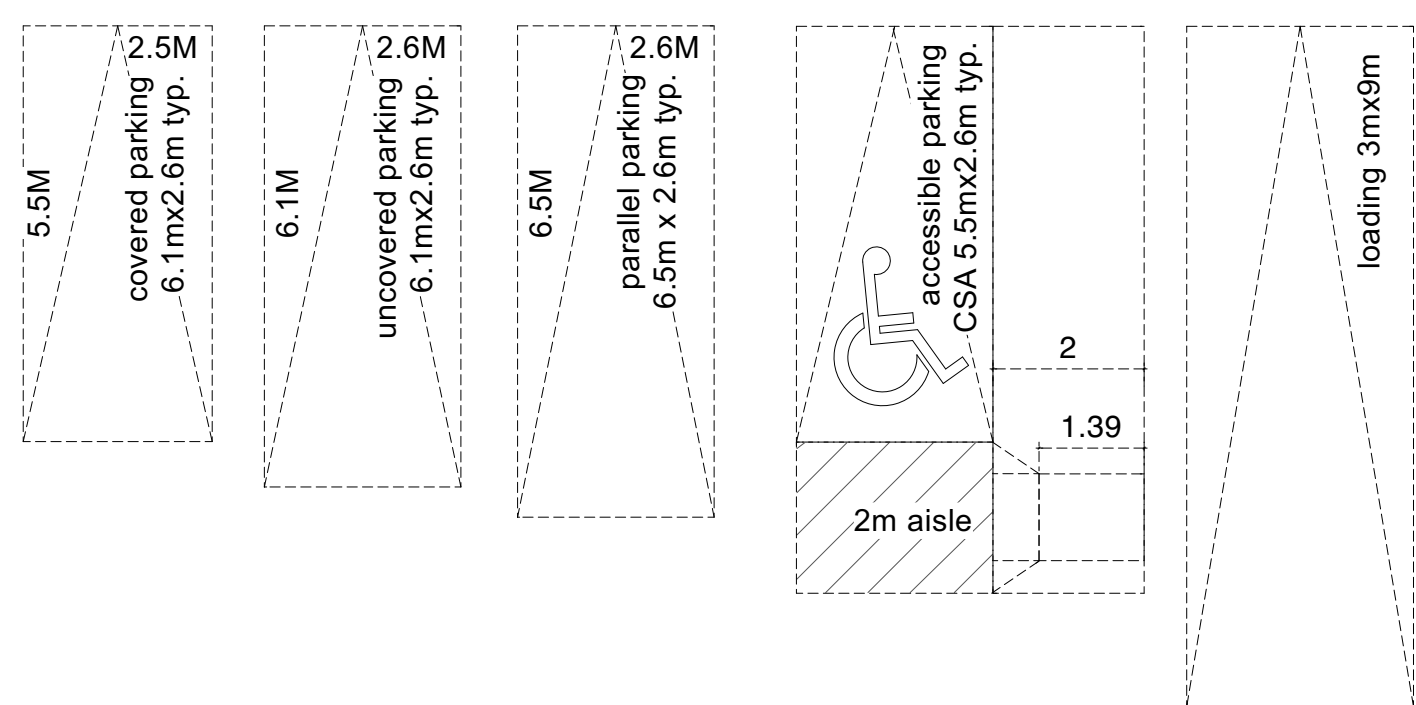
Sealed By:
MURDOCH COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By: **BM/JL** Scale: **1:300 METRIC**
 Project No: **1210** Sheet No: **L-2.2 [R]**
LOT 2: LANDSCAPE PLAN



TOTAL PARKING: 141 cars

- 96 RESIDENTIAL**
- 45 NON-RESIDENTIAL**
(includes 3 accessible stalls & 4 ev charging stalls)
- 3 LOADING**
(NOT INCLUDED IN PARKING COUNT)



RMOW STANDARD PARKING STALL DIMENSIONS

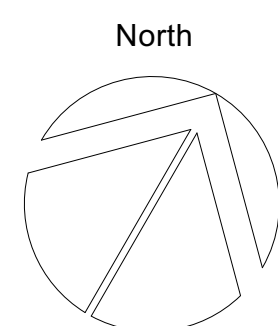
**24/03/15
Parking Allocation**

- **Residential Parking** – It is proposed that 80 of the 96 required parking spaces will be designated for residential use only. The renters will need to display a parking permit, which will allow them to park in the reserved residential parking areas. The parking will not be assigned to each unit. The residential parking areas will be signed “residential permit parking only”
- **Non-Residential Parking** – The businesses owners, employees and customers may park anywhere except in the reserved residential parking areas.

The non-residential parking areas will not require permits, however if the residents improperly use the non-residential parking areas (compromising the businesses’ parking opportunities), consideration may be given by the owner to physically designate certain parking for non-residential use (for owners and employees and customers) through signage and parking permit. Like the residential parking, the non-residential spaces should not be directly assigned to individual businesses. The e-charging will have signage for duration of use, while the accessible stalls will have the appropriate signage.

LOT 2 Total Parking Calculations			24/3/15
REQUIRED:			
LOT 2 :			
1442 m2	Commercial/Industrial Parking Req.	No of Stalls	
96 m2	Industrial @ 1/100m2	14.4	
72 m2	Retail @ 4/100m2 GFA	3.8	
361 m2	Restaurant @ 5/100m2	3.6	
433 m2	Research/Indoor Rec @ 2/100m2	7.2	
	Office @ 3/100m2 GFA	13.0	
2404 m2 GFA	<i>excludes parkade</i>	42	
CURRENT COMMERCIAL GFA = 2404.56 m2			
Resident Parking Req.			
24 units @ 1 car, 48 units @ 1.5 cars:			
24*72=96 cars			96
TOTAL PARKING REQUIRED:			138 CARS
PROVIDED :			
LOT 2 :			
92 surface stalls (incl. 3 HC/accessible) + 3 loading			
49 underground parkade			Lot 2 Total: 141 cars
TOTAL PARKING PROVIDED:			141 CARS
141 cars including 4 EV charging stalls & 3 Accessible stalls			
+ plus 3 loading			

This documents contains copyrighted material belonging to **Murdoch+Company Architecture+Planning Ltd.** Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



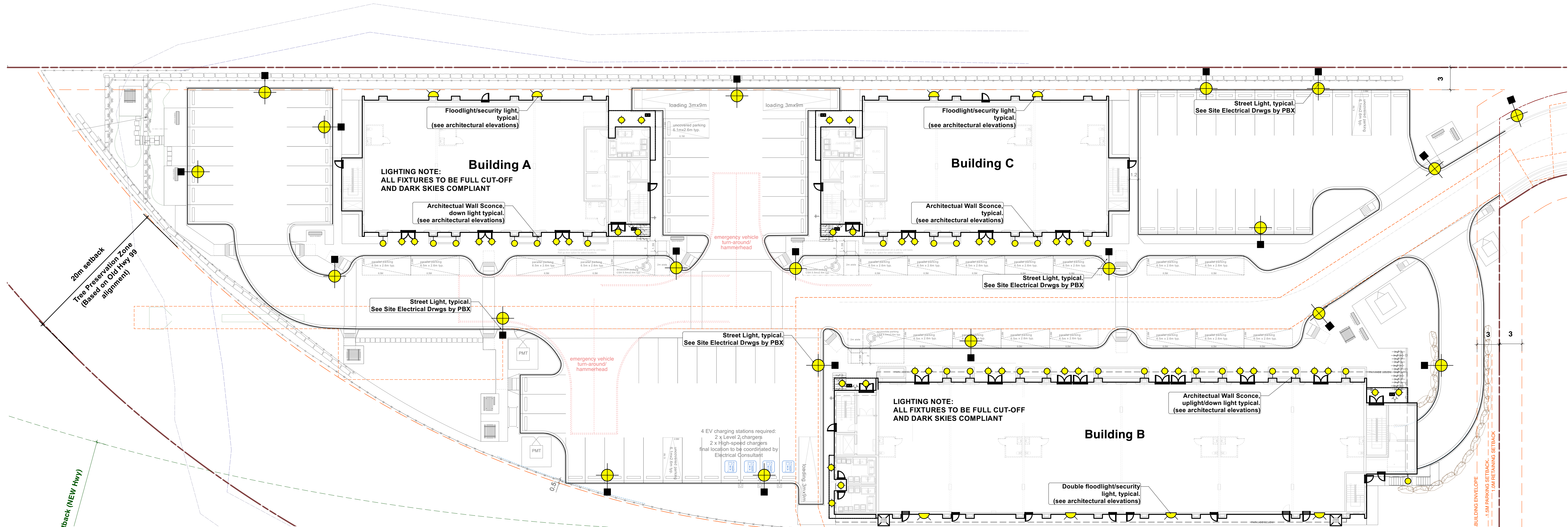
Issued For:	Date:
DP APPLICATION	FEB. 01, 2024
CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

Sheet Title:
LOT 2: PARKING PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler, BC

Sealed By:

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: Scale:
BM/JL 1:300 METRIC
Project No: Sheet No:
1210 **L-2.3 [R]**
LOT 2: PARKING PLAN



EXTERIOR BUILDING / SITE LIGHTING

- 

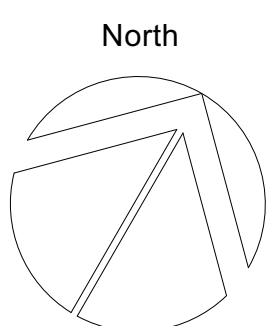

POLE MOUNTED STREET LIGHTS
REFER TO SITE LIGHTING SPECIFICATIONS BY PBX ENGINEERING
- 


FLOOD LIGHT/SECURITY LIGHT
ENDURANCE FLOOD PRO
LED FLOOD LIGHT, WAC LIGHTING
- 54 WATTS
- LED
- GRAPHITE
- 120 V
- 


ARCHITECTURAL WALL SCENCE, UPLIGHT/DOWN-LIGHT
RUSSELL LIGHTING 799-006/AG
- 150 W
- 120 V
- 2x PAR E26
- 


SOFFIT LIGHTING - EXTERIOR CEILING LIGHT
PROGRESS OUTDOOR FLUSH MOUNT CYLINDER
- METALLIC GREY
- LED
- 120 V
- 17 WATTS

This documents contains copyrighted material belonging to **Murdoch+Company Architecture+Planning Ltd.** Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



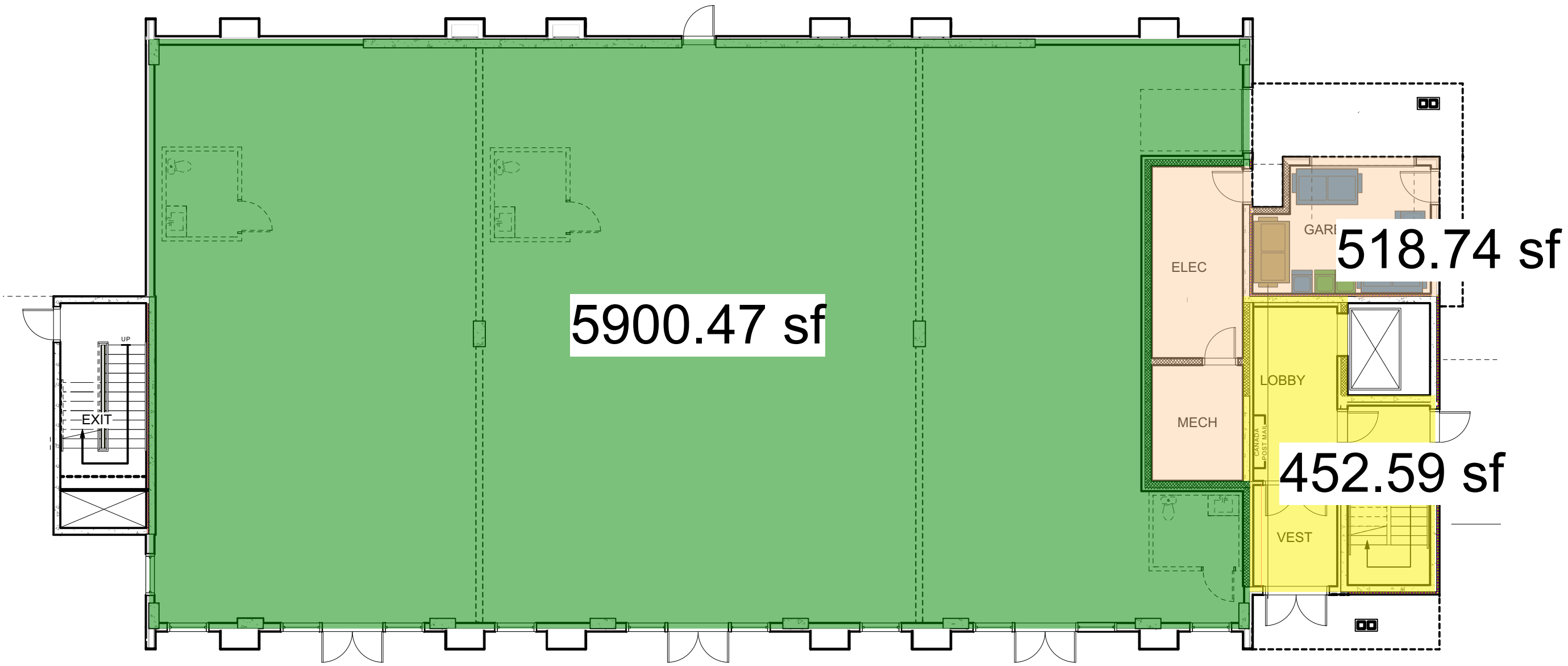
Issued For:	Date:
DP APPLICATION	FEB. 01, 2024
CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

Sheet Title:
LOT 2: SITE LIGHTING PLAN
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler, BC

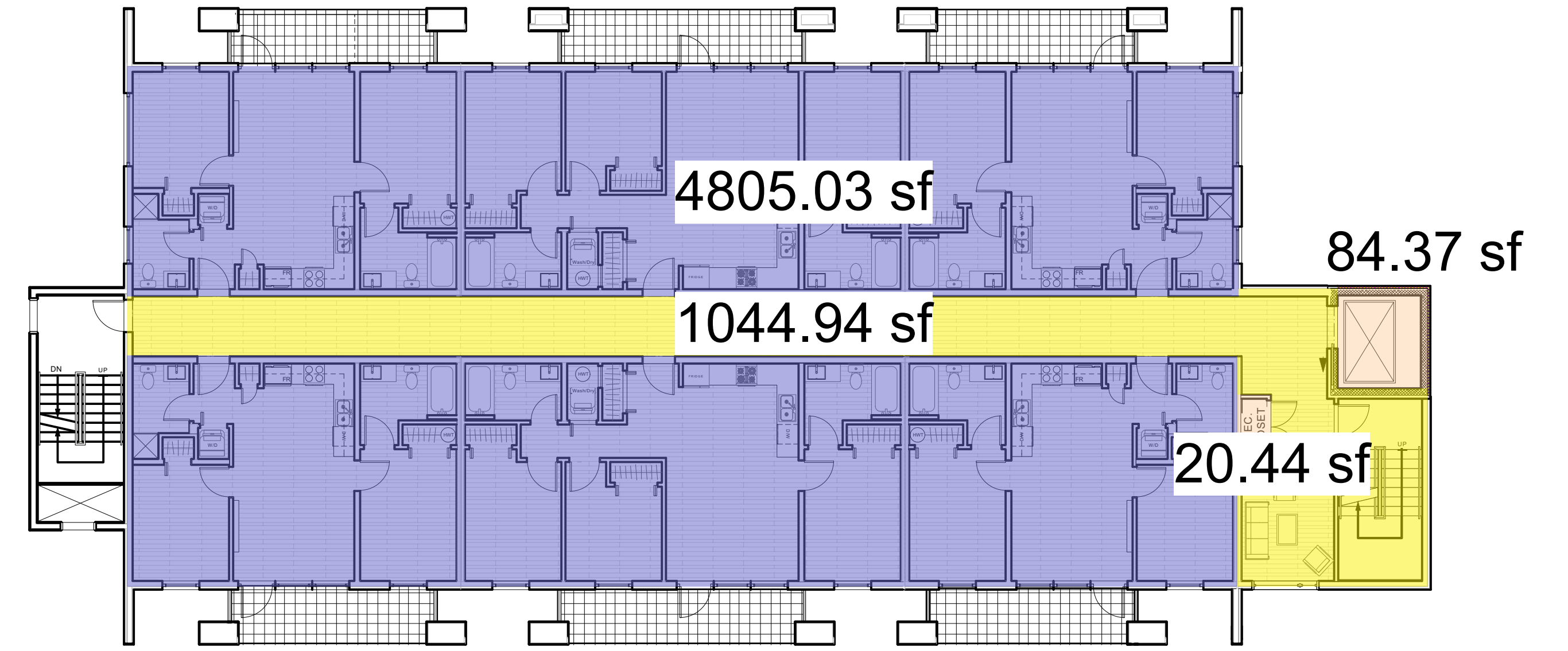
Sealed By:

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

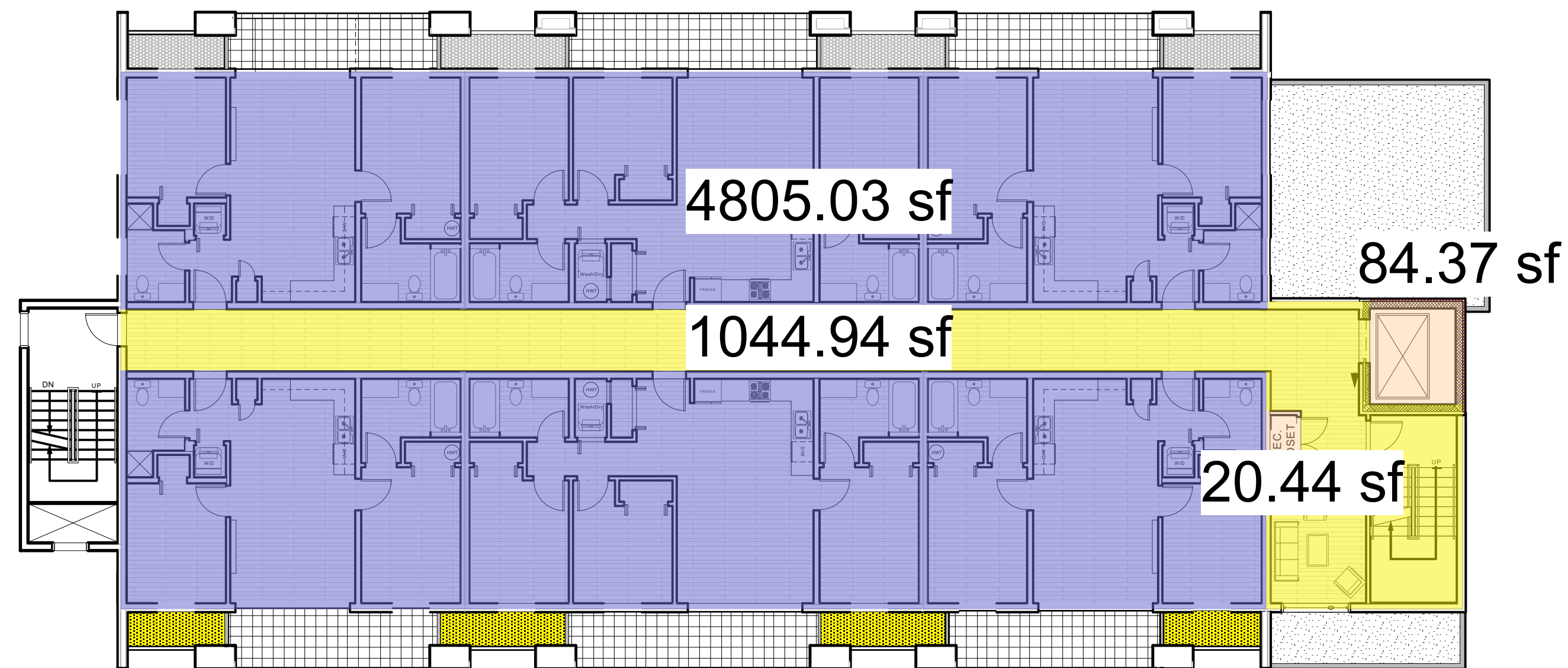
Drawn By:	Scale:
BM/JL	1:250 METRIC
Project No:	Sheet No:
1210	L-2.4 [R]



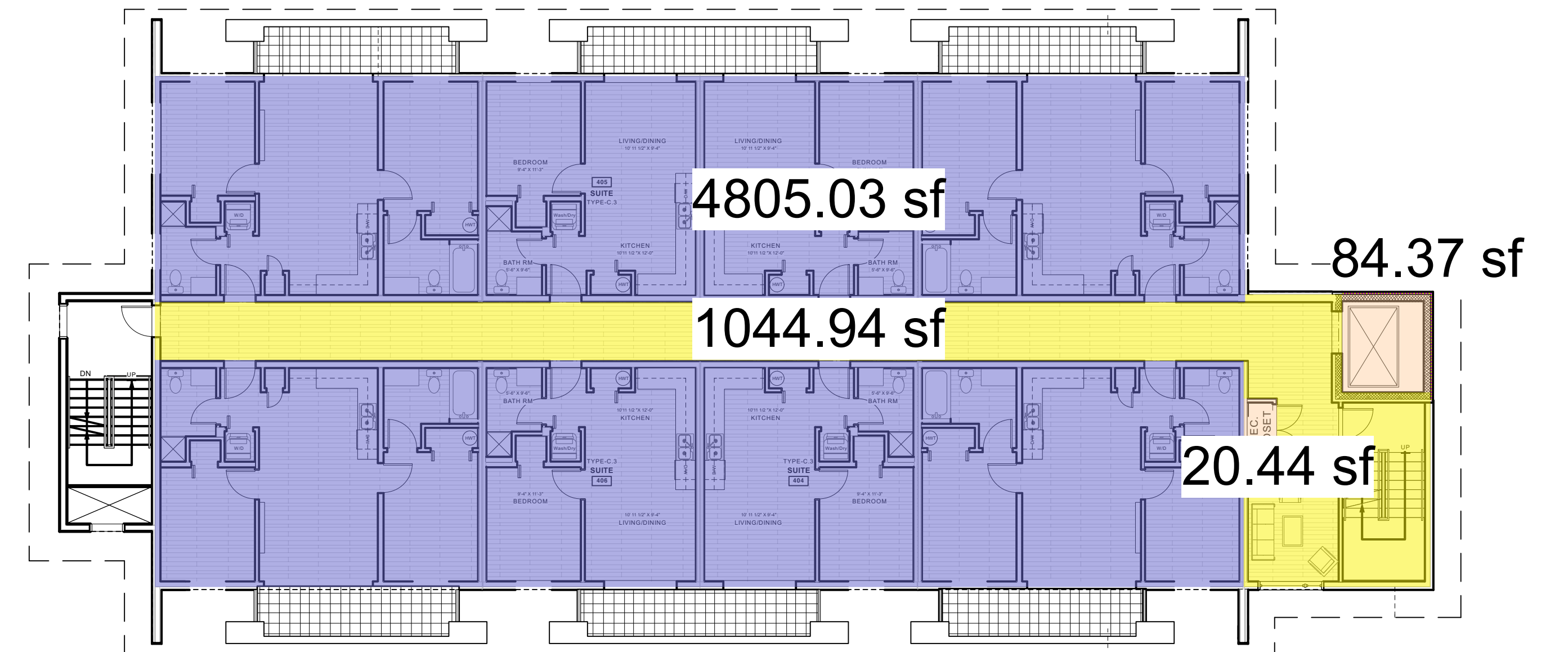
1 GROUND FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"



3 THIRD FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"



2 SECOND FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"

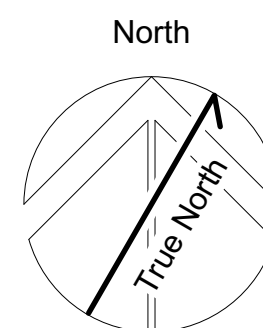


4 FOURTH FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"

MUNICIPAL GROSS FLOOR AREA - Tseqwtsúqum, Function Junction

	CIRCULATION (SQ.M.)	COMMERCIAL (SQ.M.)	RESIDENTIAL (SQ.M.)	SERVICE (SQ.M.)	BIKE STORAGE (SQ.M.)
GROUND FLOOR	42.05 SQ.M.	548.13 SQ.M.	0.00 SQ.M.	48.19 SQ.M.	0.00 SQ.M.
SECOND FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
THIRD FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
FOURTH FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
SUB-TOTAL:	333.26 SQ.M.	548.13 SQ.M.	1339.20 SQ.M.	53.88 SQ.M.	0.00 SQ.M.
TOTAL GFA:	2220.58 SQ.M.				
TOTAL AREA EXCLUDED:	53.88 SQ.M.				
TOTAL AREA BUILT:	2274 SQ.M.				

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

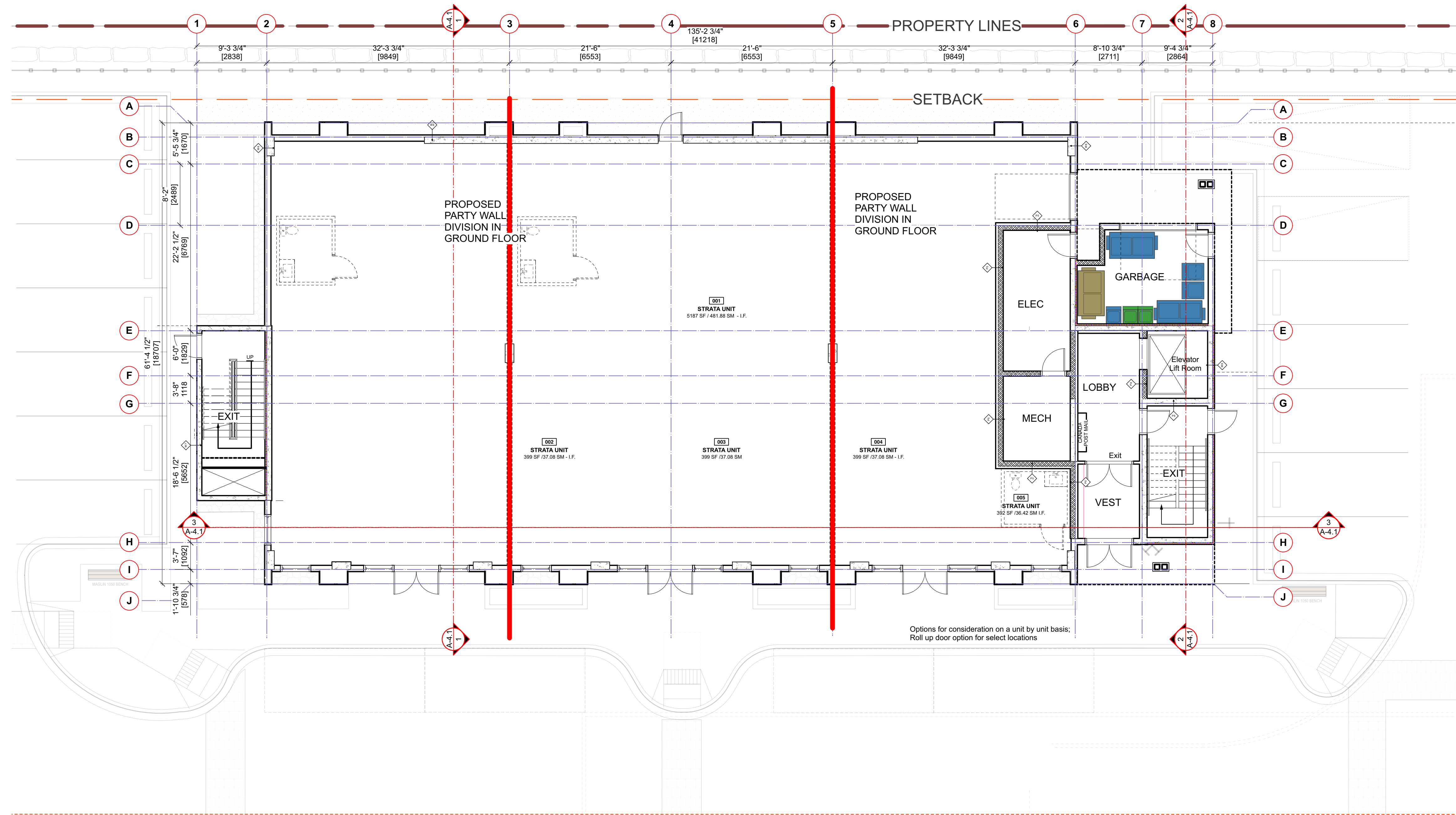
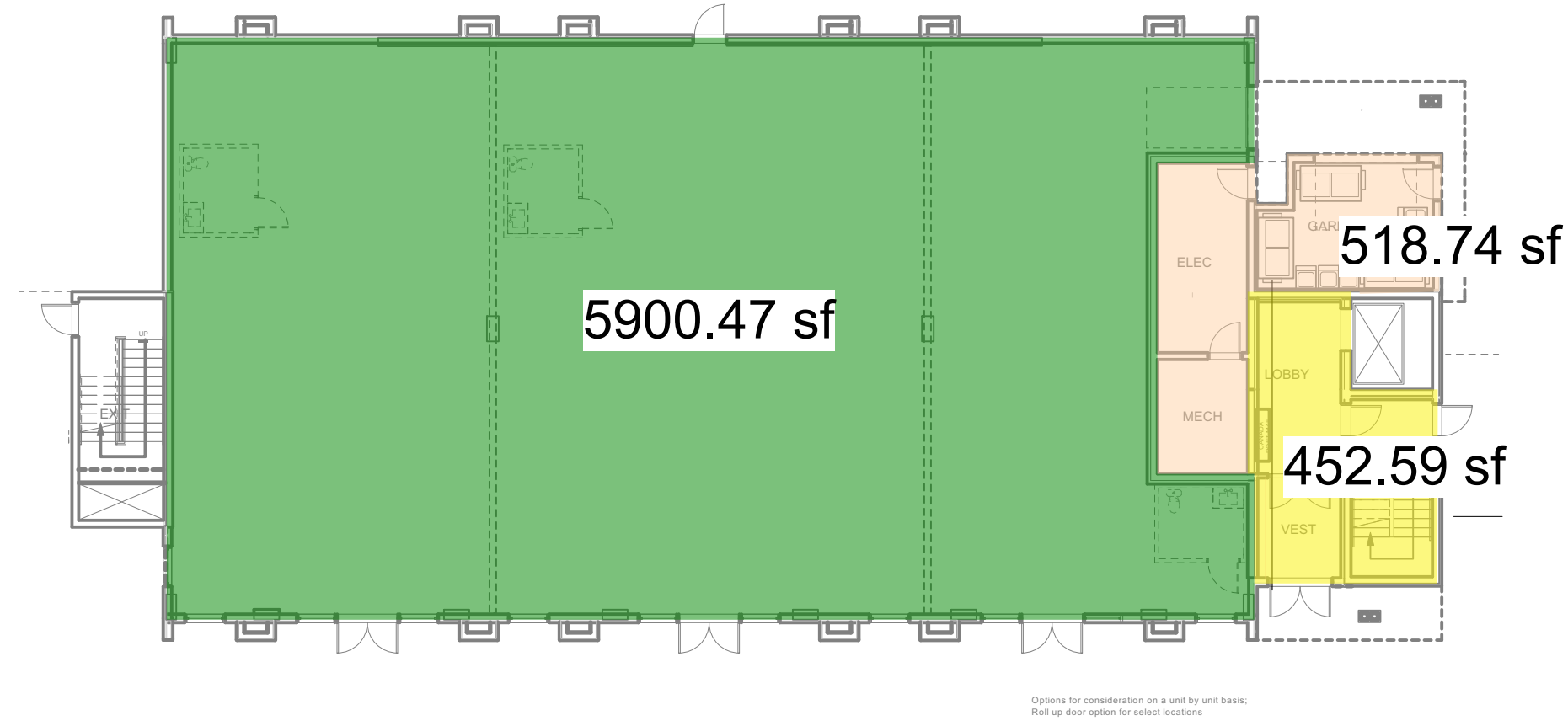
Sheet Title:
A - MUNICIPAL GFA
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No: _____ Revision: _____ Date: _____
Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

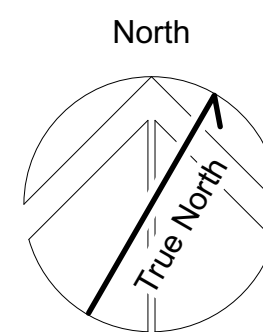
Drawn By: _____ Scale: _____
PMG 3/32" = 1'0"
Project No: _____ Sheet No: _____
1210 **A-2.0 A [R]**

A - MUNICIPAL GFA



1 GROUND FLOOR PLAN
1/8" = 1'0"

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

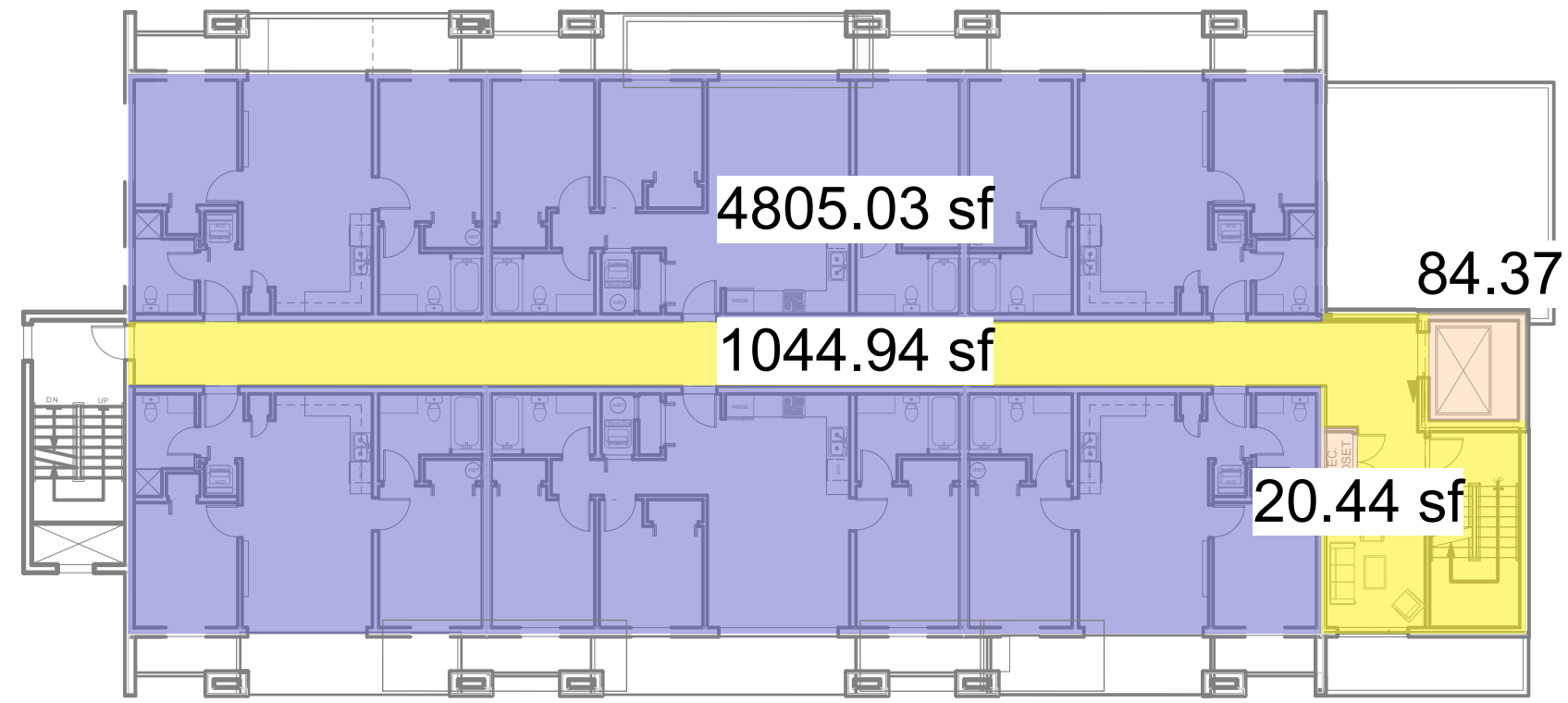
Sheet Title:
A - GROUND FLOOR PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No: _____ Revision: _____ Date: _____
Sealed By: _____

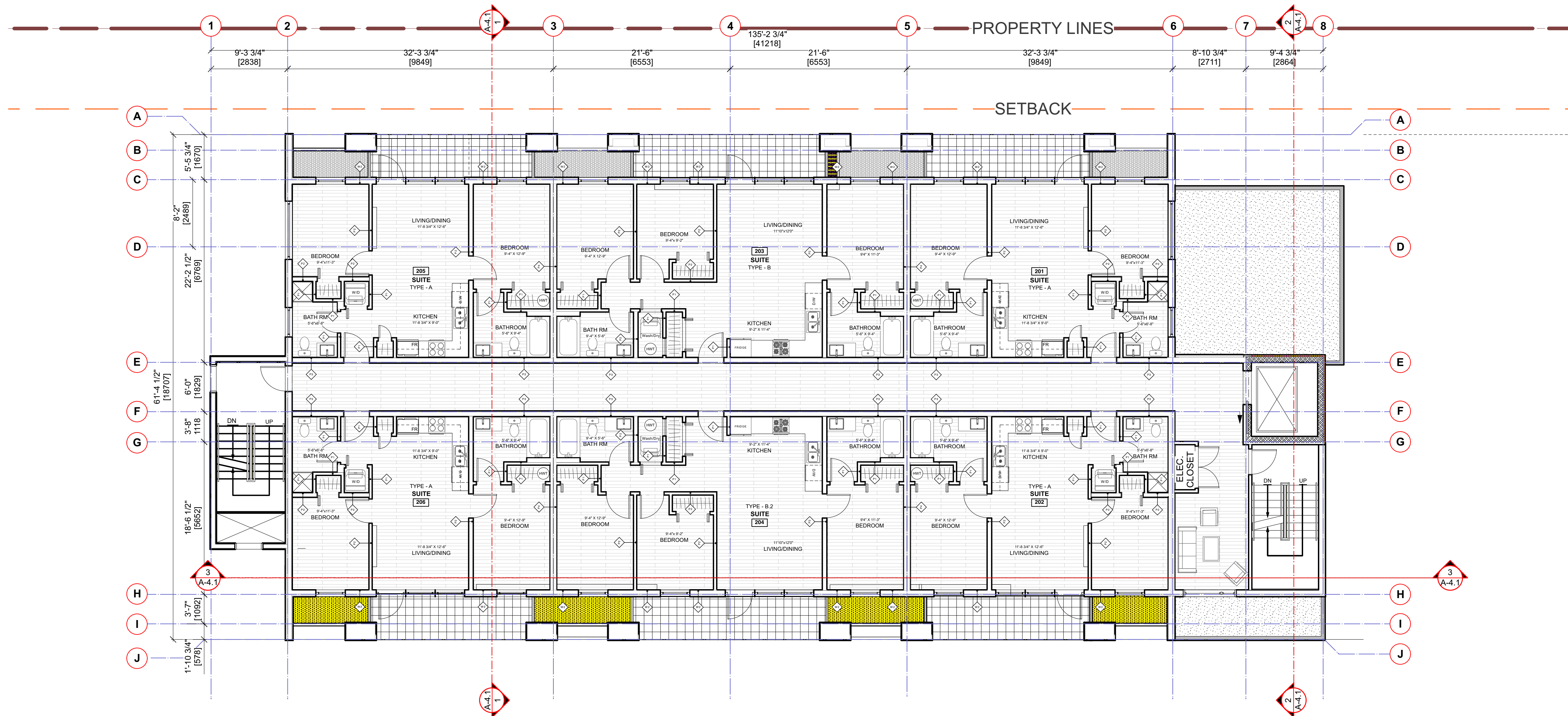
MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
PMG 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210

A-2.1 A [R]
A - GROUND FLOOR PLAN

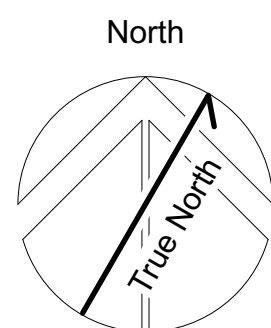


4 TWO BEDROOM RESIDENTIAL UNITS
2 THREE BEDROOM RESIDENTIAL UNITS



1 SECOND FLOOR PLAN
1/8" = 1'0"

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

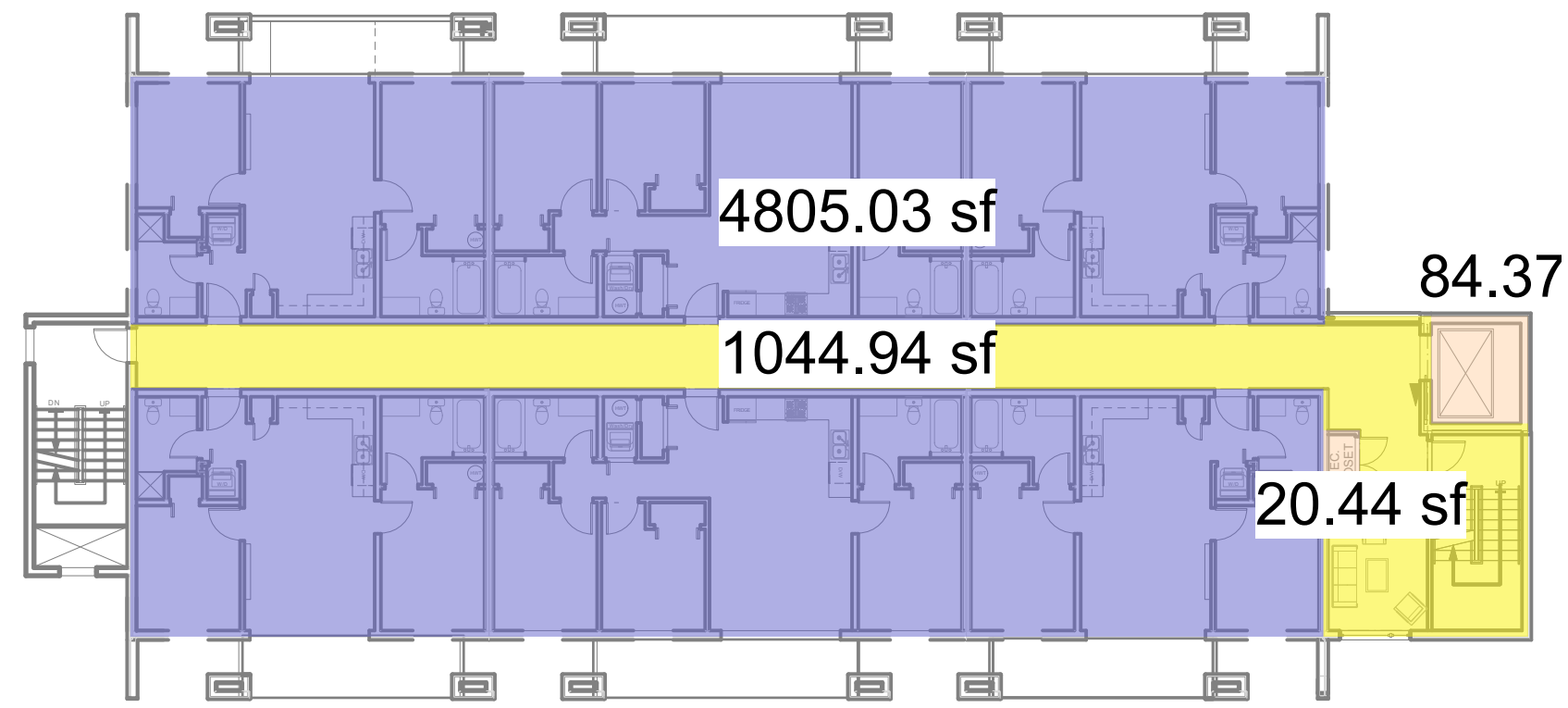
Sheet Title:
A- SECOND FLOOR PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No: _____ Revision: _____ Date: _____
Sealed By: _____

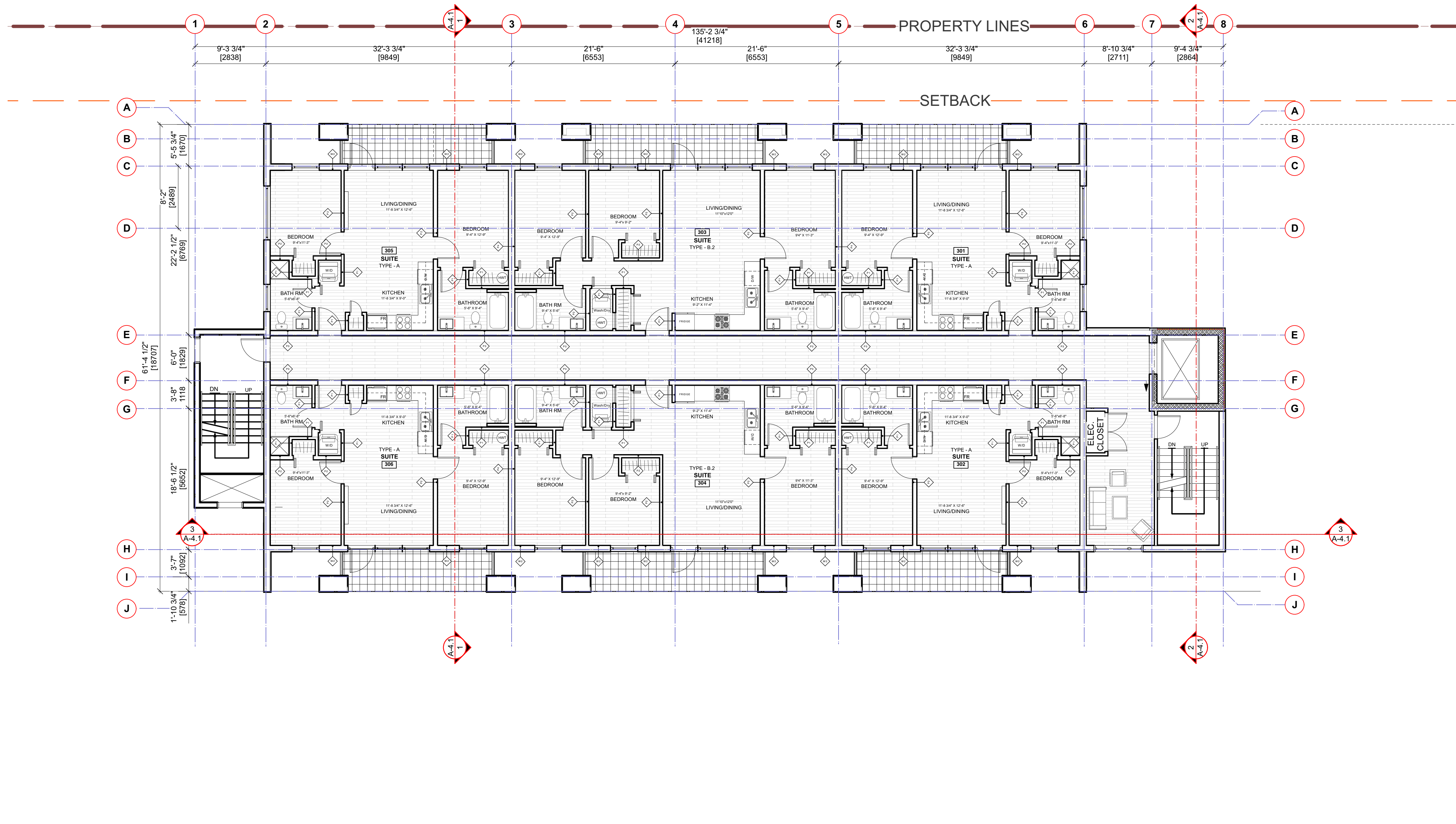
MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
PMG 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210

A-2.2 A [R]
A- SECOND FLOOR PLAN

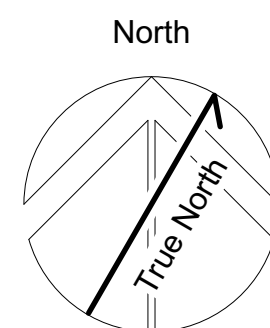


4 TWO BEDROOM RESIDENTIAL UNITS
2 THREE BEDROOM RESIDENTIAL UNITS



1 THIRD FLOOR PLAN
1/8" = 1'0"

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



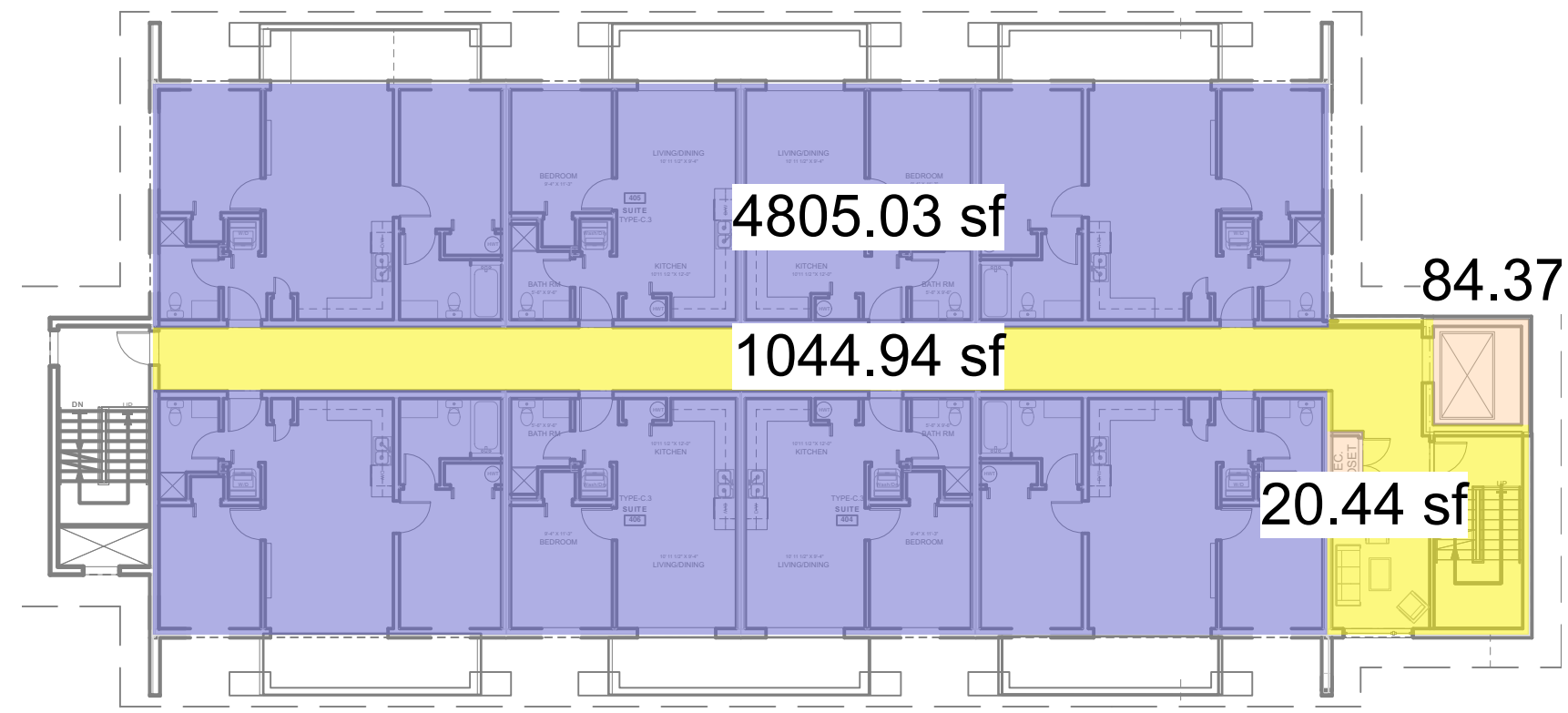
Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
A - THIRD FLOOR PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

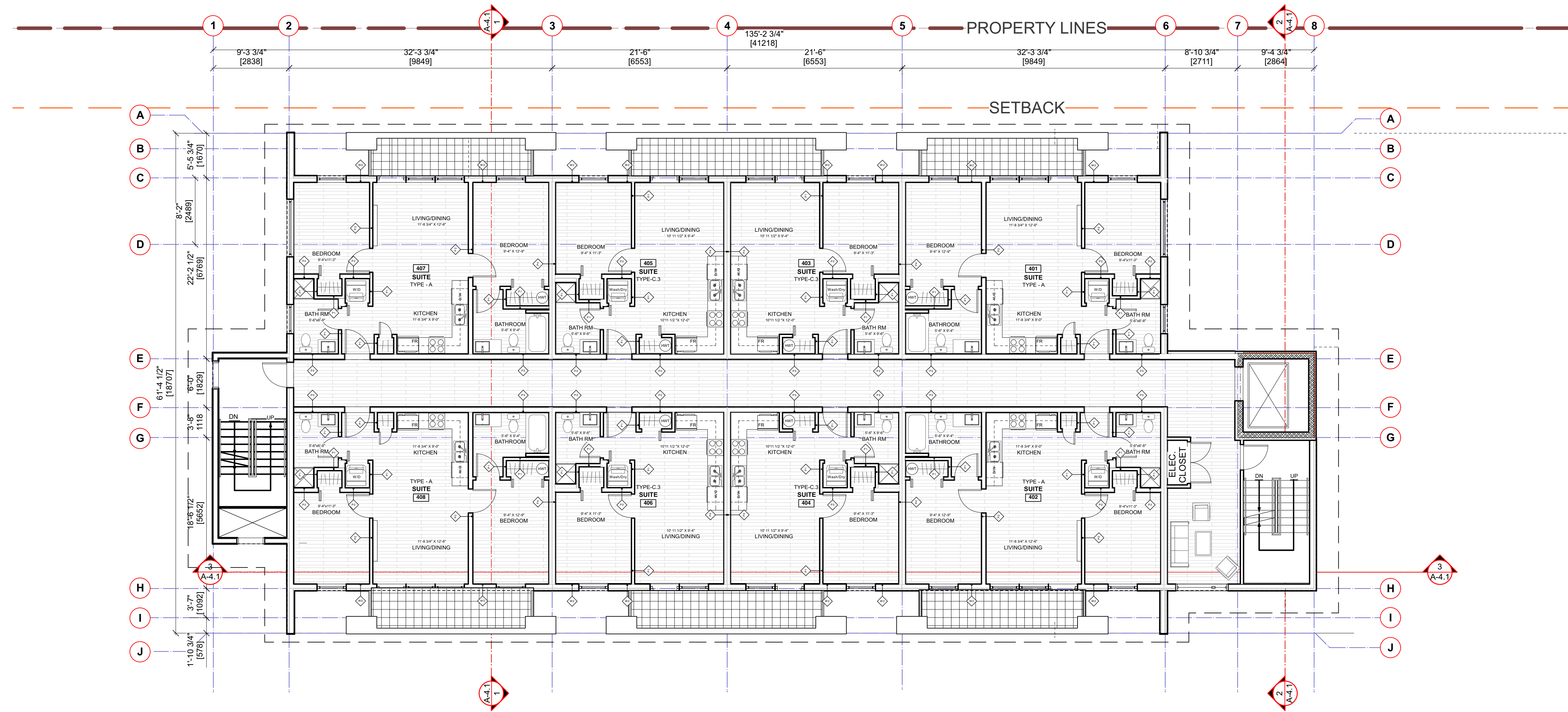
No.	Revision:	Date:	Sealed By:

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
PMG 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210 **A-2.3 A [R]**
A - THIRD FLOOR PLAN

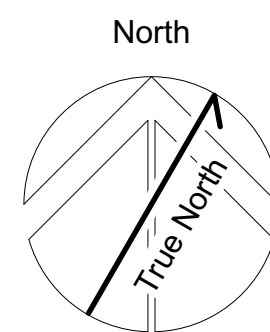


4 TWO BEDROOM RESIDENTIAL UNITS
4 ONE BEDROOM RESIDENTIAL UNITS



1 FOURTH FLOOR PLAN
1/8" = 1'0"

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
A - FOURTH FLOOR PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No.	Revision:	Date:	Sealed By:

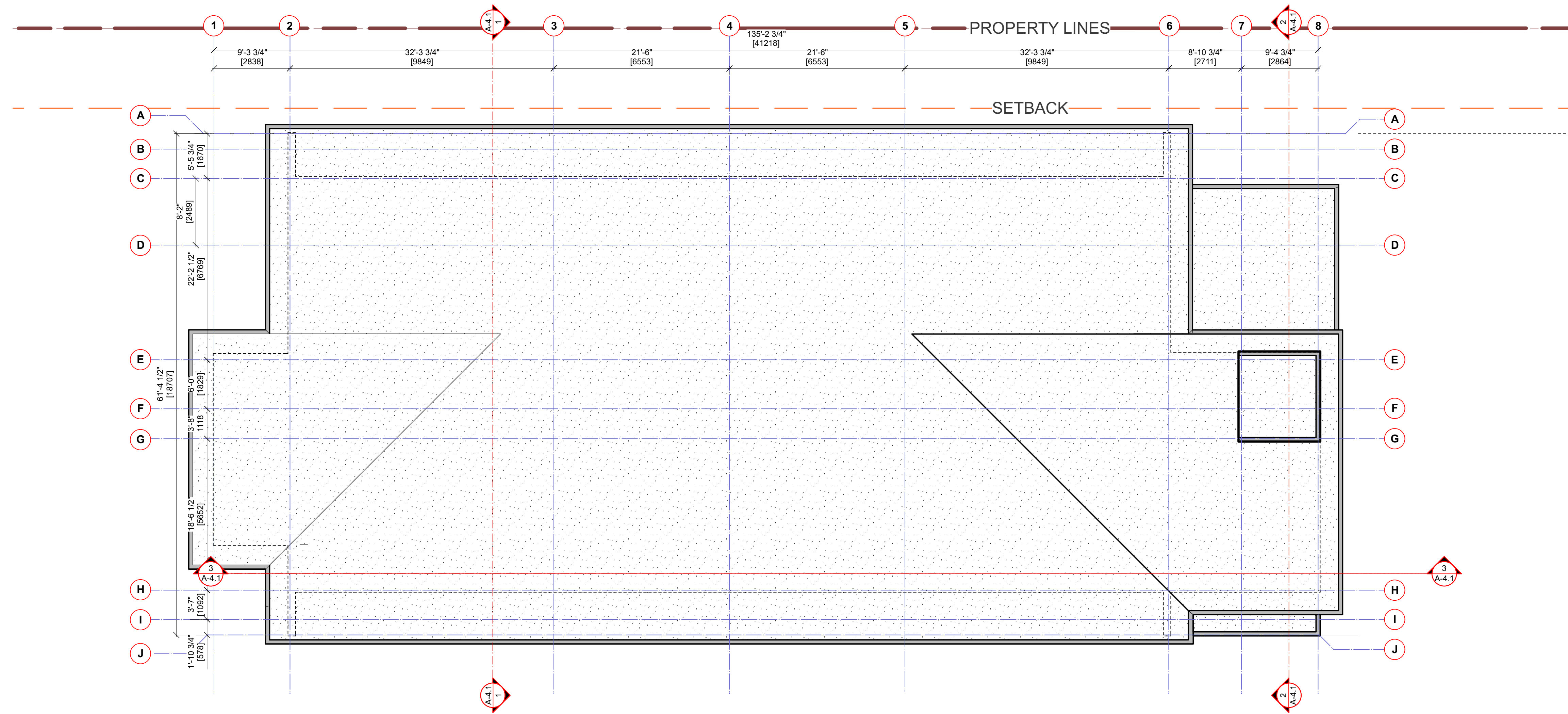
MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
PMG 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210

A-2.4 A [R]
A - FOURTH FLOOR PLAN

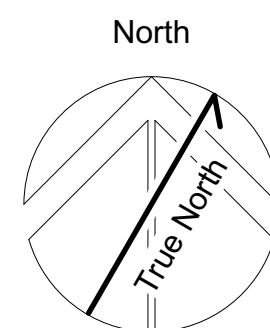
BUILDING-A HEIGHT CALCULATIONS <METRIC>				
Roof	Area	% of tot.	Mean height	Wtd. Avg.
ROOF A	621.0	83.3	12.18	10.15
ROOF B	59.1	7.9	12.52	0.99
ROOF C	36.2	4.9	12.64	0.61
ROOF D	28.9	3.9	4.41	0.17
Total	745.2	100.0	Overall Mean Ht.:	11.93
Total Permitted 12.0m				

*NOTE: LOW SLOPE TORCH ON
ROOF NO SIGNIFICANT SNOW DUMP



1 ROOF PLAN - BUILDING A
1/8" = 1'0"

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
A - ROOF PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No:	Revision:	Date:	Sealed By:

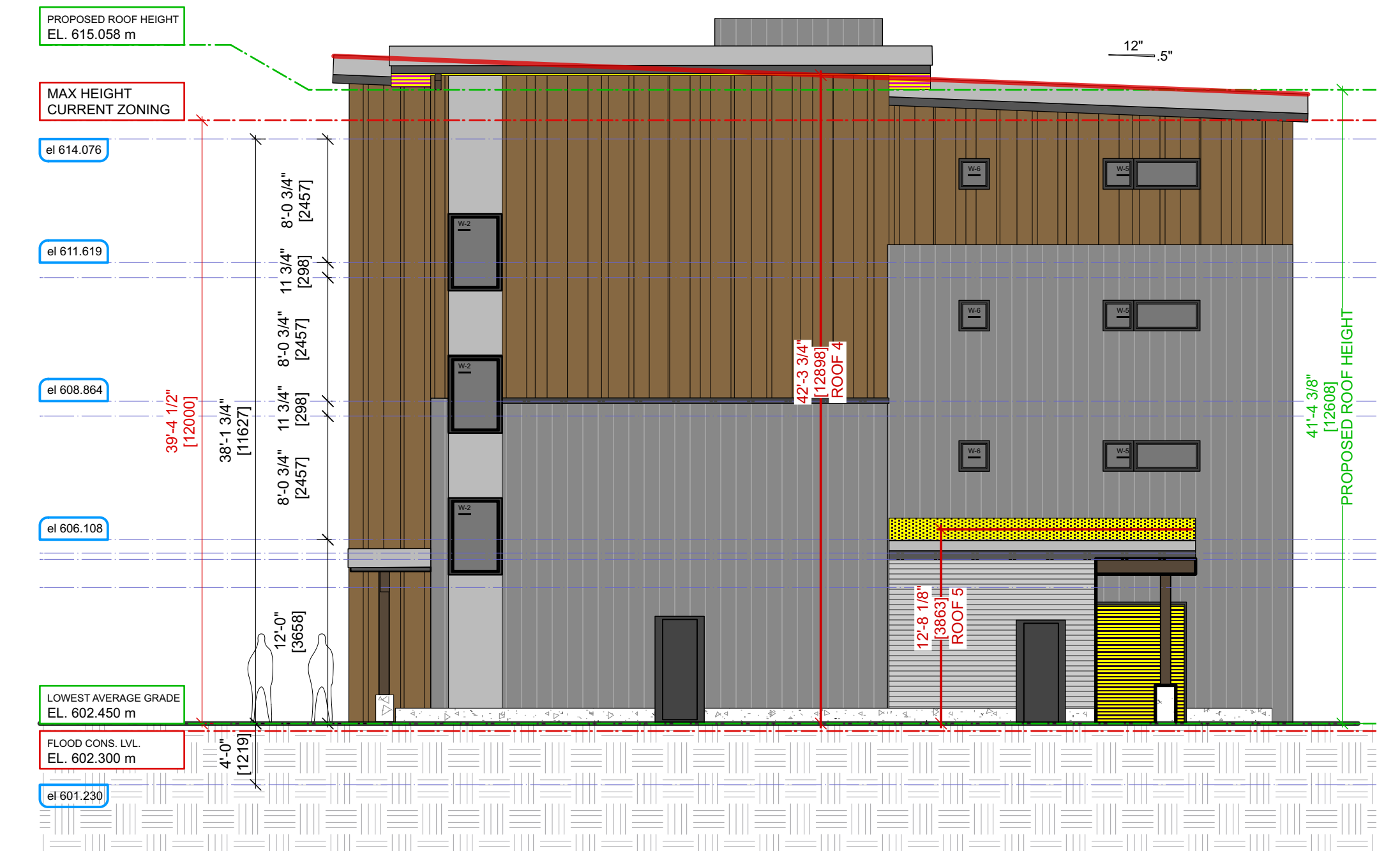
MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
PMG 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210 **A-2.5 A [R]**

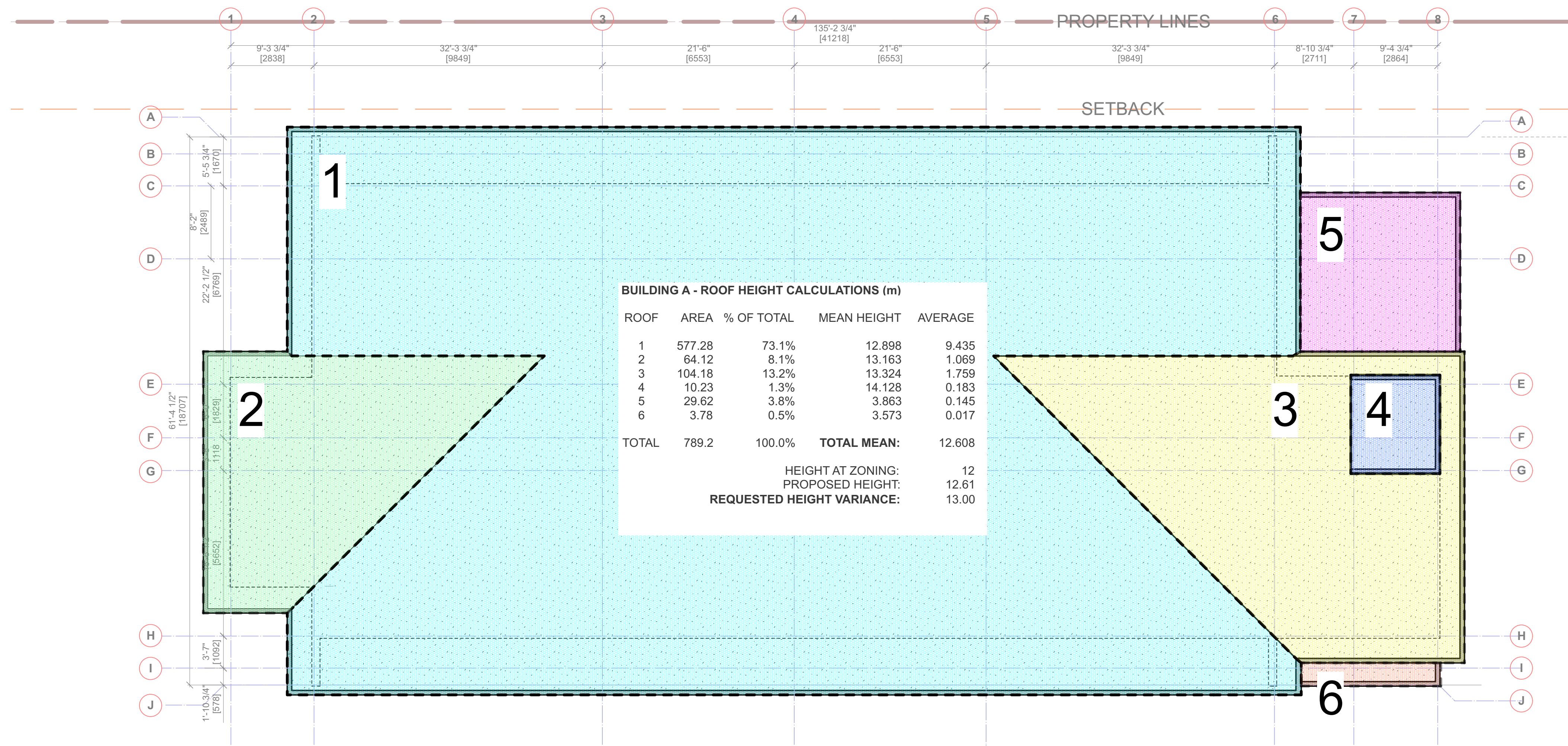
A - ROOF PLAN



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

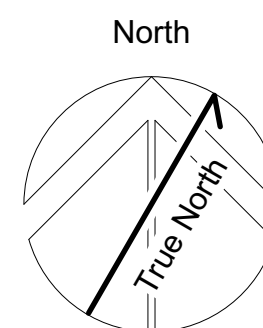


2 EAST ELEVATION
Scale: 1/8" = 1'-0"



3 ROOF DIAGRAM
Scale: 1/8" = 1'-0"

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
A - ROOF HEIGHT CALCULATIONS
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

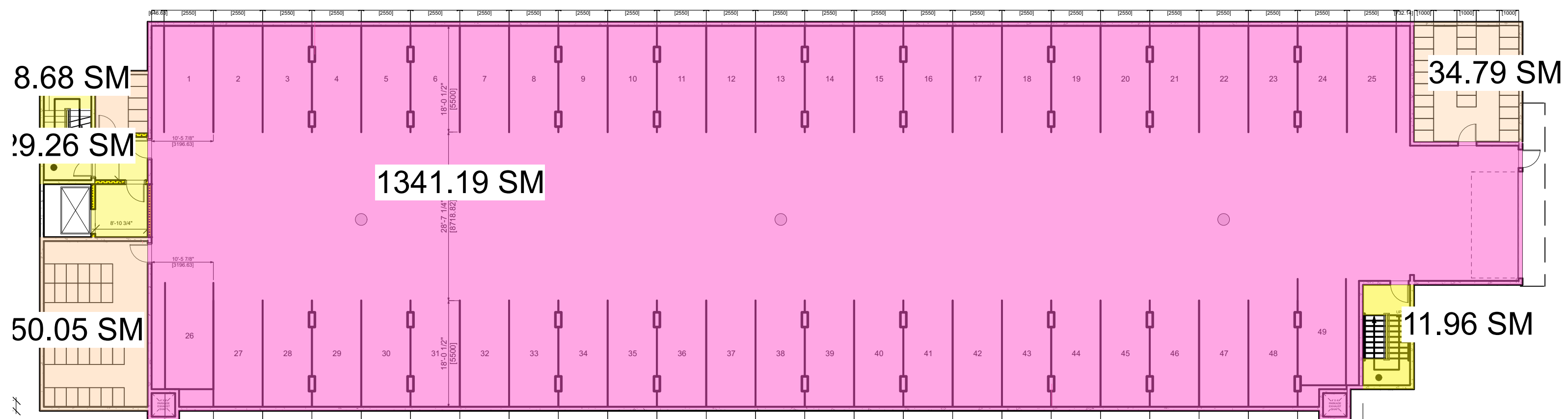
No: _____ Revision: _____ Date: _____
Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

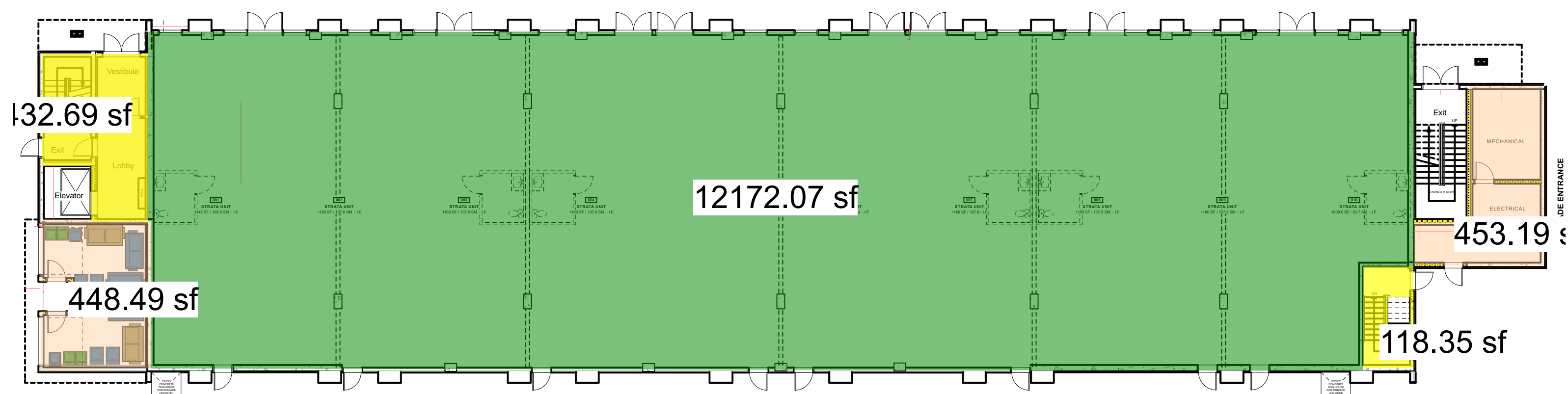
Drawn By: _____ Scale: _____
NM 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210

A-2.6 A [R]

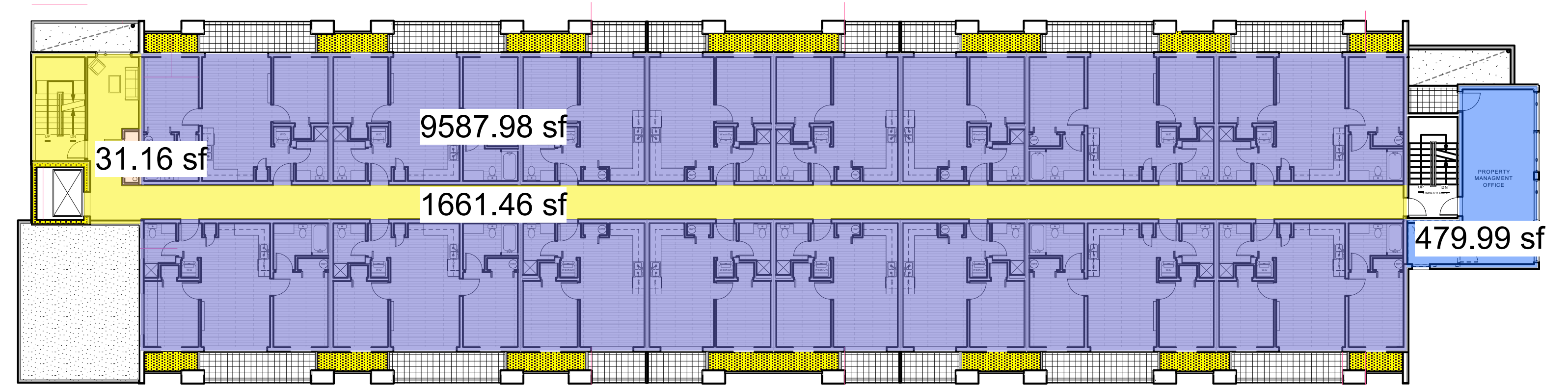
A - ROOF HEIGHT CALCULATIONS



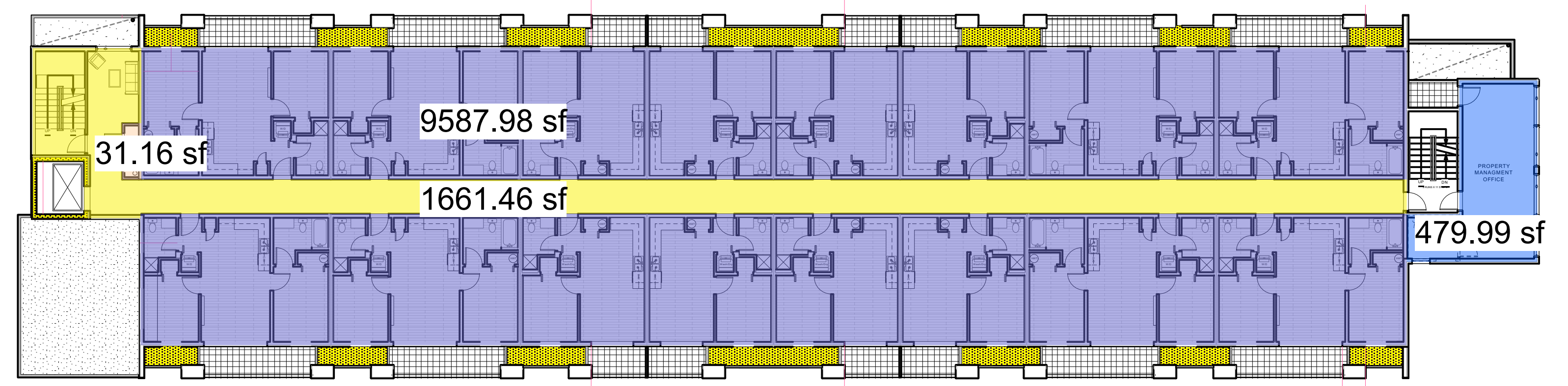
1 LOWER FLOOR PLAN - MUNICIPAL GFA
A-1.3 1/16" : 1'-0"



1 LOWER FLOOR PLAN - MUNICIPAL GFA
A-1.3 1/16" : 1'-0"



2 MAIN FLOOR PLAN - MUNICIPAL GFA
A-1.3 1/16" : 1'-0"

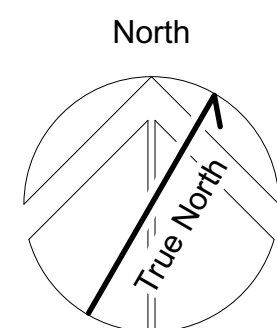


3 UPPER FLOOR PLAN - MUNICIPAL GFA
A-1.3 1/16" : 1'-0"

MUNICIPAL GROSS FLOOR AREA - Tseqwtsúqum, Function Junction

	CIRCULATION (SQ. M.)	COMMERCIAL (SQ.M)	RESIDENTIAL (SQ.M.)	SERVICE (SQ. M.)	PARKING (SQ. M.)	BIKE STORAGE (SQ. M.)
PARKING PLAN	29.26 SQ.M.	0 SQ.M.	0 SQ.M.	0 SQ.M.	58.74 SQ.M.	93.53 SQ.M.
GROUND FLOOR	51.19 SQ.M.	1130.82 SQ.M.	0 SQ.M.	83.77 SQ.M.	0 SQ.M.	0 SQ.M.
SECOND FLOOR	150 SQ.M.	44.59 SQ.M.	890.75 SQ.M.	2.89 SQ.M.	8.73 SQ.M.	0 SQ.M.
THIRD FLOOR	150 SQ.M.	44.59 SQ.M.	890.75 SQ.M.	2.89 SQ.M.	8.73 SQ.M.	0 SQ.M.
SUB-TOTAL:	380.45 SQ.M.	1220 SQ.M.	1781.5 SQ.M.	89.55 SQ.M.	76.2 SQ.M.	93.53 SQ.M.
TOTAL GFA:	3381.95 SQ.M.					
TOTAL AREA EXCLUDED:	259.28 SQ.M.					
TOTAL AREA BUILT:	3641.23 SQ.M.					

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



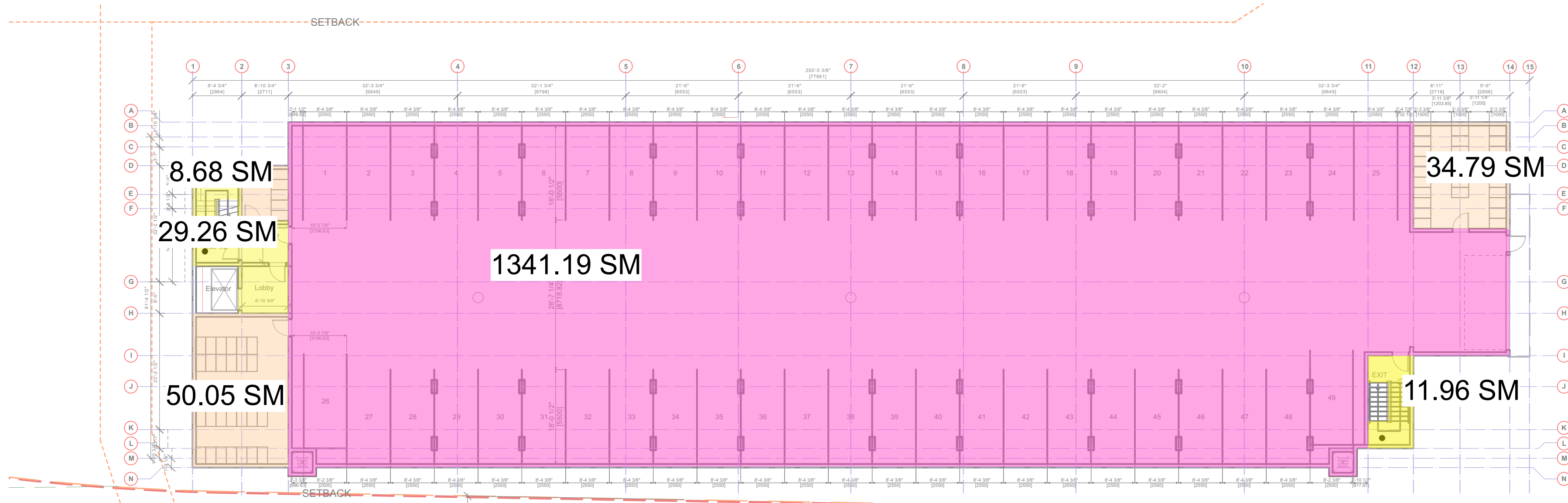
Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
B - MUNICIPAL GFA
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

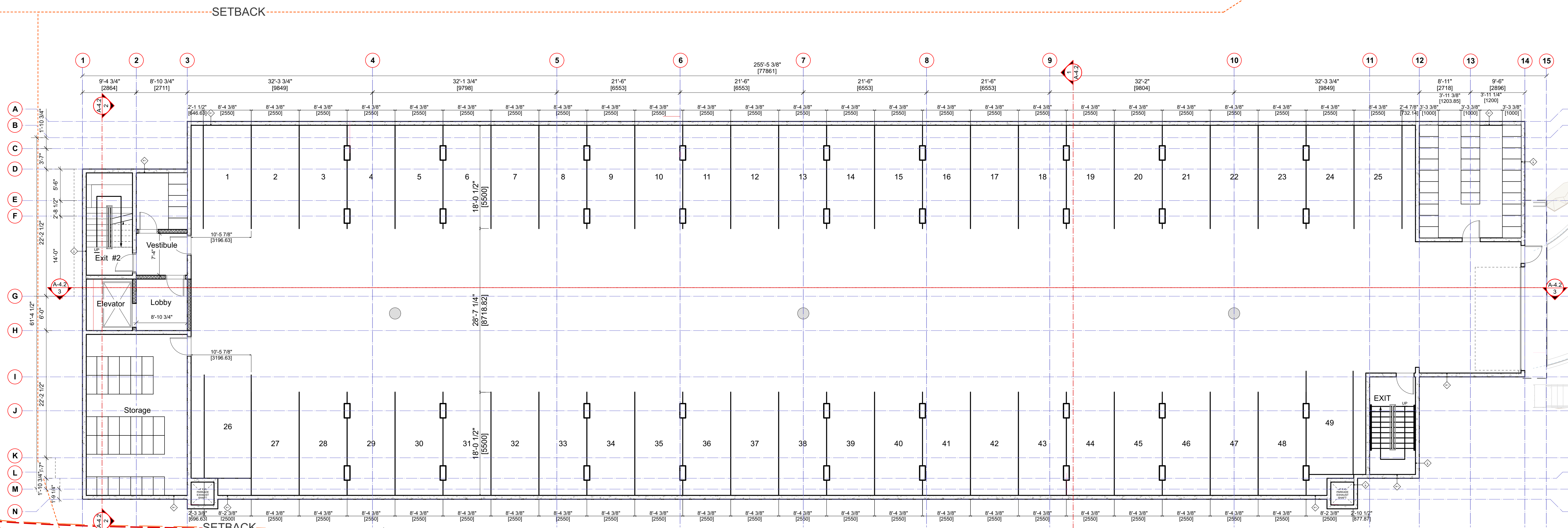
No: _____ Revision: _____ Date: _____
Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: 1/16" = 1'0"
BM/DA
Project No: 1210 Sheet No: **A-2.00 B[R]**
B - MUNICIPAL GFA

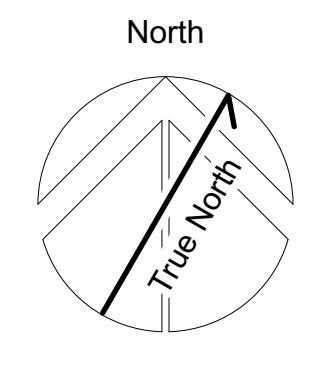


luffer



1 UNDERGROUND PARKADE PLAN - BUILDING B
1/8" = 1'0"

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

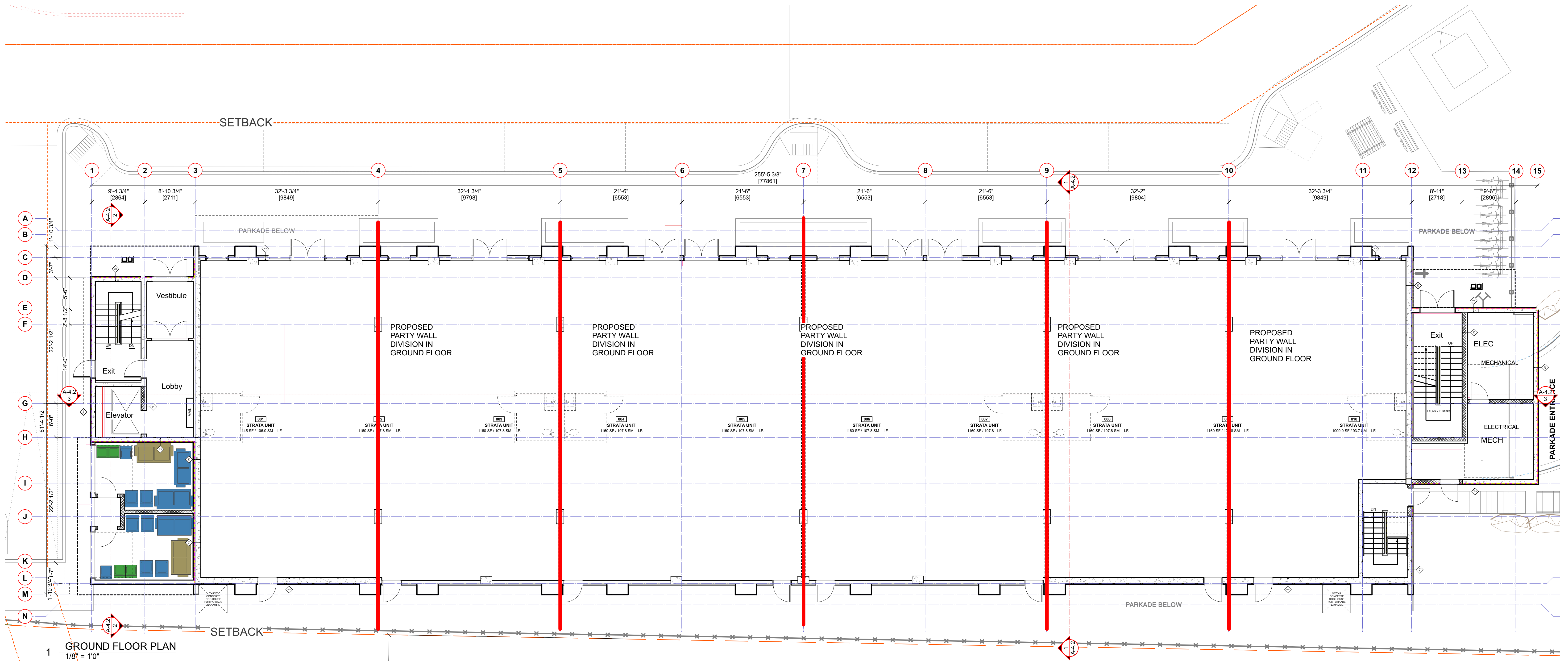
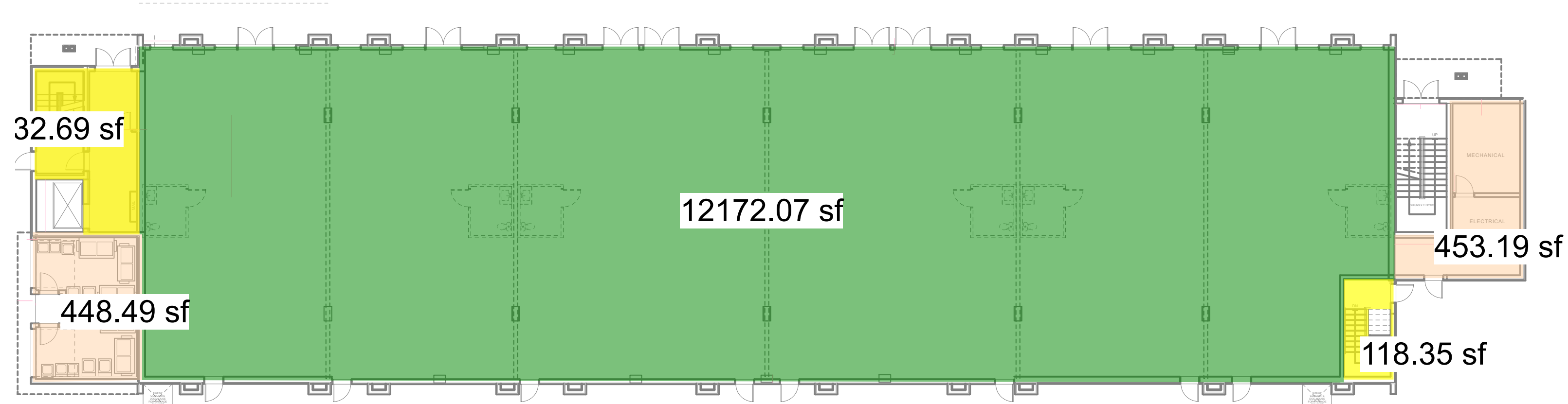
Sheet Title:
BUILDING-B FOUNDATION
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No: _____ Revision: _____ Date: _____

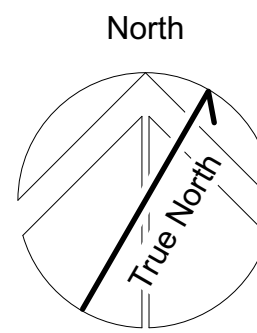
Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: 1/8" = 1'0"
BM/DA _____
Project No: 1210 Sheet No: **A-2.0 B [R]**
BUILDING-B FOUNDATION



This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-B GROUND FLOOR
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

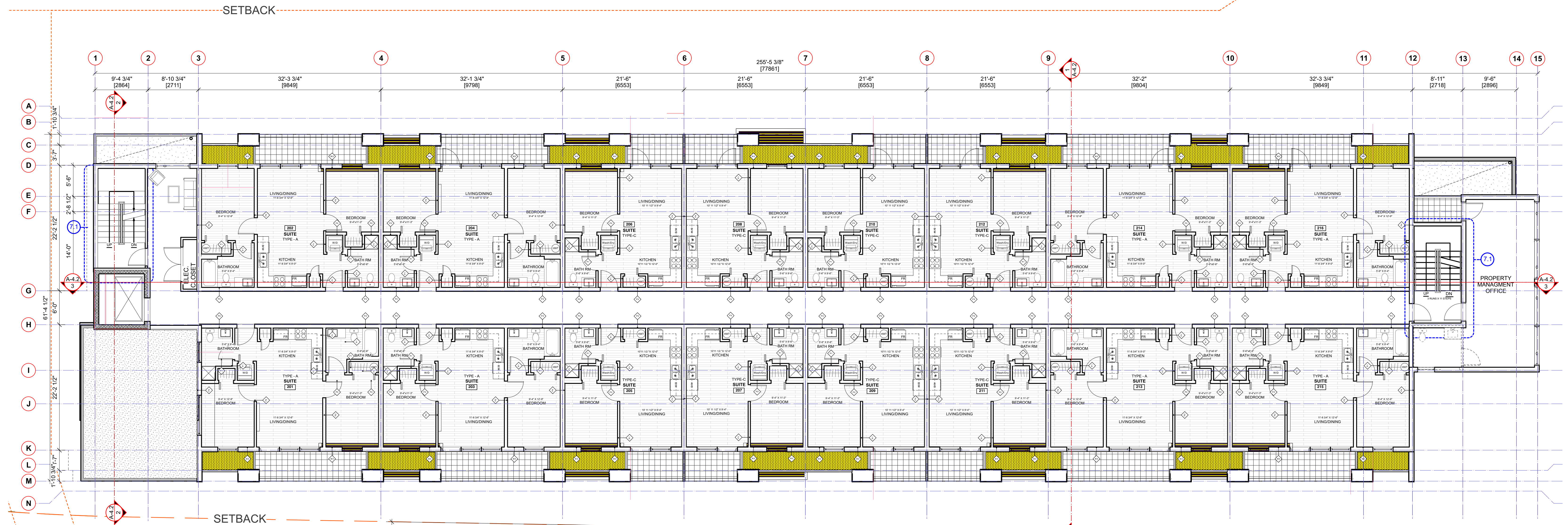
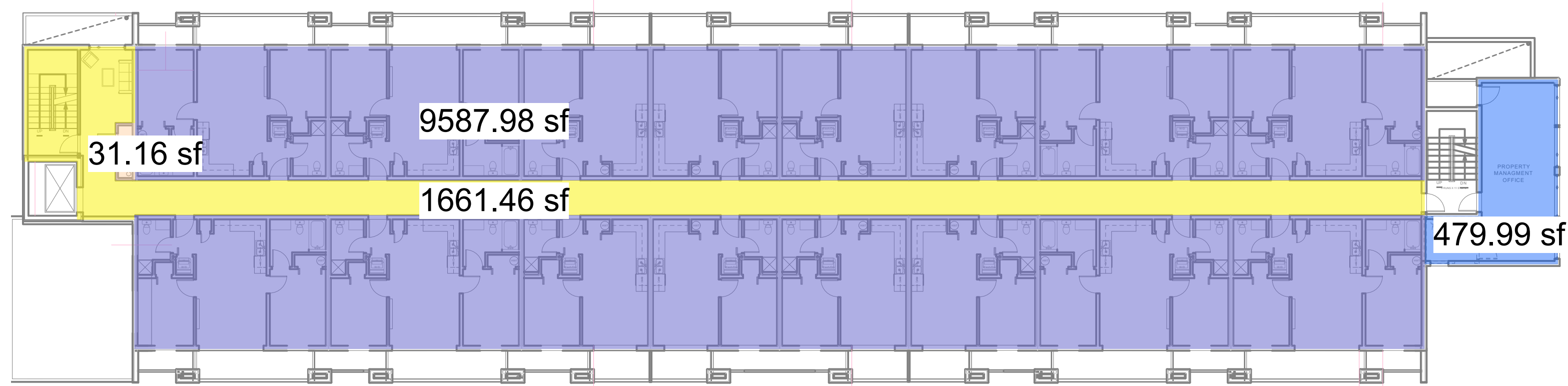
No.	Revision:	Date:

Sealed By: _____

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

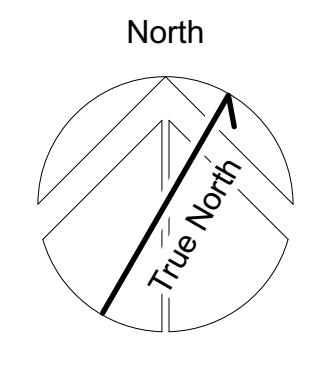
Drawn By: _____ Scale: 1/8" = 1'0"
 BM/DA
 Project No: 1210
 Sheet No: **A-2.1 B [R]**
 BUILDING-B GROUND FLOOR

8 ONE BEDROOM RESIDENTIAL UNIT
 8 TWO BEDROOM RESIDENTIAL UNITS



1 SECOND FLOOR PLAN
 1/8" = 10"

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
 CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-B SECOND FLOOR
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

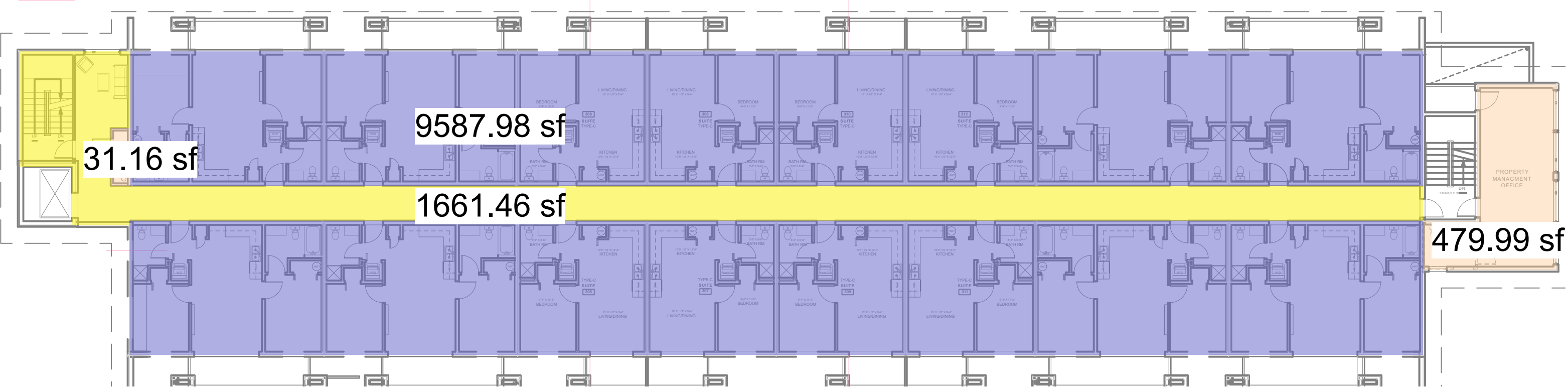
No: _____ Revision: _____ Date: _____

Sealed By: _____

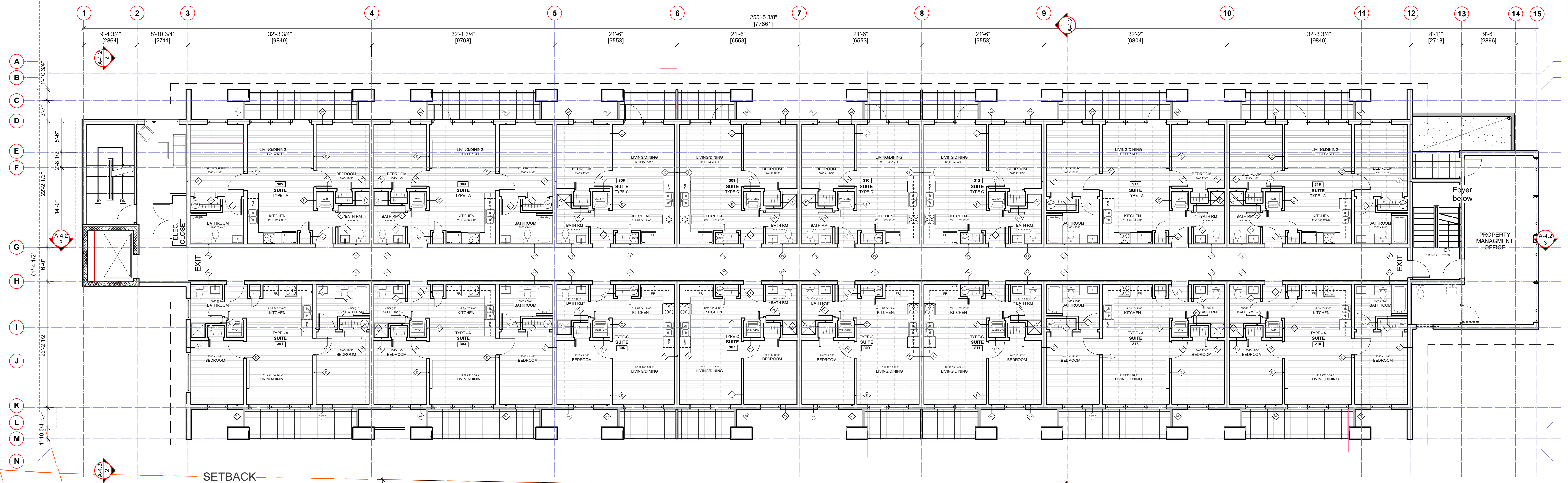
MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By: _____ Scale: 1/8" = 10"
 BM/DA _____
 Project No: 1210 Sheet No: **A-2.2 B [R]**
 BUILDING-B SECOND FLOOR

8 ONE BEDROOM RESIDENTIAL UNIT
 8 TWO BEDROOM RESIDENTIAL UNITS

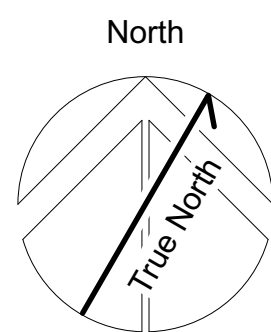


SETBACK



1 THIRD FLOOR PLAN
 1/8" = 1'0"

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
 CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-B THIRD FLOOR
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

No: _____ Revision: _____ Date: _____
 Sealed By: _____

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

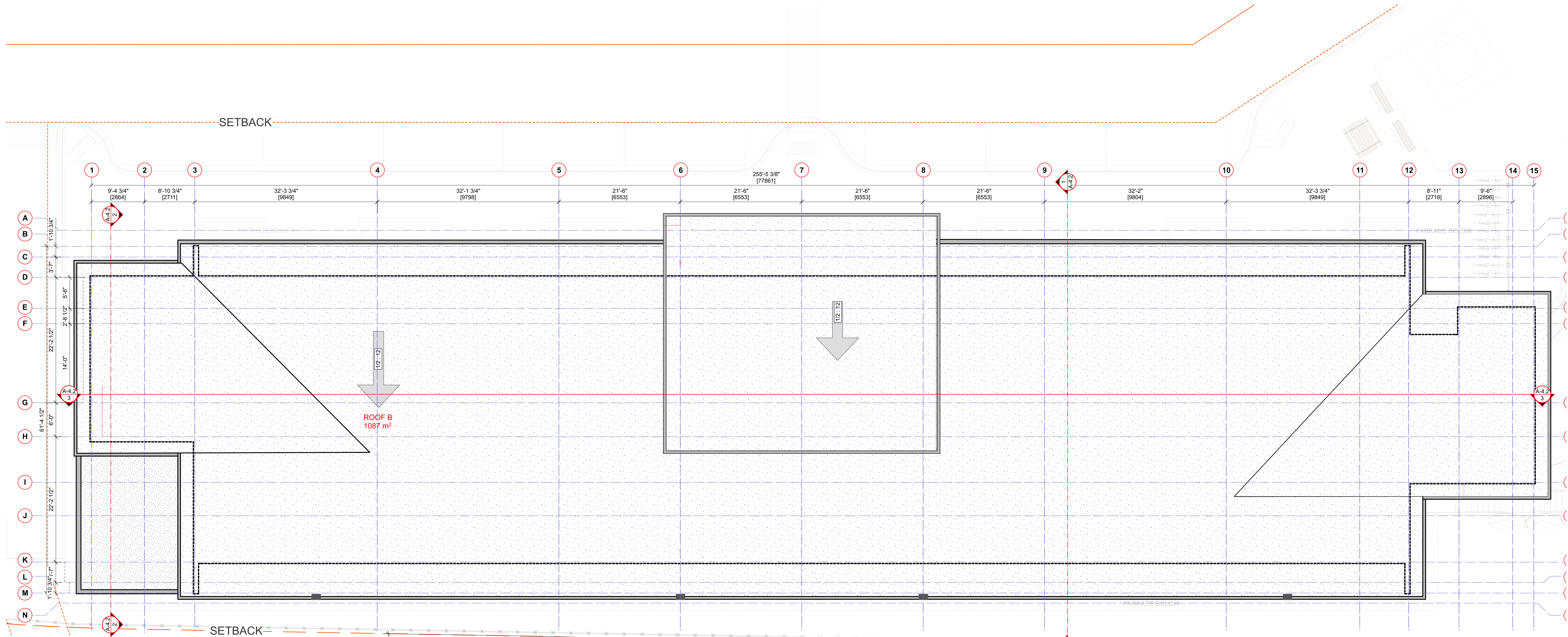
Drawn By: _____ Scale: 1/8" = 1'0"
 BM/DK
 Project No: 1210
 Sheet No: _____

A-2.3 B [R]
 BUILDING-B THIRD FLOOR

BUILDING-B HEIGHT CALCULATIONS <METRIC>				
Roof	Area	% of tot.	Mean height	Wtd. Avg.
ROOF A	85.7	6.4	12.42	0.80
ROOF B	1087.0	81.3	11.60	9.43
ROOF C	59.5	4.4	11.87	0.53
ROOF D	45.6	3.4	7.10	0.24
ROOF E	59.5	4.4	11.80	0.53
Total	1337.3	100.0	Overall Mean HT.:	11.52

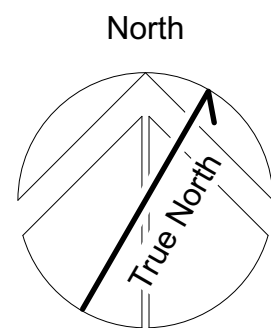
Total Permitted 12m

*NOTE: LOW SLOPE TORCH ON ROOF NO SIGNIFICANT SNOW DUMP



1 ROOF PLAN - BUILDING B
1/8" = 1'0"

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-B ROOF PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

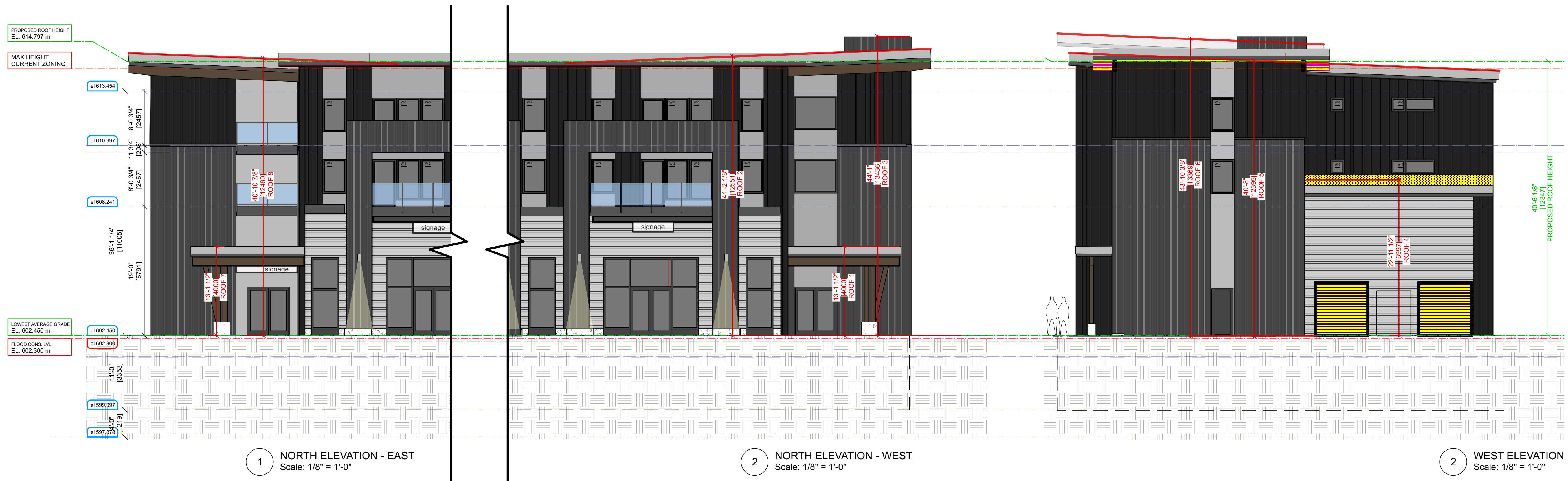
No.	Revision:	Date:

Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
BM/DK 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210

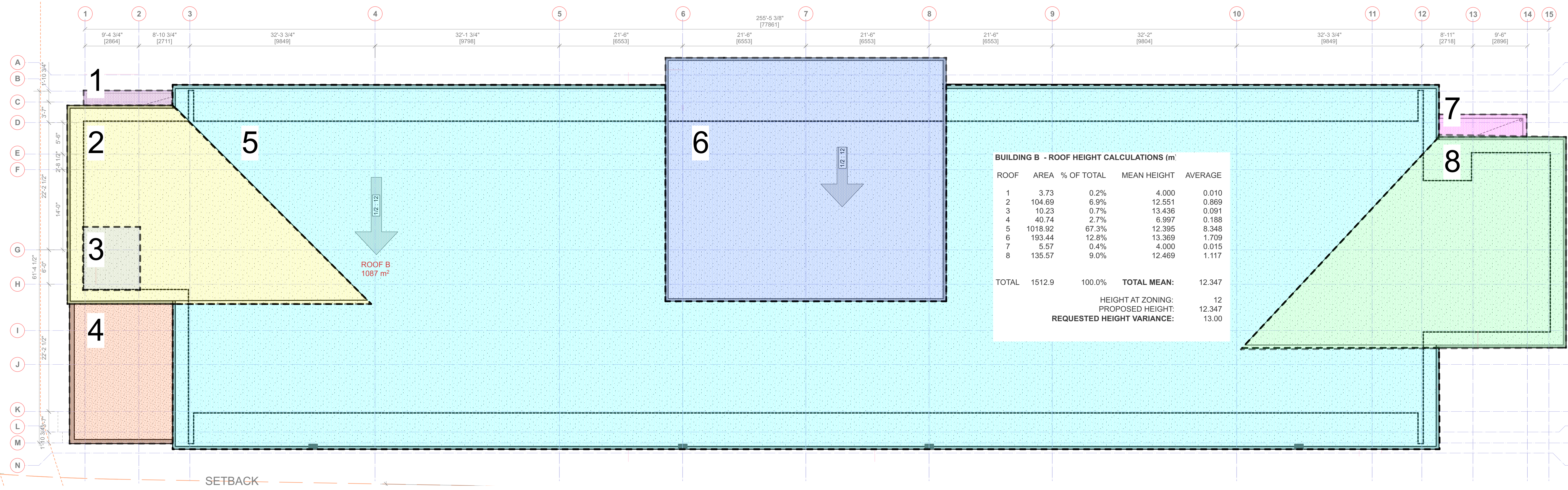
A-2.4 B [R]
BUILDING-B ROOF PLAN



1 NORTH ELEVATION - EAST
Scale: 1/8" = 1'-0"

2 NORTH ELEVATION - WEST
Scale: 1/8" = 1'-0"

2 WEST ELEVATION
Scale: 1/8" = 1'-0"



This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

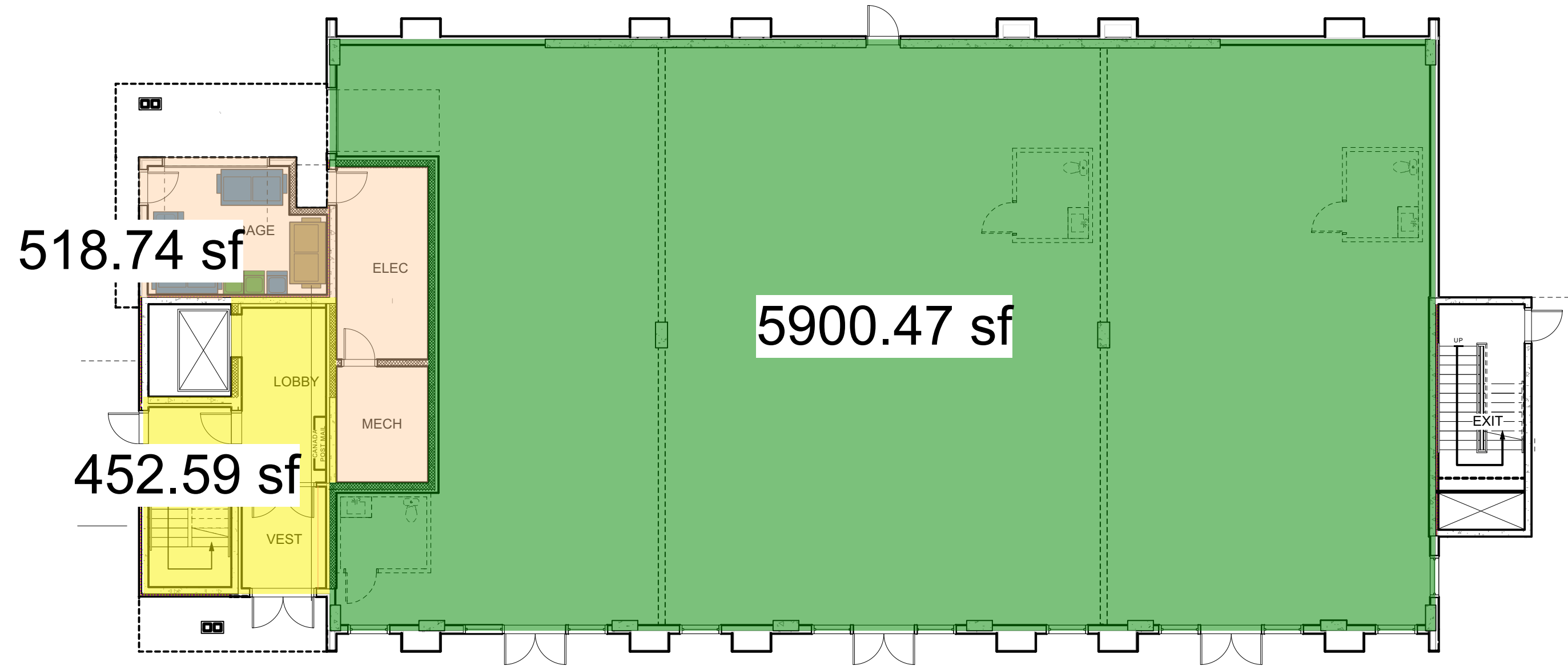
Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
B - ROOF HEIGHT CALCULATIONS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

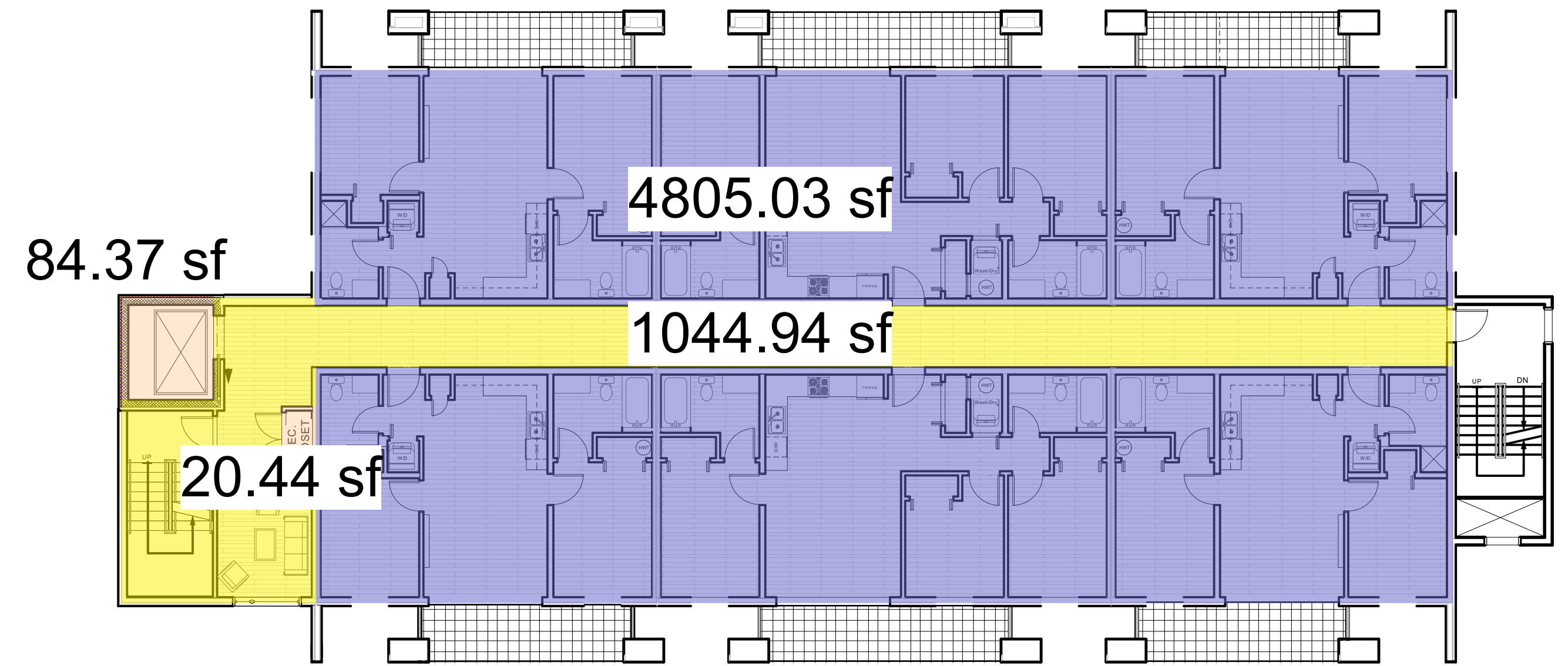
No: _____ Revision: _____ Date: _____
 Sealed By: _____

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

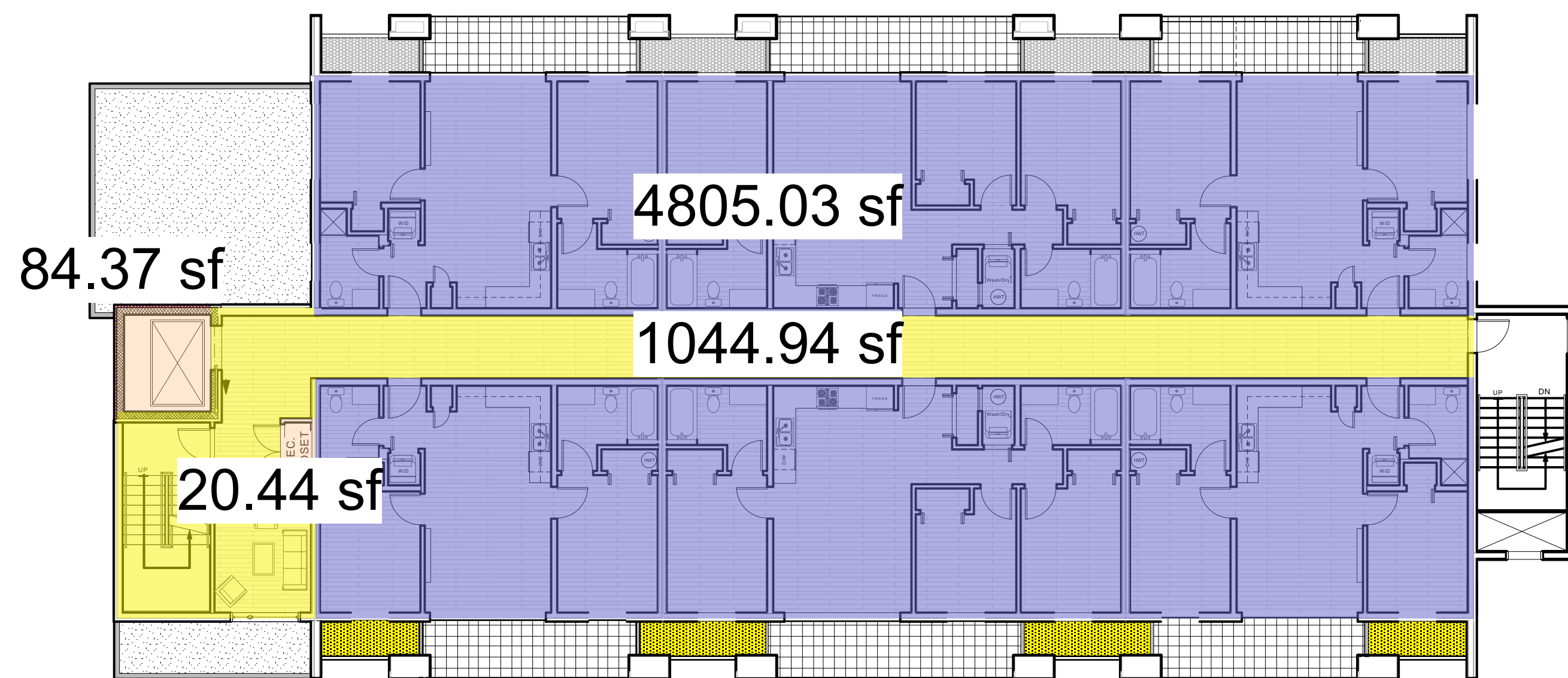
Drawn By: _____ Scale: _____
 NM 1/8" = 1'0"
 Project No: _____ Sheet No: _____
 1210 **A-2.5 B [R]**
 B - ROOF HEIGHT CALCULATIONS



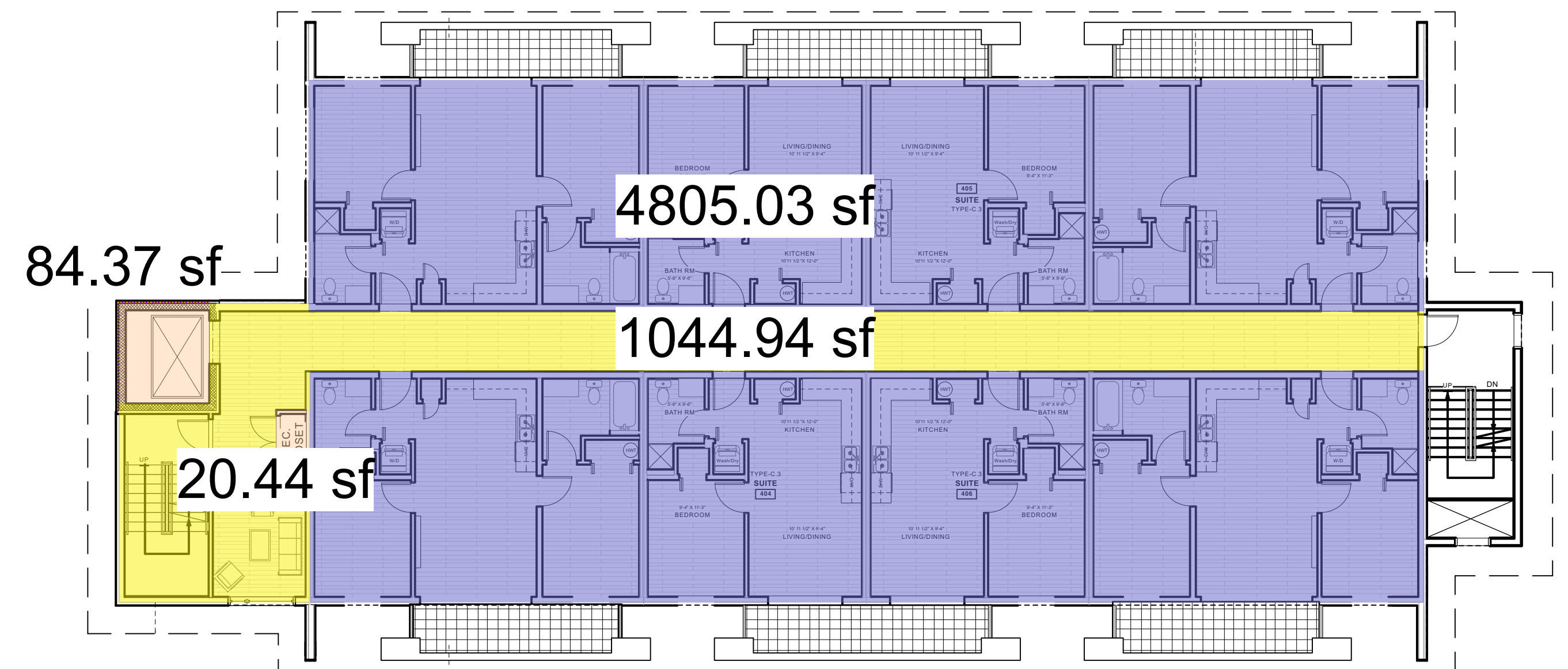
1 GROUND FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"



3 THIRD FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"



2 SECOND FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"

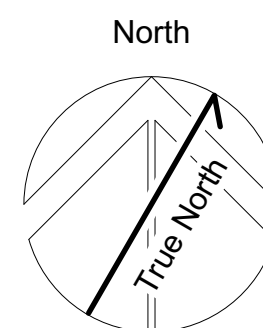


4 FOURTH FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"

MUNICIPAL GROSS FLOOR AREA - Tseqwtsúqum, Function Junction

	CIRCULATION (SQ.M.)	COMMERCIAL (SQ.M.)	RESIDENTIAL (SQ.M.)	SERVICE (SQ.M.)	BIKE STORAGE (SQ.M.)
GROUND FLOOR	42.05 SQ.M.	548.13 SQ.M.	0.00 SQ.M.	48.19 SQ.M.	0.00 SQ.M.
SECOND FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
THIRD FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
FOURTH FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
SUB-TOTAL:	333.26 SQ.M.	548.13 SQ.M.	1339.20 SQ.M.	53.88 SQ.M.	0.00 SQ.M.
TOTAL GFA:	2220.58 SQ.M.				
TOTAL AREA EXCLUDED:	53.88 SQ.M.				
TOTAL AREA BUILT:	2274 SQ.M.				

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

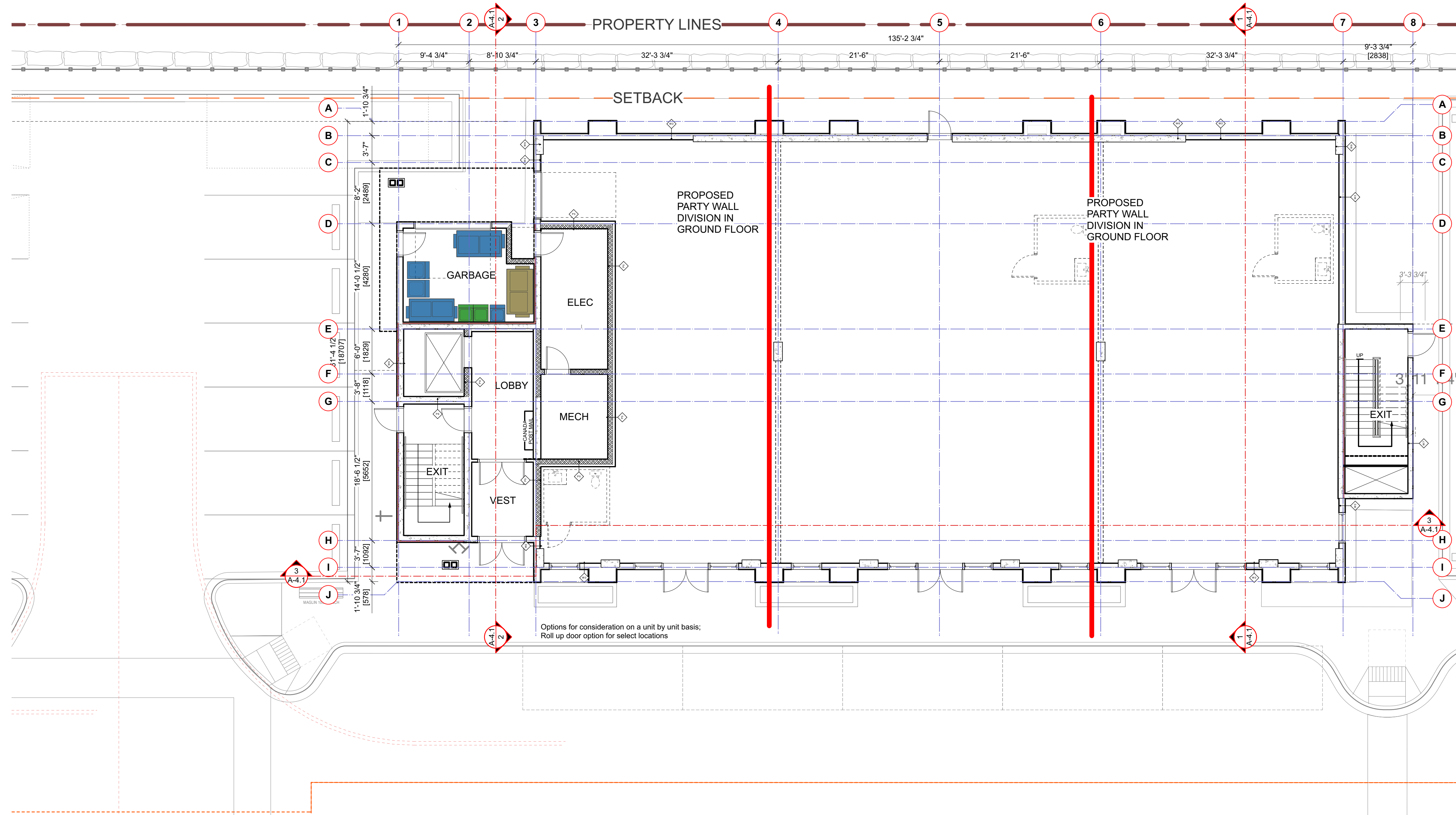
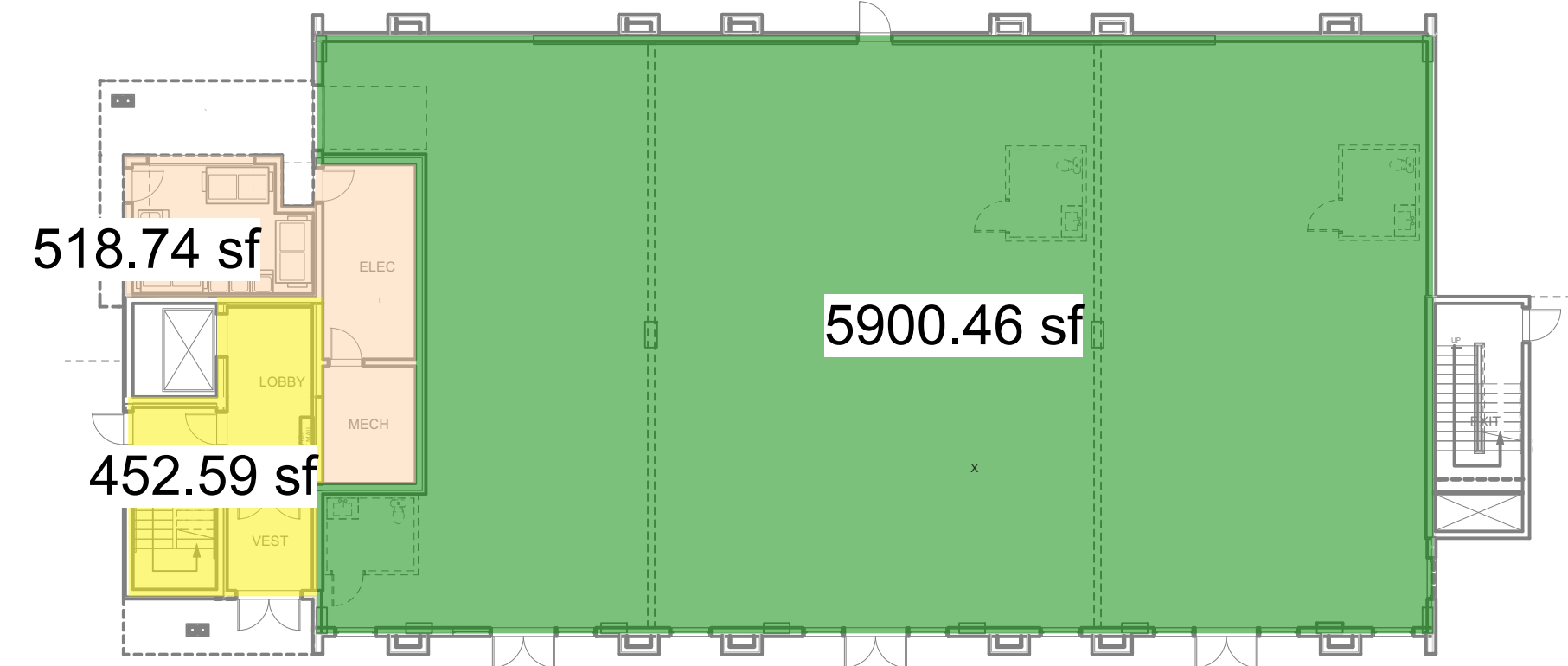
Sheet Title:
C - MUNICIPAL GFA
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No: _____ Revision: _____ Date: _____
Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

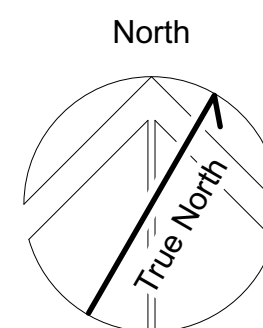
Drawn By: _____ Scale: _____
BM/DA 3/32" = 1'0"
Project No: _____ Sheet No: _____
1210

A-2.0 C [R]
C - MUNICIPAL GFA



1 GROUND FLOOR PLAN
1/8" = 1'0"

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



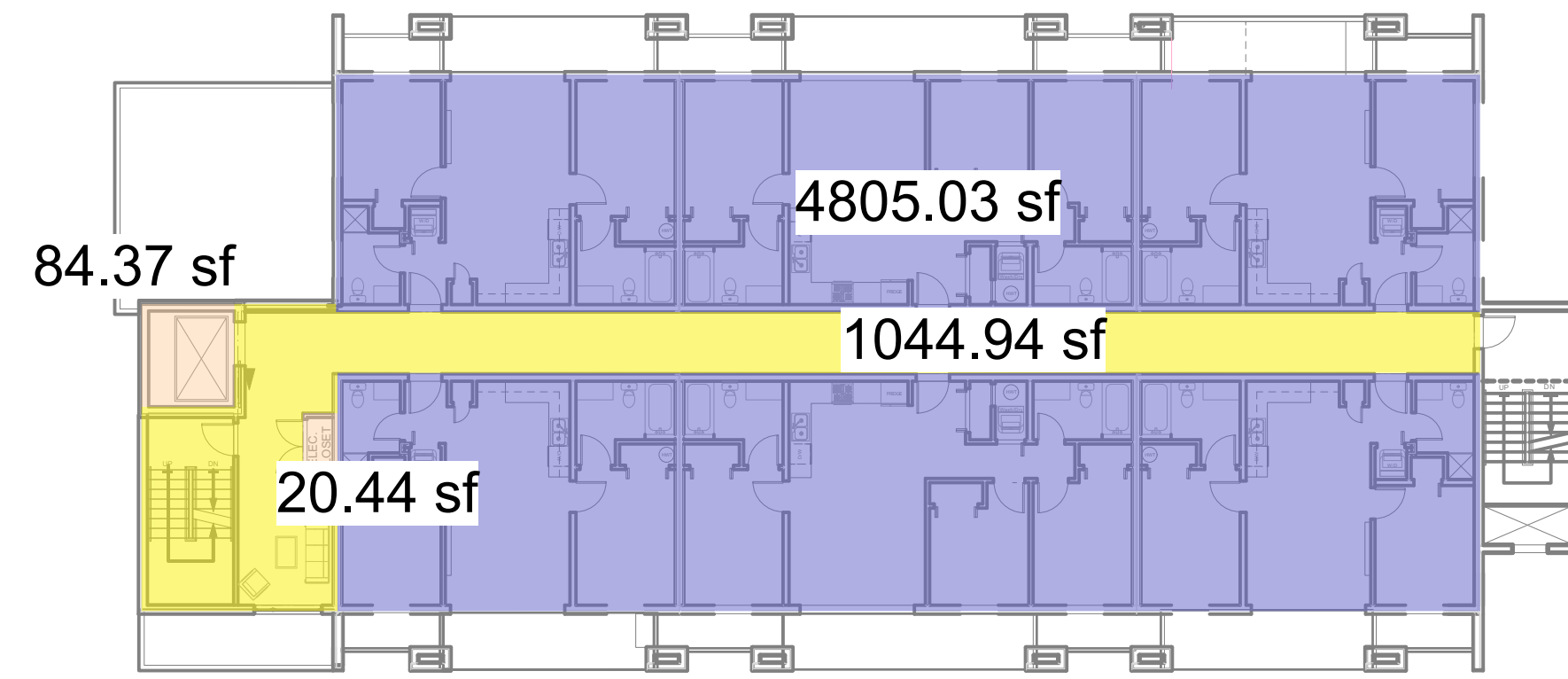
Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-C GROUND FLOOR
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

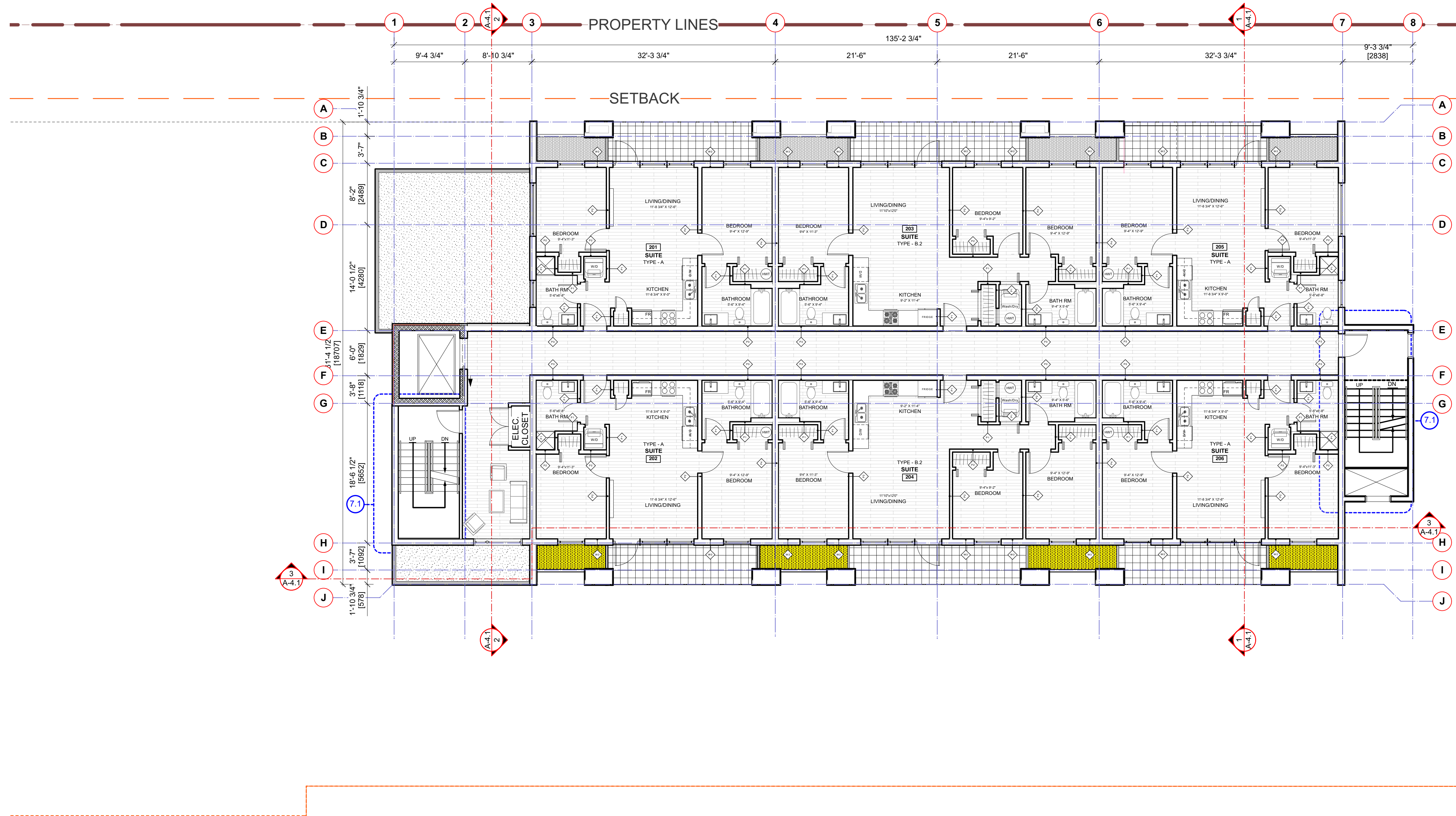
No.	Revision:	Date:	Sealed By:

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
BM/DA 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210 **A-2.1 C [R]**
BUILDING-C GROUND FLOOR

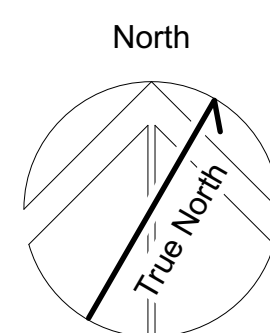


4 TWO BEDROOM RESIDENTIAL UNITS
2 THREE BEDROOM RESIDENTIAL UNITS



1 SECOND FLOOR PLAN
1/8" = 1'0"

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-C SECOND FLOOR
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

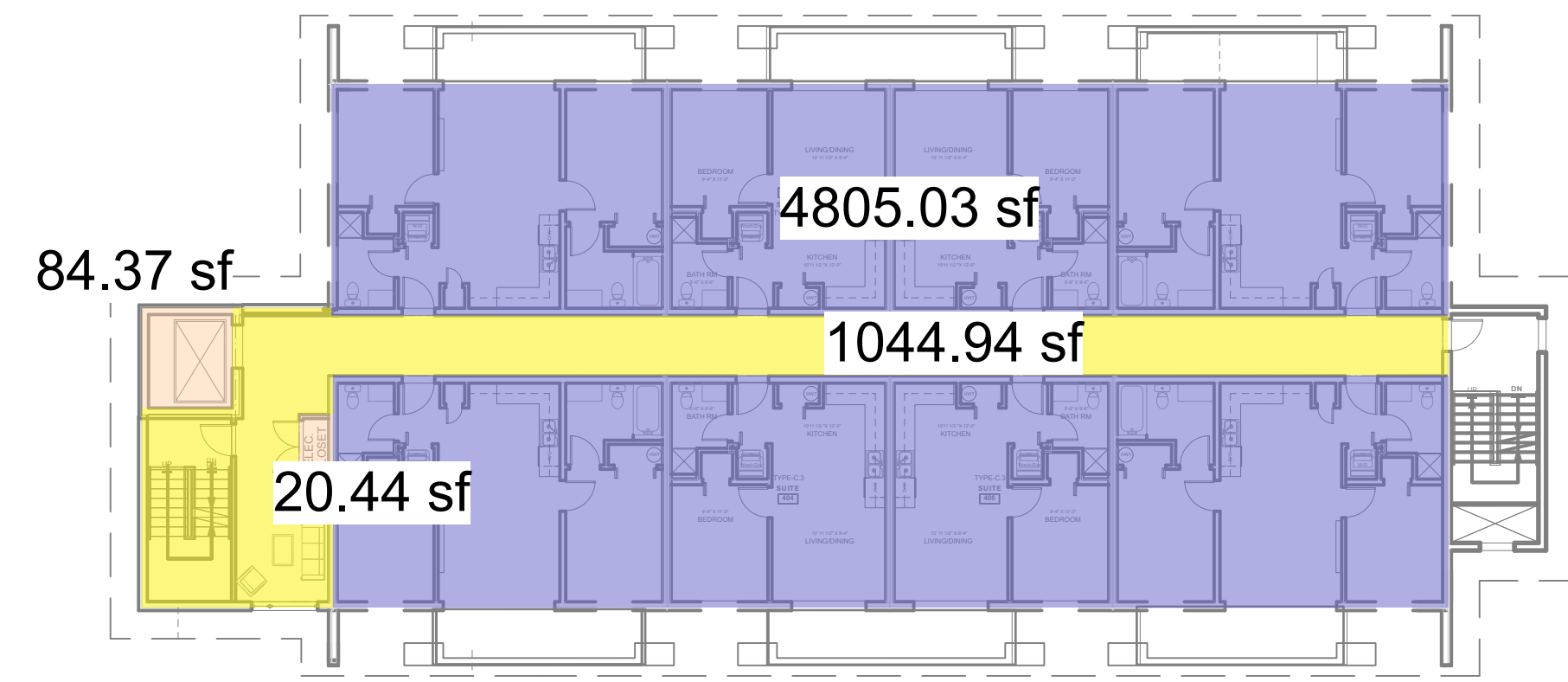
No.	Revision:	Date:

Sealed By: _____

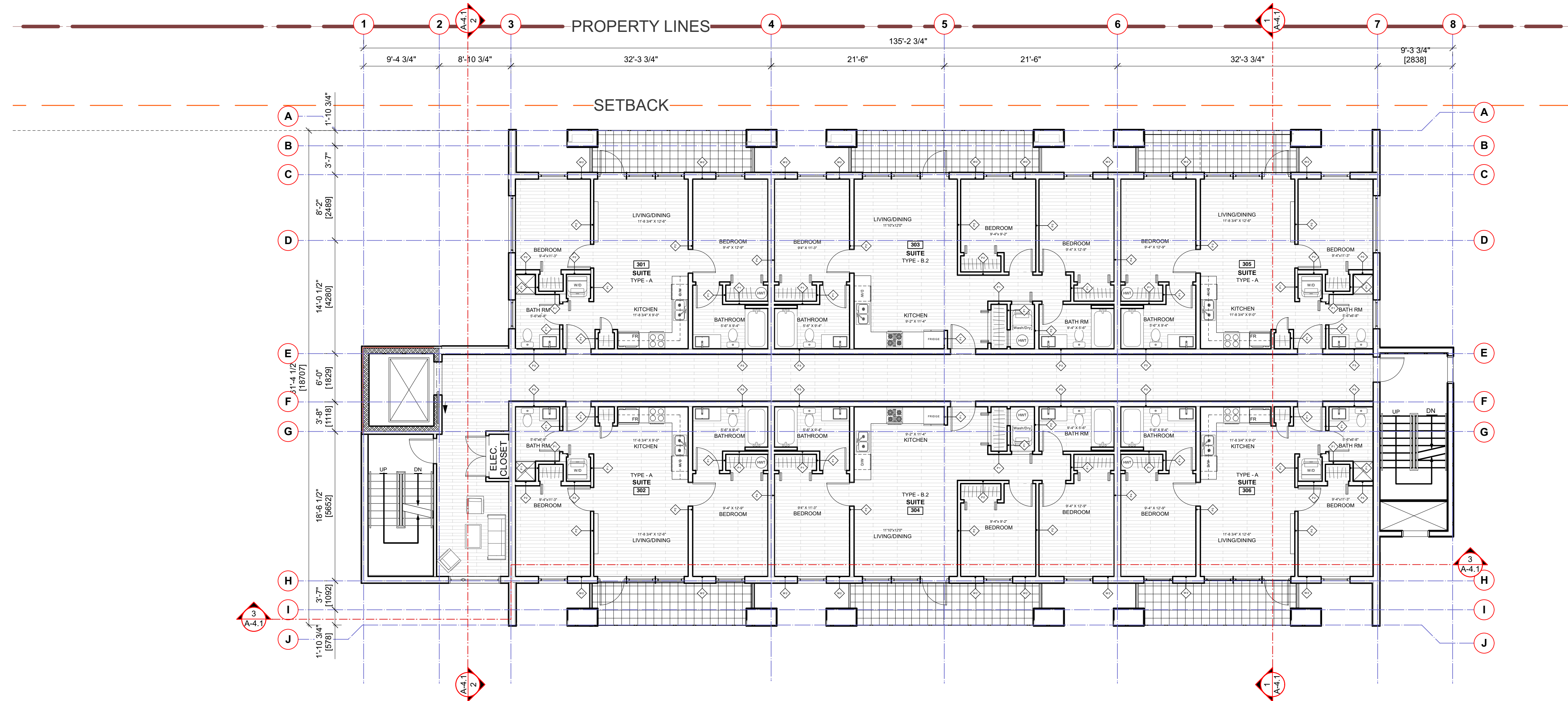
MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
BM/DA 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210

A-2.2 C [R]
BUILDING-C SECOND FLOOR

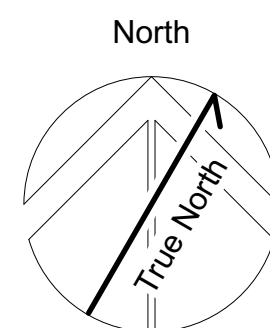


4 TWO BEDROOM RESIDENTIAL UNITS
2 THREE BEDROOM RESIDENTIAL UNITS



1 THIRD FLOOR PLAN
1/8" = 1'0"

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

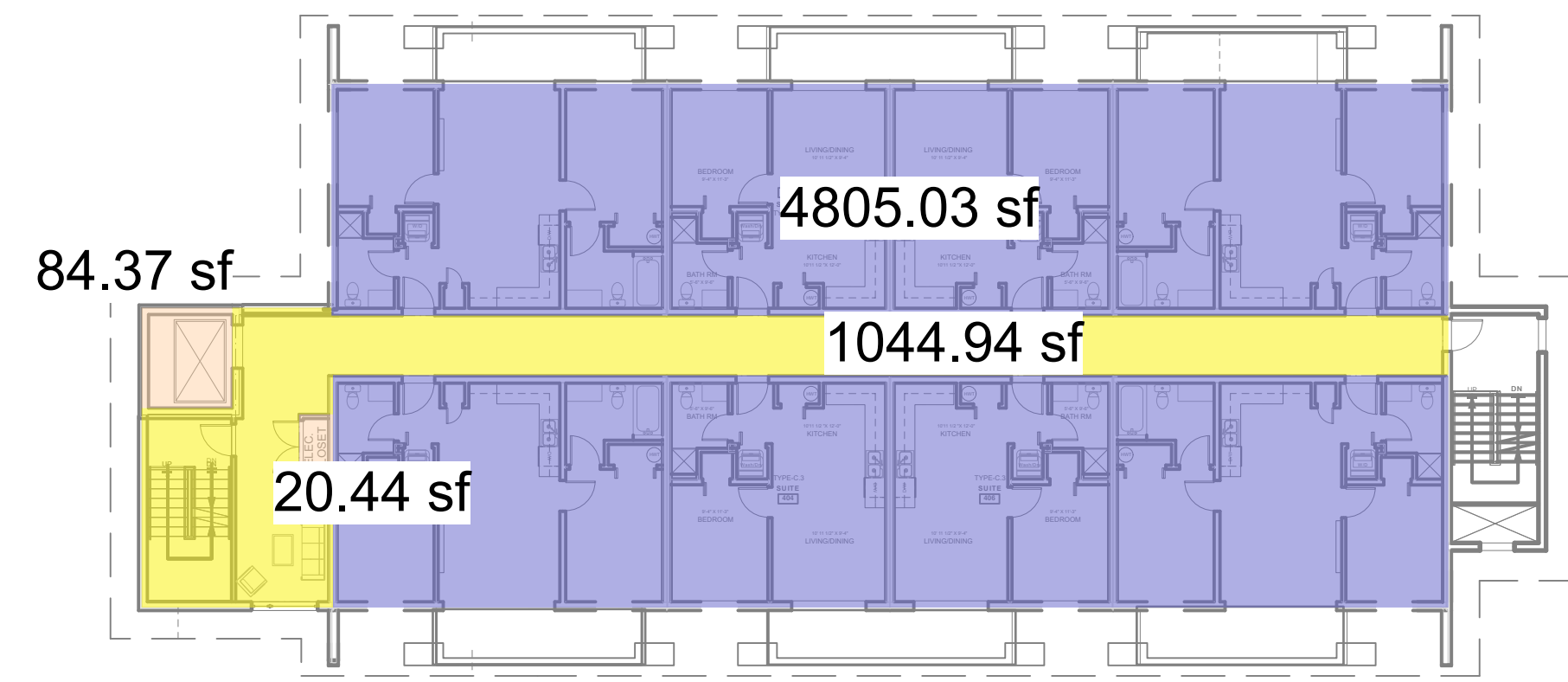
Sheet Title:
BUILDING-C THIRD FLOOR
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No.	Revision:	Date:	Sealed By:

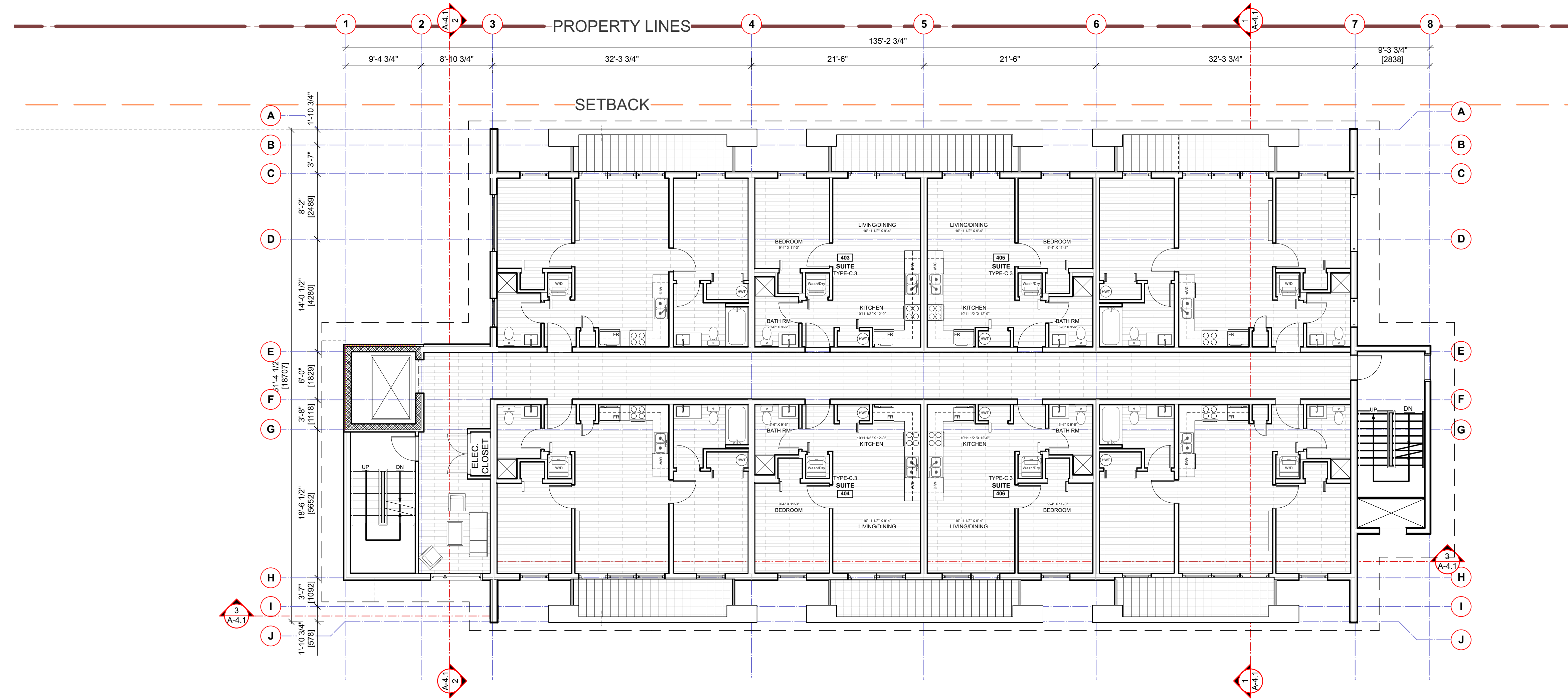
MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
BM/DA 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210

A-2.3 C [R]
BUILDING-C THIRD FLOOR

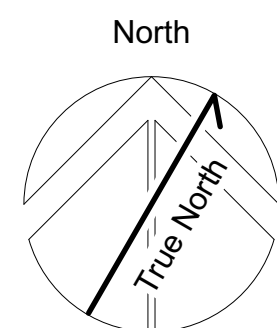


4 TWO BEDROOM RESIDENTIAL UNITS
4 ONE BEDROOM RESIDENTIAL UNITS



1 FOURTH FLOOR PLAN
1/8" = 1'0"

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-C FOURTH FLOOR
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No.	Revision:	Date:

Sealed By: _____

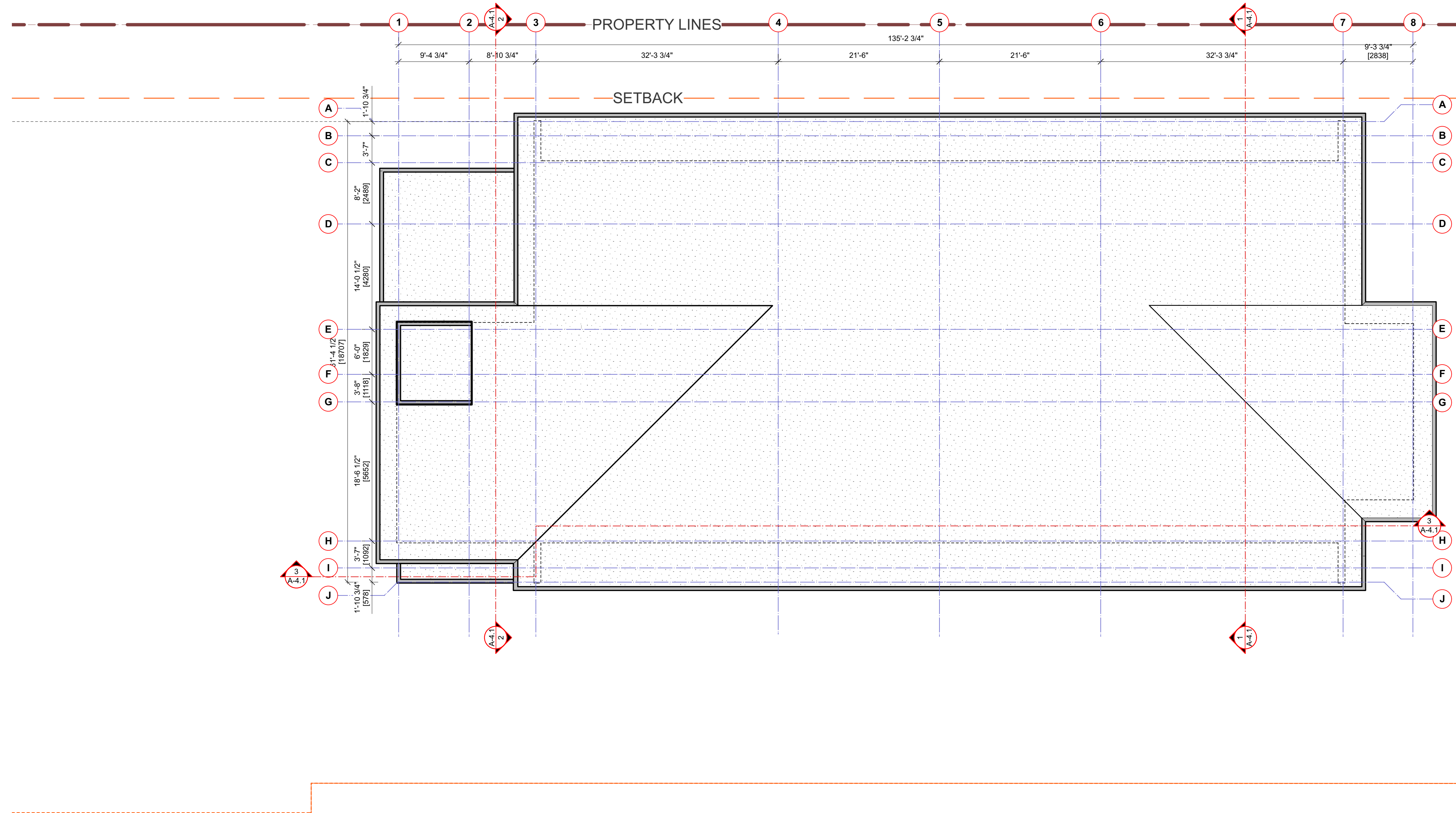
MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
BM/DA 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210

A-2.4 C [R]
BUILDING-C FOURTH FLOOR

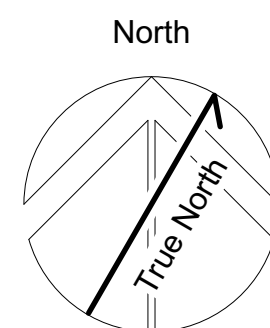
BUILDING-A HEIGHT CALCULATIONS <METRIC>				
Roof	Area	% of tot.	Mean height	Wtd. Avg.
ROOF A	621.0	83.3	12.18	10.15
ROOF B	59.1	7.9	12.52	0.99
ROOF C	36.2	4.9	12.64	0.61
ROOF D	28.9	3.9	4.41	0.17
Total	745.2	100.0	Overall Mean Ht.:	11.93
Total Permitted 12.0m				

*NOTE: LOW SLOPE TORCH ON
ROOF NO SIGNIFICANT SNOW DUMP



1 ROOF PLAN - BUILDING C
1/8" = 1'0"

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-C ROOF
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No.	Revision:	Date:	Sealed By:

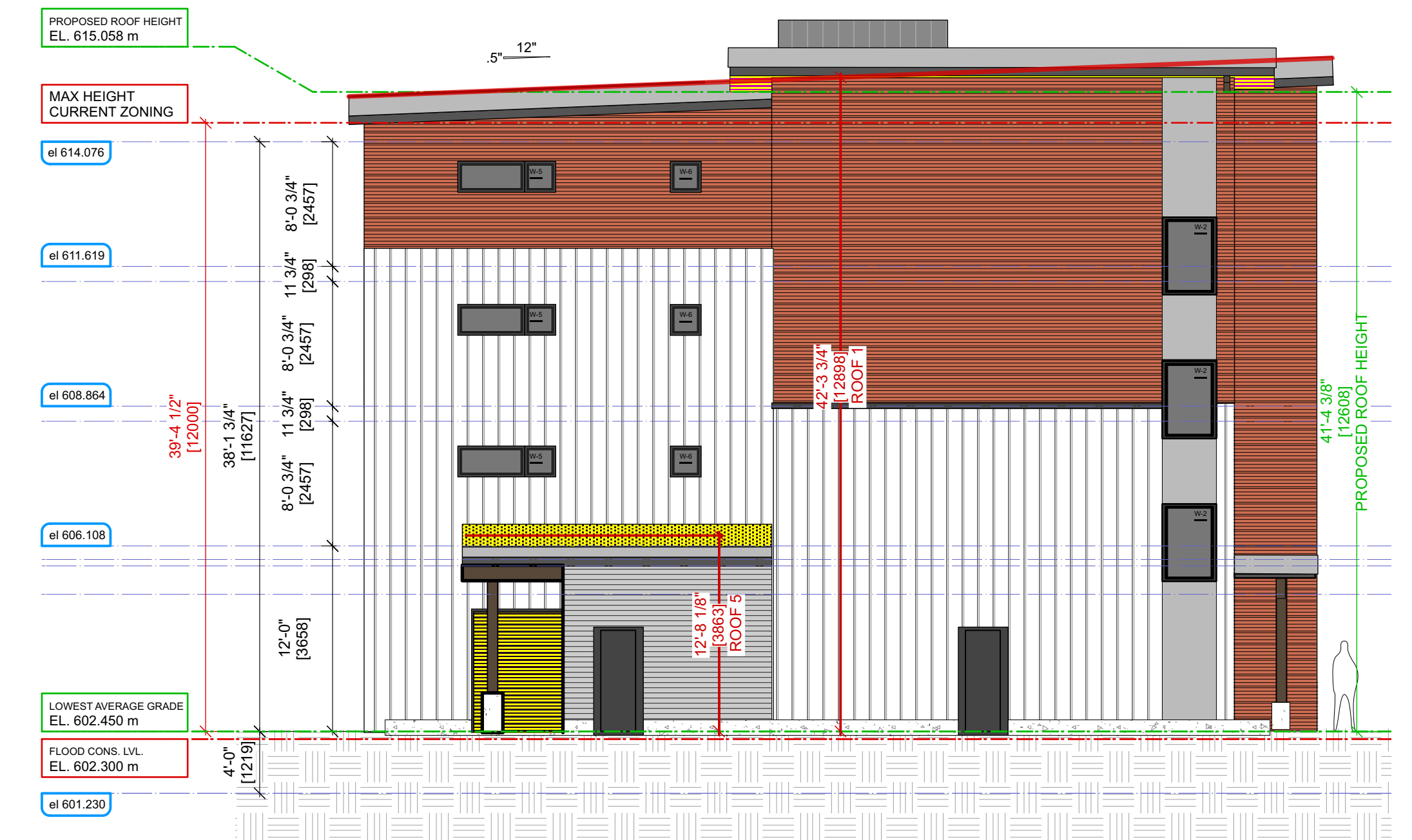
MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
BM/DA 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210

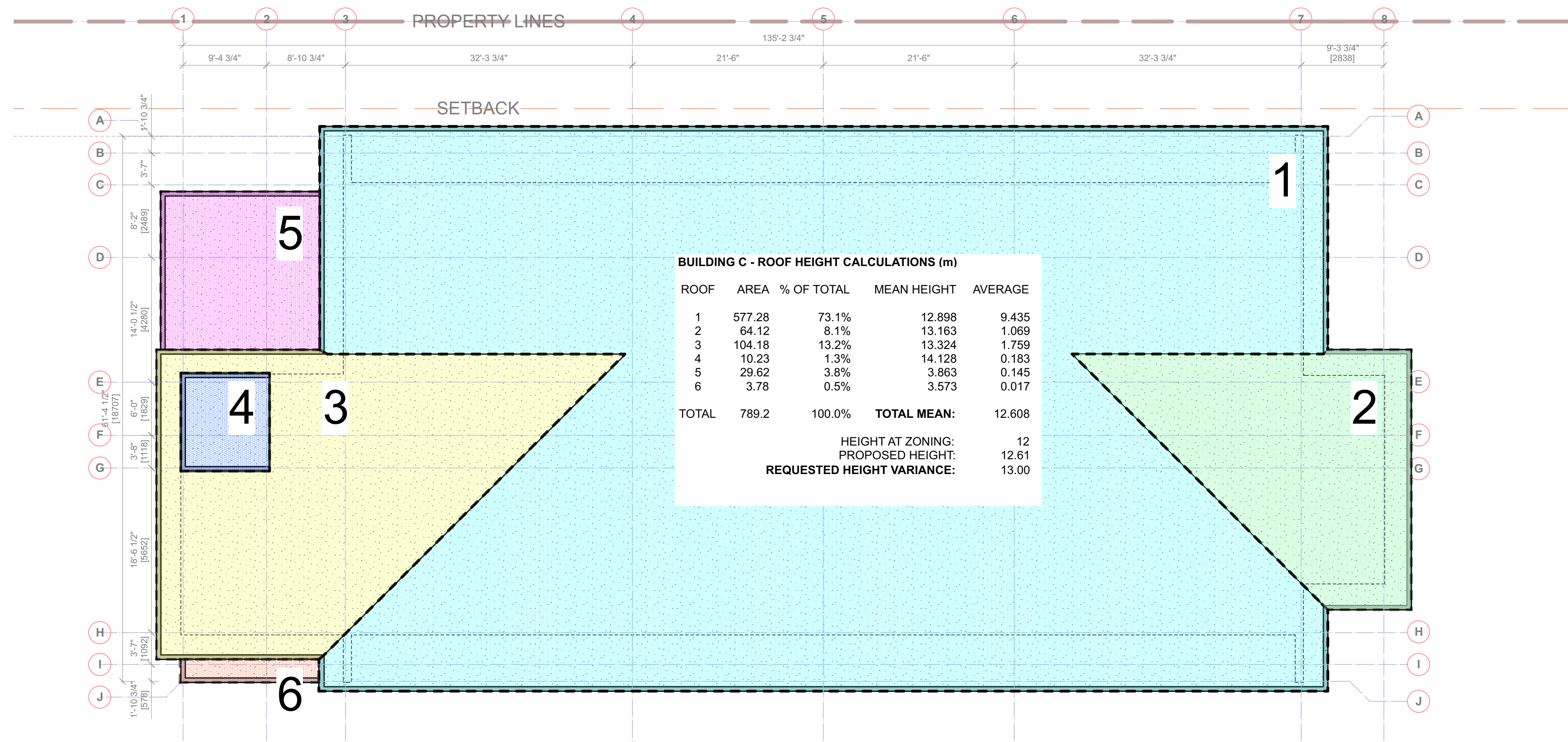
A-2.5 C [R]
BUILDING-C ROOF



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

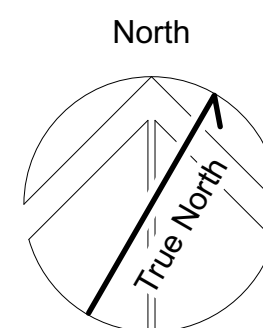


2 WEST ELEVATION
Scale: 1/8" = 1'-0"



3 ROOF DIAGRAM
Scale: 1/8" = 1'-0"

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
 CONSOLIDATED DP SUBMISSION MAR. 20, 2024

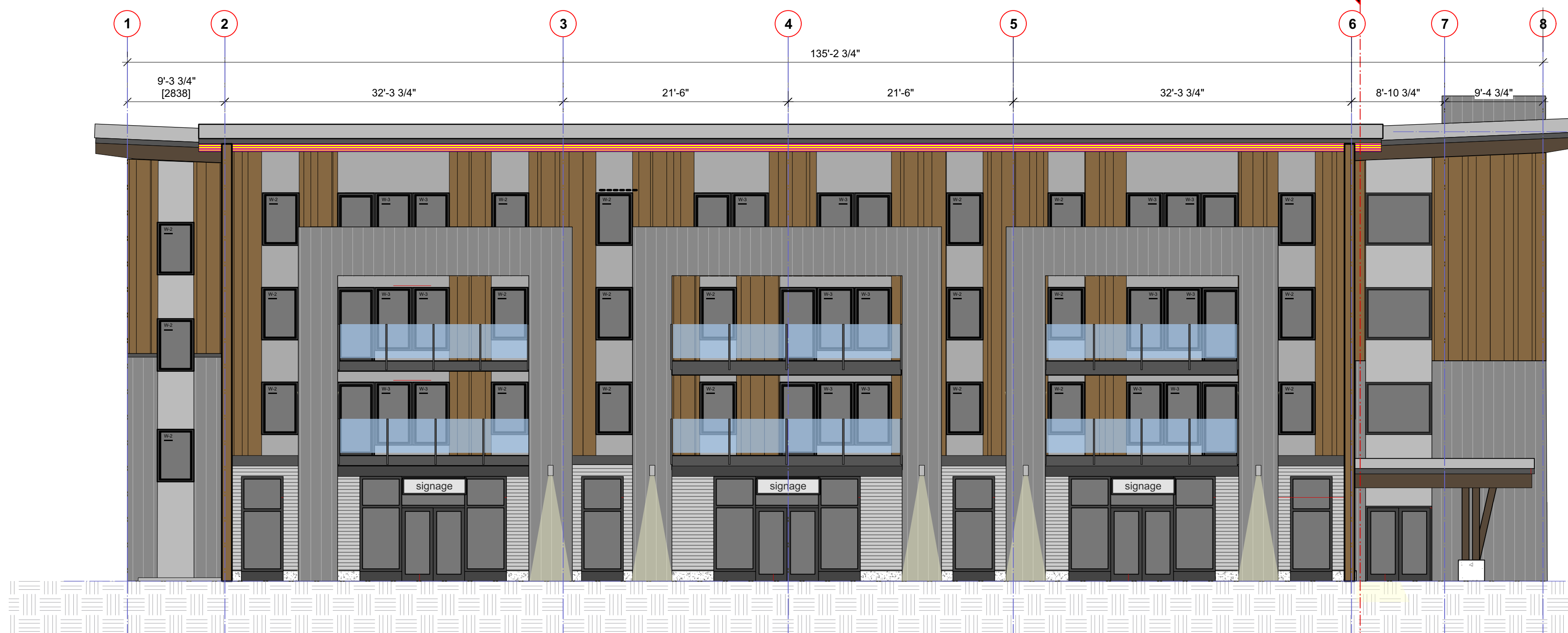
Sheet Title:
C - ROOF HEIGHT CALCULATIONS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

No: _____ Revision: _____ Date: _____
 Sealed By: _____

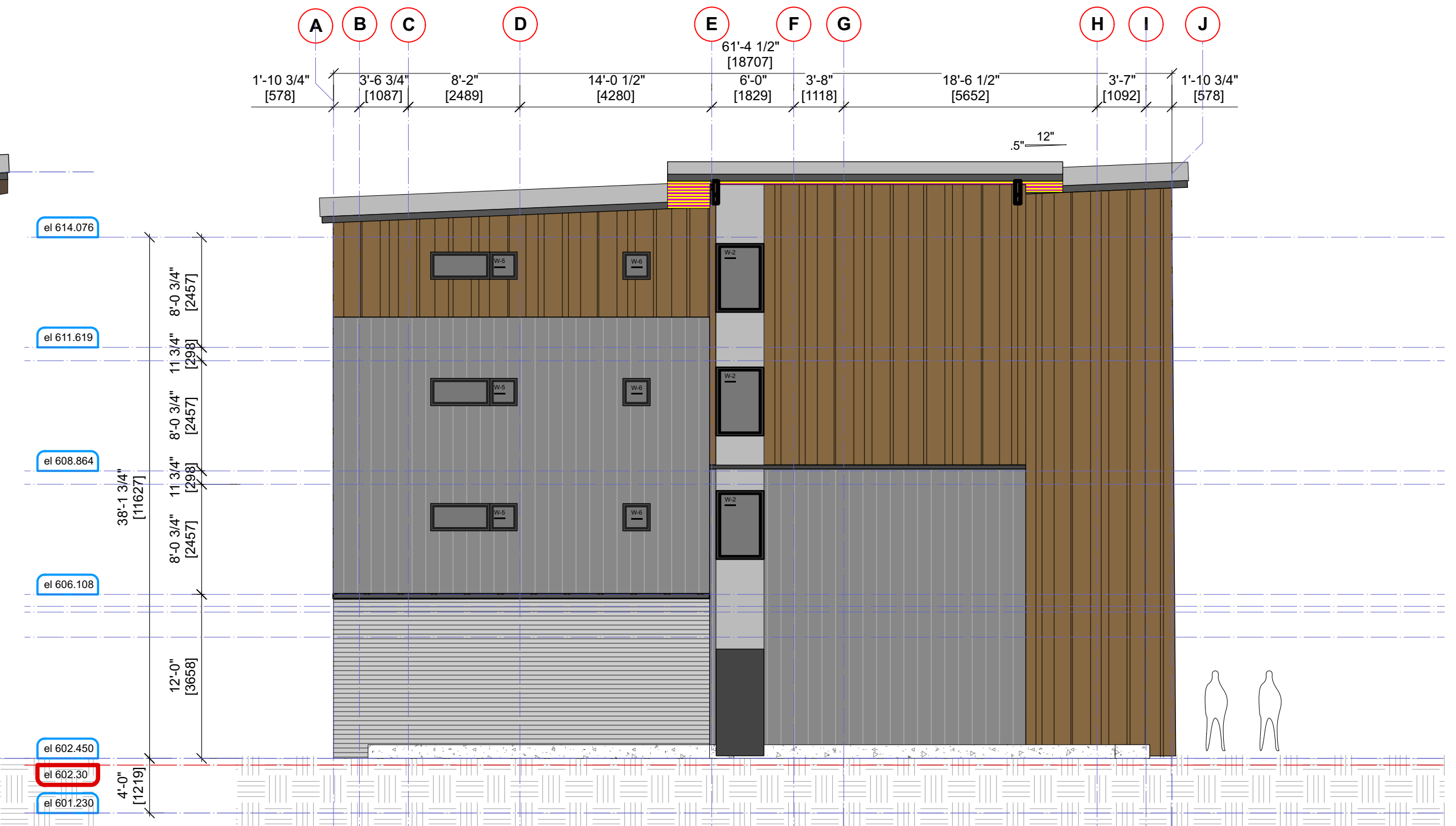
MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
 NM 1/8" = 1'0"

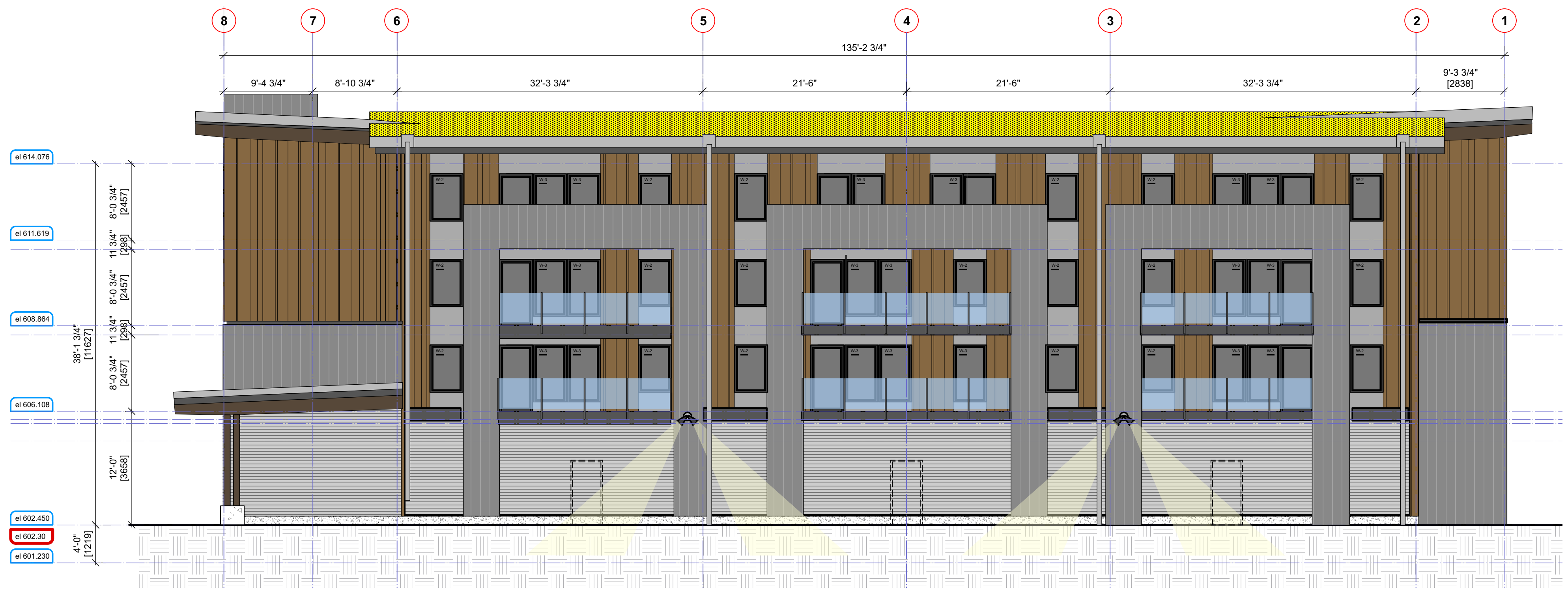
Project No: _____ Sheet No: _____
 1210 **A-2.6 C [R]**
 C - ROOF HEIGHT CALCULATIONS



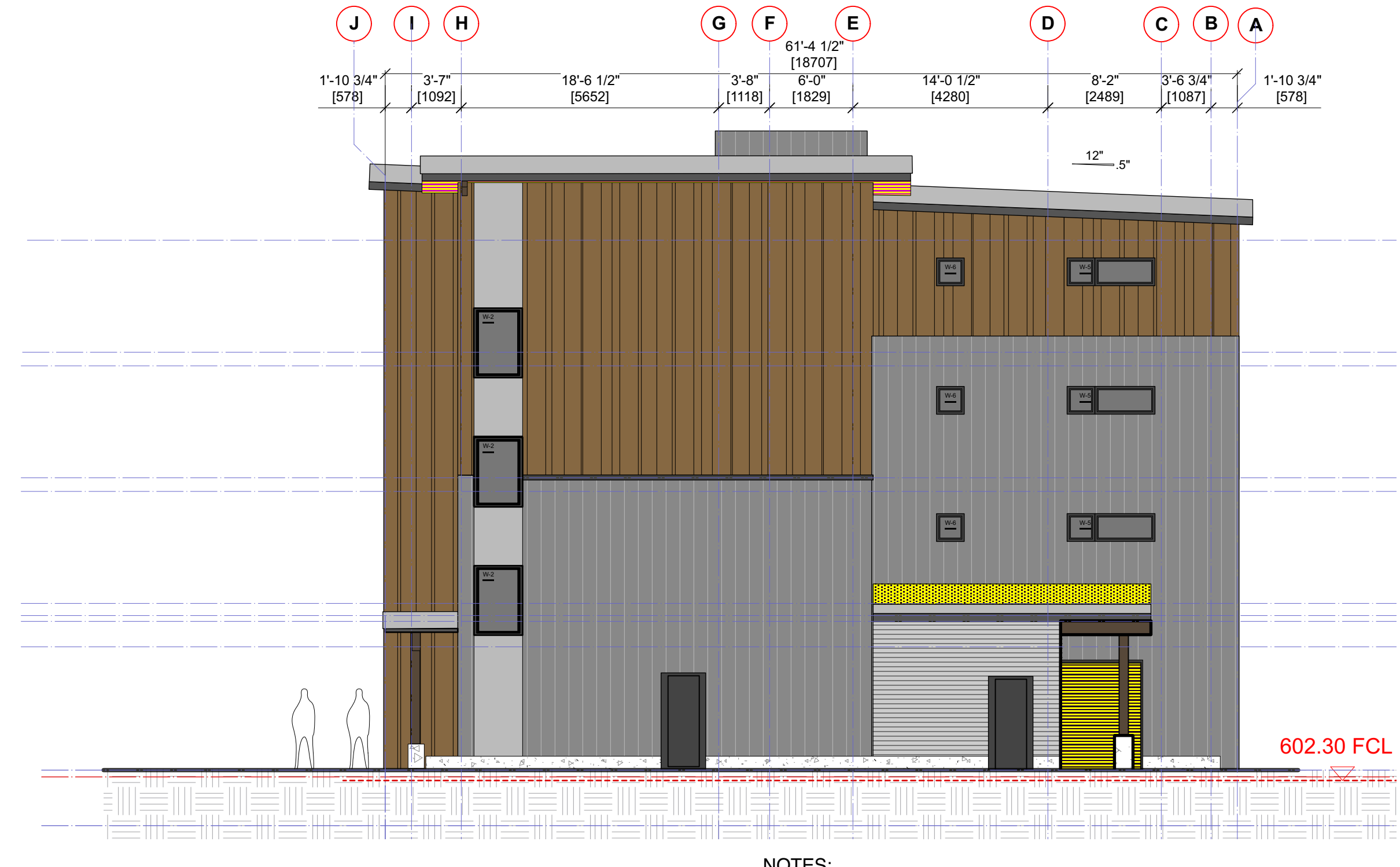
1 SOUTH ELEVATION - BUILDING A
1/8" = 1'0"



2 WEST ELEVATION - BUILDING A
1/8" = 1'0"

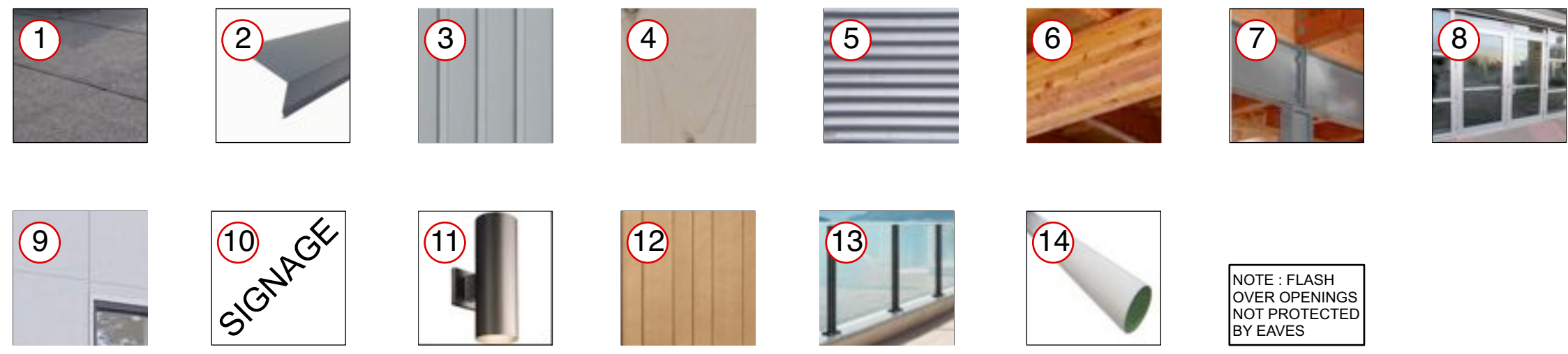


3 NORTH ELEVATION - BUILDING A
1/8" = 1'0" imperial



4 EAST ELEVATION - BUILDING A
1/8" = 1'0" imperial

NOTES:
 ⚠ - LIGHTING FIXTURES TO BE DOWNWARD DIRECTED AND FULL CUT OFF FULLY SHIELDED. ANY LIMITED ARCHITECTURAL LIGHTING MUST BE FULLY AND PHYSICALLY CUT OFF BY SOFFIT. LIGHTING TO BE CONSISTENT WITH RMOW NIGHT SKY POLICY.
 - ANY EXTERIOR ELECTRICAL CONDUIT SHALL BE HIDDEN IN CONCEALED SOFFIT AND BEHIND FASCIA



EXTERIOR FINISHES LEGEND / MATERIAL BOARD
TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS

- | | | | |
|---------------------------------------|---|--|--|
| 1 TORCH ON ROOFING MEMBRANE | 5 HORIZONTAL CORRUGATED METAL SIDING
PREFINISHED GALVALUM COLOR CONFIRM BY ARCH. | 9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM | 12 HARDIE BOARD - VERTICAL SIDING - LIGHT BROWN |
| 2 PREFINISHED METAL FLASHING | 6 WOOD TRIM / GLULAM STAINED | 10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY
(RMOW SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA) | 13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS |
| 3 STANDING SEAM CLADDING - LIGHT GREY | 7 STEEL FABRICATED AWNING - PAINTED | 11 EXTERIOR LIGHTING
(ALL FIXTURE TO BE FULL CUT OFF) | 14 ALUMINUM DOWN PIPES |
| 4 SOFFITING - STAINED SOLID WOOD | 8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS | | |

NOTE - FLASH OVER OPENINGS NOT PROTECTED BY EAVES

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

North
 Issued For: **CONSOLIDATED DP SUBMISSION** Date: **MAR. 20, 2024**

Sheet Title:
A - ELEVATIONS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

No: _____ Revision: _____ Date: _____

Sealed By: _____

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By: **PMG** Scale: **1/8" = 1'0"**
 Project No: **1210** Sheet No: **A-3.1 A [R]**
 A - ELEVATIONS

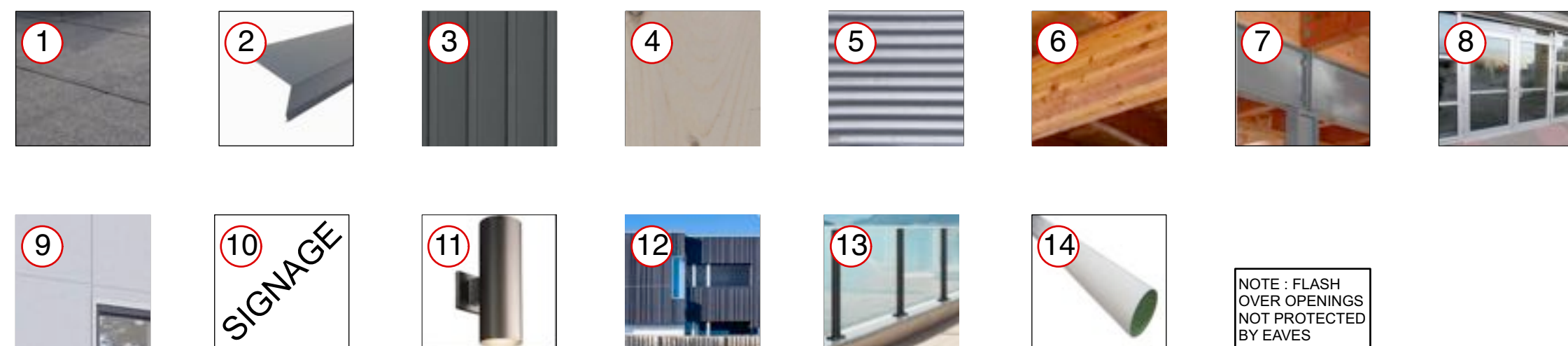


1 NORTH ELEVATION - BUILDING B
1/8" = 1'0"



2 WEST ELEVATION - BUILDING B
1/8" = 1'0"

- NOTES:**
- LIGHTING FIXTURES TO BE DOWNWARD DIRECTED AND FULL CUT OFF FULLY SHIELDED. ANY LIMITED ARCHITECTURAL LIGHTING MUST BE FULLY AND PHYSICALLY CUT OFF BY SOFFIT. LIGHTING TO BE CONSISTENT WITH RMOW NIGHT SKY POLICY.
 - ANY EXTERIOR ELECTRICAL CONDUIT SHALL BE HIDDEN IN CONCEALED SOFFIT AND BEHIND FASCIA

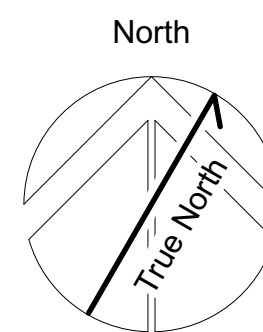


EXTERIOR FINISHES LEGEND / MATERIAL BOARD
TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS

- | | | | |
|----------------------------------|--|---|---|
| 1 TORCH ON ROOFING MEMBRANE | 5 HORIZONTAL CORRUGATED METAL SIDING PREFINISHED GALVALUM COLOR CONFIRM BY ARCH. | 9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM | 12 HARDIE BOARD AND BATTEN - RANDOM SPACING - DARK GREY |
| 2 PREFINISHED METAL FLASHING | 6 WOOD TRIM / GLULAM STAINED | 10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY (RMOW SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA) | 13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS |
| 3 STANDING SEAM CLADDING | 7 STEEL FABRICATED AWNING - PAINTED | 11 EXTERIOR LIGHTING (ALL FIXTURE TO BE FULL CUT OFF) | 14 ALUMINUM DOWN PIPES |
| 4 SOFFITING - STAINED SOLID WOOD | 8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS | | |

NOTE: FLASH OVER OPENINGS NOT PROTECTED BY EAVES

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



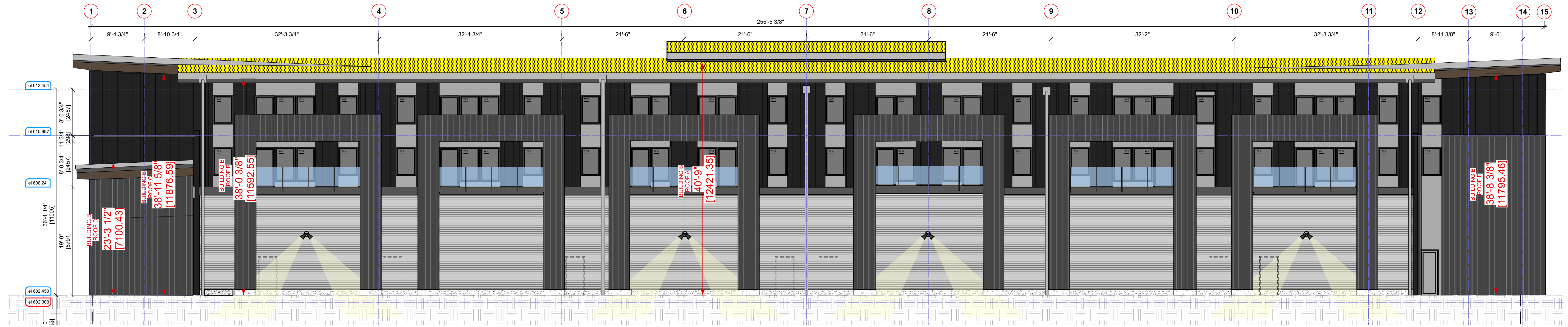
Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING B ELEVATIONS
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

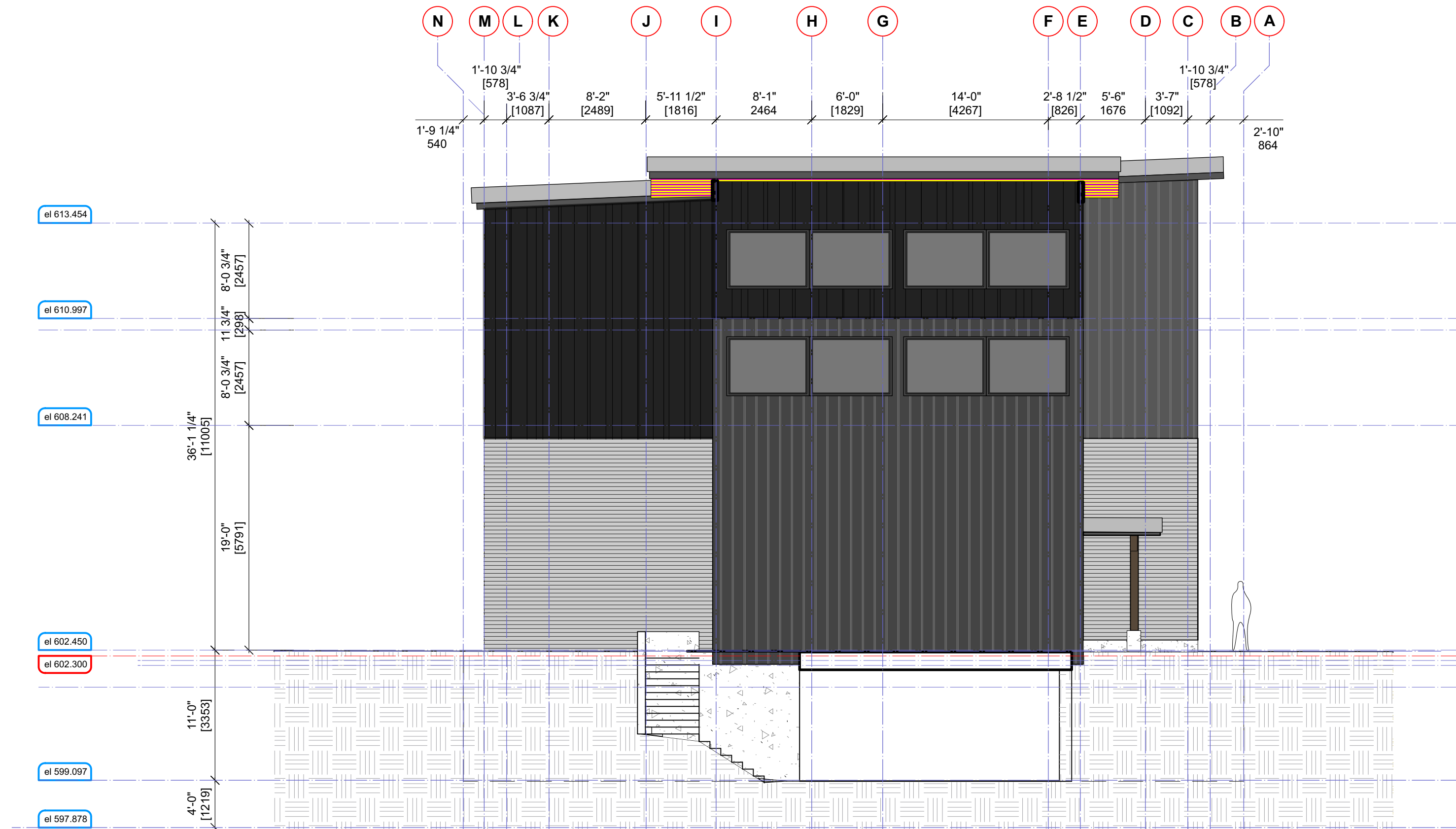
No: _____ Revision: _____ Date: _____
Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: 1/8" = 1'0"
BM/DA
Project No: 1210 Sheet No: **A-3.1 B [R]**
BUILDING B ELEVATIONS



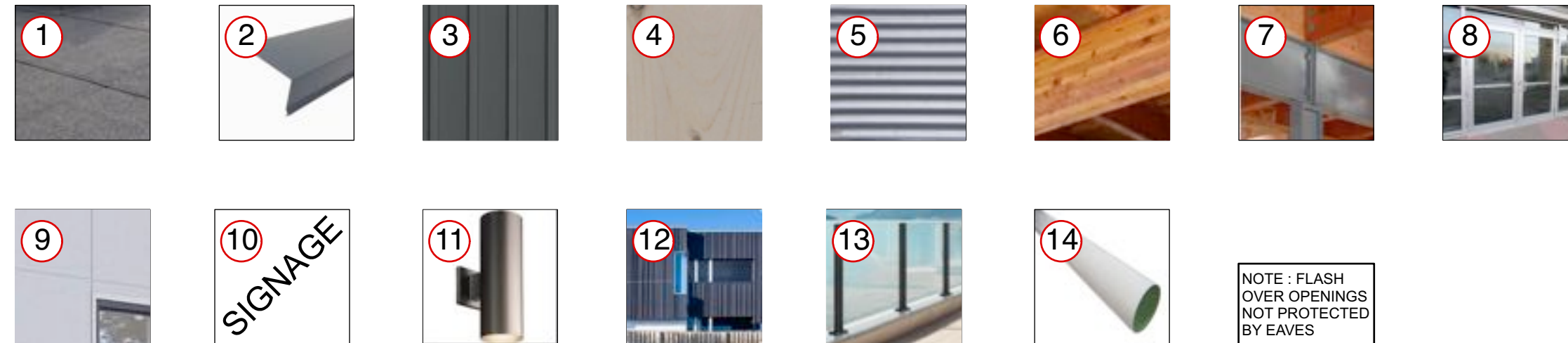
1 SOUTH ELEVATION - BUILDING B
1/8" = 10" imperial



2 EAST ELEVATION - BUILDING B
1/8" = 10" imperial

NOTES:

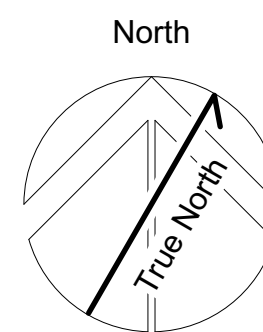
- LIGHTING FIXTURES TO BE DOWNWARD DIRECTED AND FULL CUT OFF FULLY SHIELDED. ANY LIMITED ARCHITECTURAL LIGHTING MUST BE FULLY AND PHYSICALLY CUT OFF BY SOFFIT. LIGHTING TO BE CONSISTENT WITH RMOW NIGHT SKY POLICY.
- ANY EXTERIOR ELECTRICAL CONDUIT SHALL BE HIDDEN IN CONCEALED SOFFIT AND BEHIND FASCIA



EXTERIOR FINISHES LEGEND / MATERIAL BOARD
TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS

- | | | | |
|----------------------------------|---|--|---|
| 1 TORCH ON ROOFING MEMBRANE | 5 HORIZONTAL CORRUGATED METAL SIDING
PREFINISHED GALVALUM COLOR CONFIRM BY ARCH. | 9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM | 12 HARDIE BOARD AND BATTEN - RANDOM SPACING - DARK GREY |
| 2 PREFINISHED METAL FLASHING | 6 WOOD TRIM / GLULAM STAINED | 10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY
(RMOW SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA) | 13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS |
| 3 STANDING SEAM CLADDING | 7 STEEL FABRICATED AWNING - PAINTED | 11 EXTERIOR LIGHTING
(ALL FIXTURE TO BE FULL CUT OFF) | 14 ALUMINUM DOWN PIPES |
| 4 SOFFITING - STAINED SOLID WOOD | 8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS | | |

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING B ELEVATIONS
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

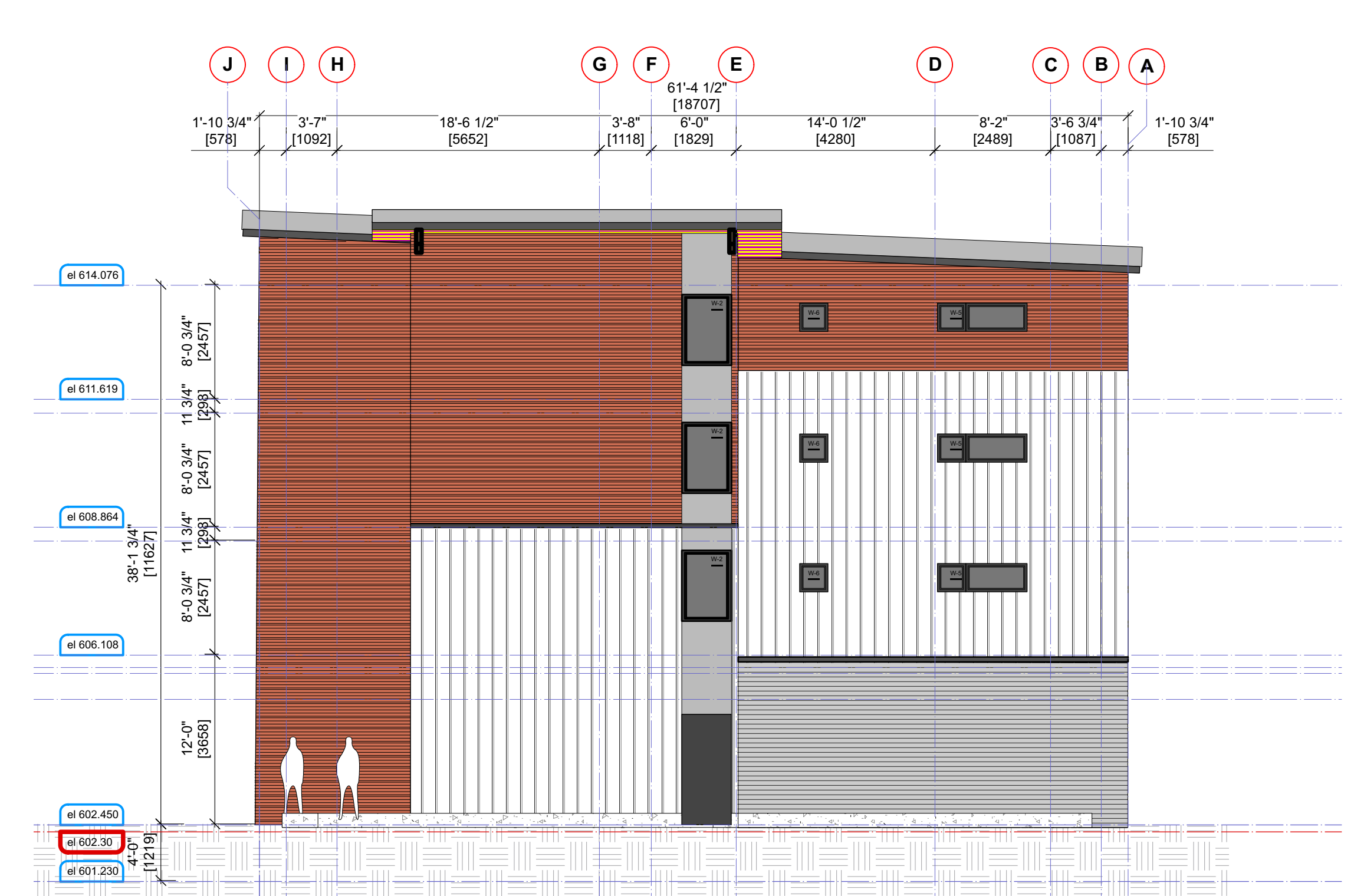
No: _____ Revision: _____ Date: _____
Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

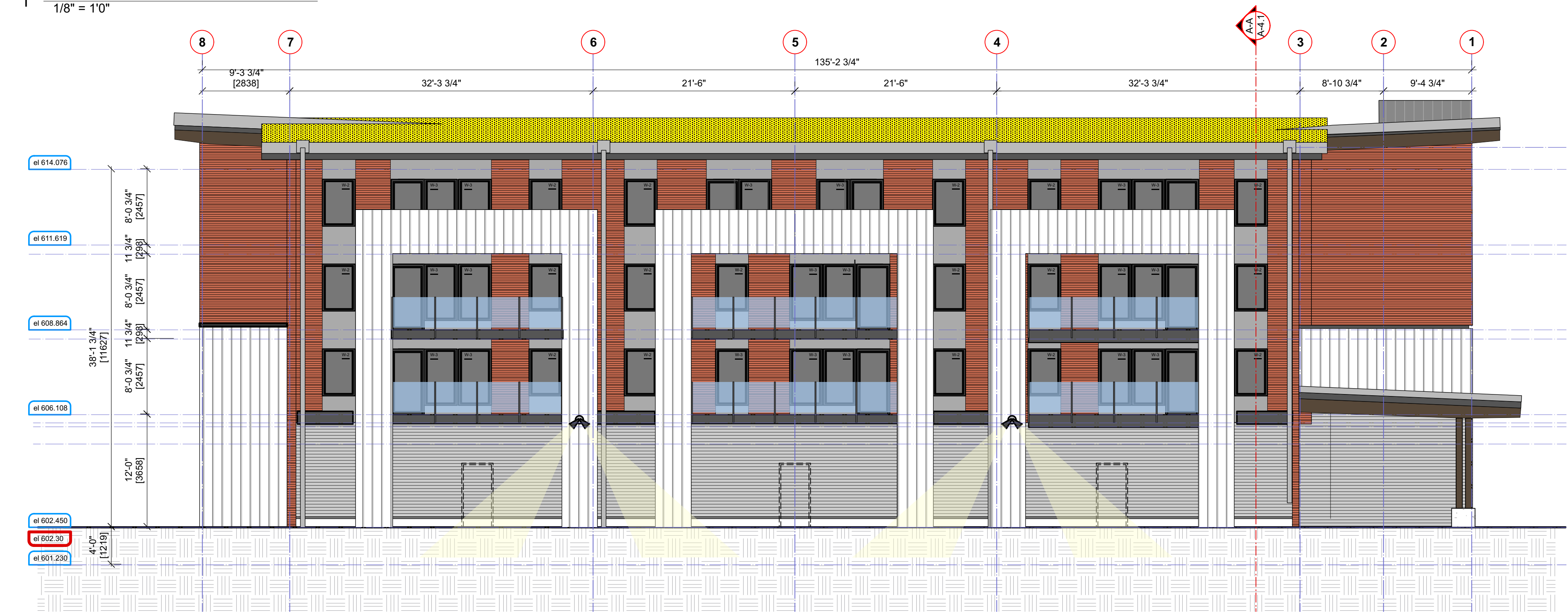
Drawn By: _____ Scale: 1/8" = 10"
BM/DA _____
Project No: 1210 Sheet No: **A-3.2 B [R]**
BUILDING B ELEVATIONS



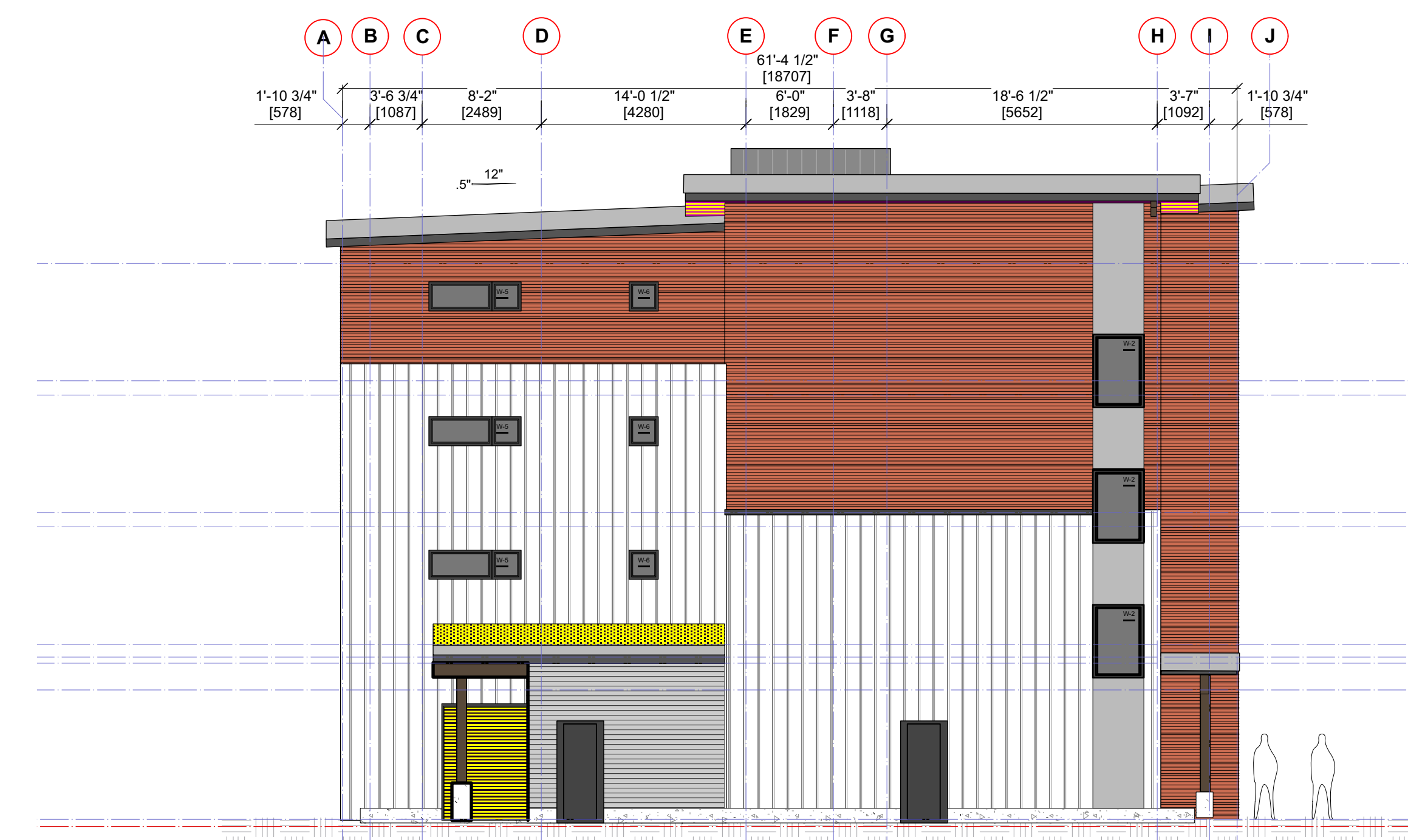
1 SOUTH ELEVATION - BUILDING C
1/8" = 10"



1 EAST ELEVATION - BUILDING C
1/8" = 10"

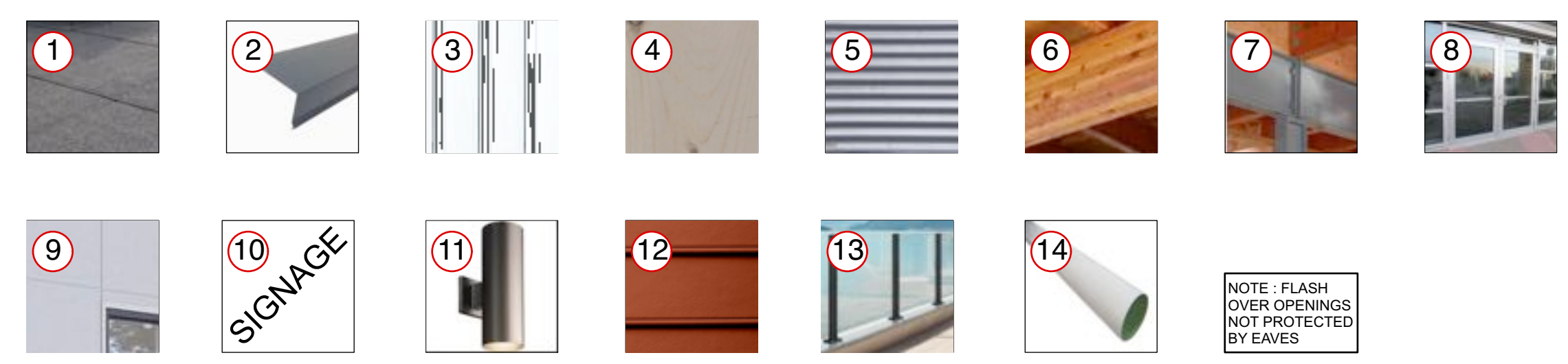


2 NORTH ELEVATION - BUILDING C
1/8" = 10" imperial



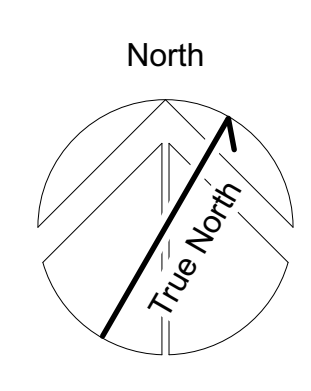
2 WEST ELEVATION - BUILDING C
1/8" = 10" imperial

NOTES:
 ⚠ - LIGHTING FIXTURES TO BE DOWNWARD DIRECTED AND FULL CUT OFF FULLY SHIELDED. ANY LIMITED ARCHITECTURAL LIGHTING MUST BE FULLY AND PHYSICALLY CUT OFF BY SOFFIT. LIGHTING TO BE CONSISTENT WITH RMOW NIGHT SKY POLICY.
 - ANY EXTERIOR ELECTRICAL CONDUIT SHALL BE HIDDEN IN CONCEALED SOFFIT AND BEHIND FASCIA



EXTERIOR FINISHES LEGEND / MATERIAL BOARD TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS			
1 TORCH ON ROOFING MEMBRANE	5 HORIZONTAL CORRUGATED METAL SIDING PREFINISHED GALVALUM COLOR CONFIRM BY ARCH.	9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM	12 HARDIE BOARD - BEADED SMOOTH - LIGHT RED
2 PREFINISHED METAL FLASHING	6 WOOD TRIM / GLULAM STAINED	10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY (RMOW SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA)	13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS
3 STANDING SEAM CLADDING - WHITE	7 STEEL FABRICATED AWNING - PAINTED	11 EXTERIOR LIGHTING (ALL FIXTURE TO BE FULL CUT OFF)	14 ALUMINUM DOWN PIPES
4 SOFFITING - STAINED SOLID WOOD	8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS		

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



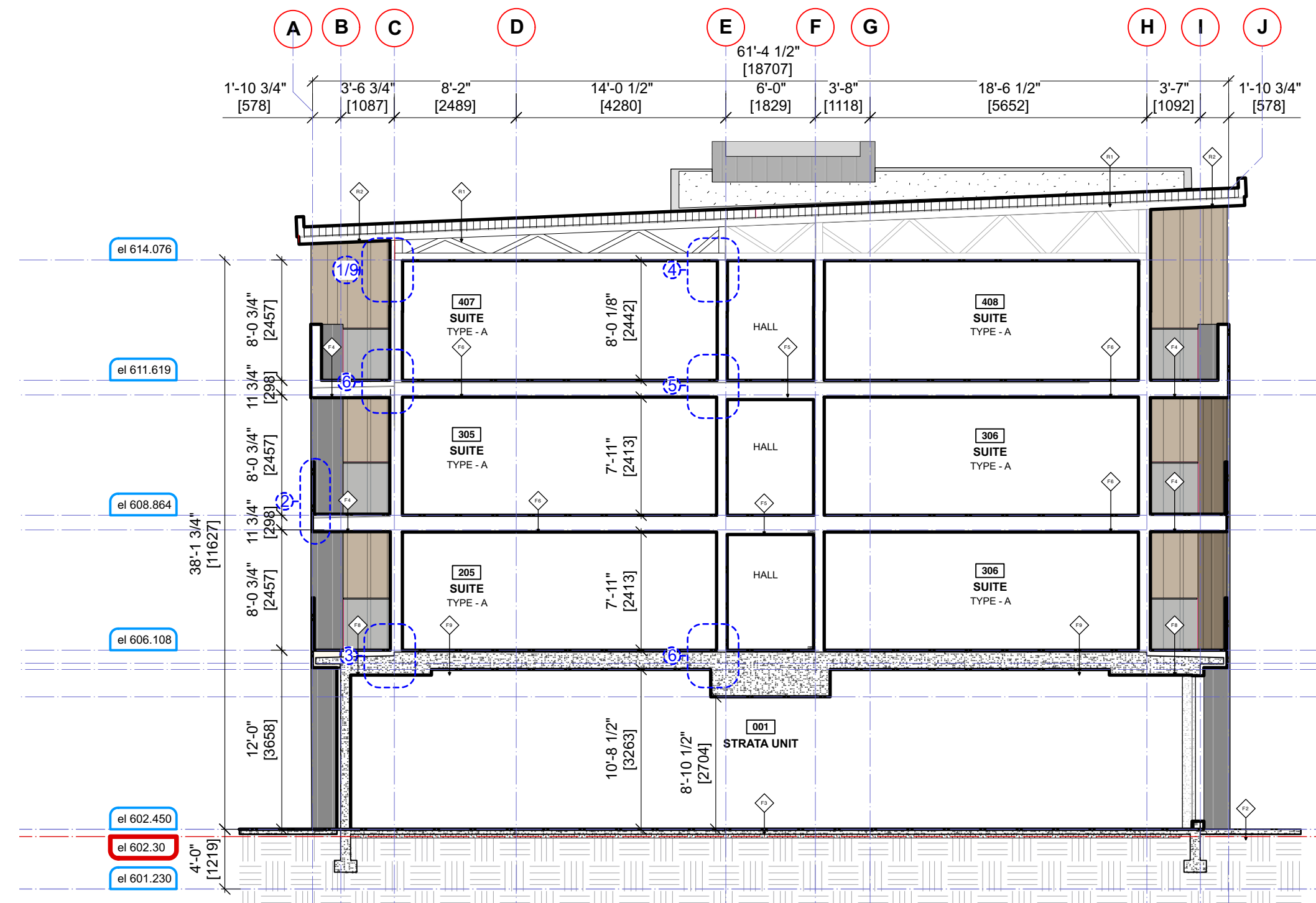
Issued For: _____ Date: _____
 CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-C ELEVATIONS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

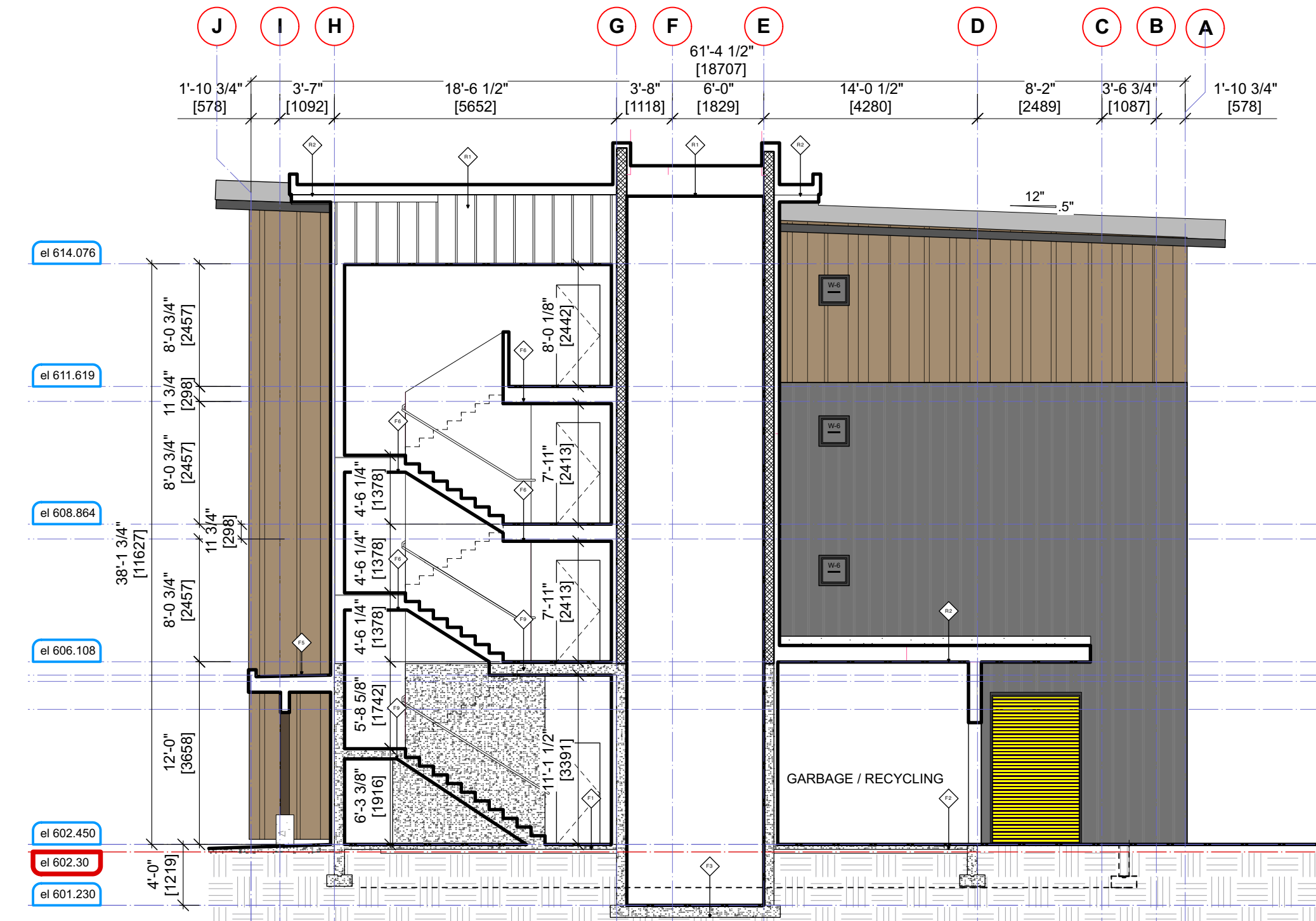
No: _____ Revision: _____ Date: _____
 Sealed By: _____

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

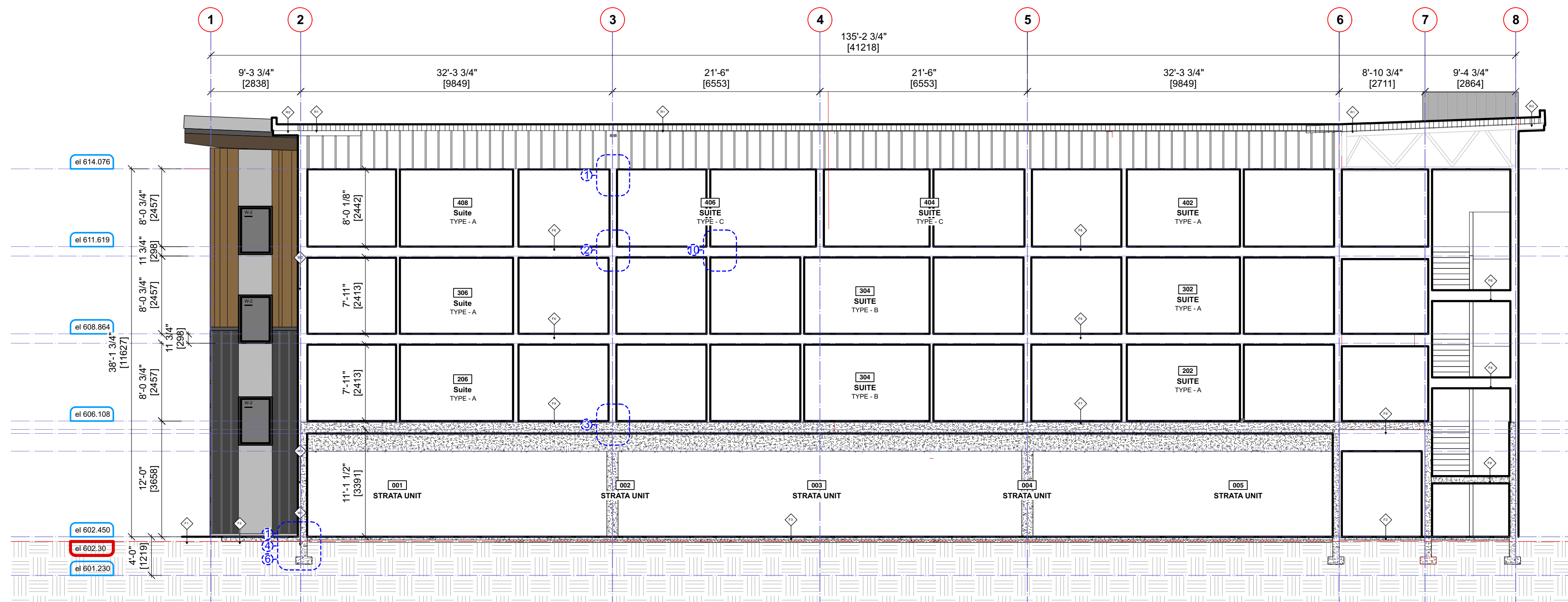
Drawn By: _____ Scale: 1/8" = 10"
 BM/DA
 Project No: 1210 Sheet No: **A-3.1 C [R]**
 BUILDING-C ELEVATIONS



1 SECTION 1 - BUILDING A
1/8" = 1'0" imperial

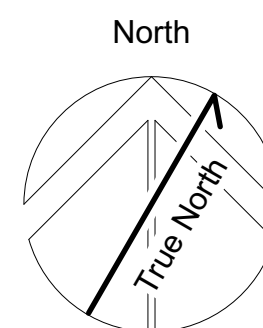


2 SECTION 2 - BUILDING A
1/8" = 1'0" imperial



3 SECTION 3 - BUILDING A
1/8" = 1'0" imperial

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
A - SECTIONS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

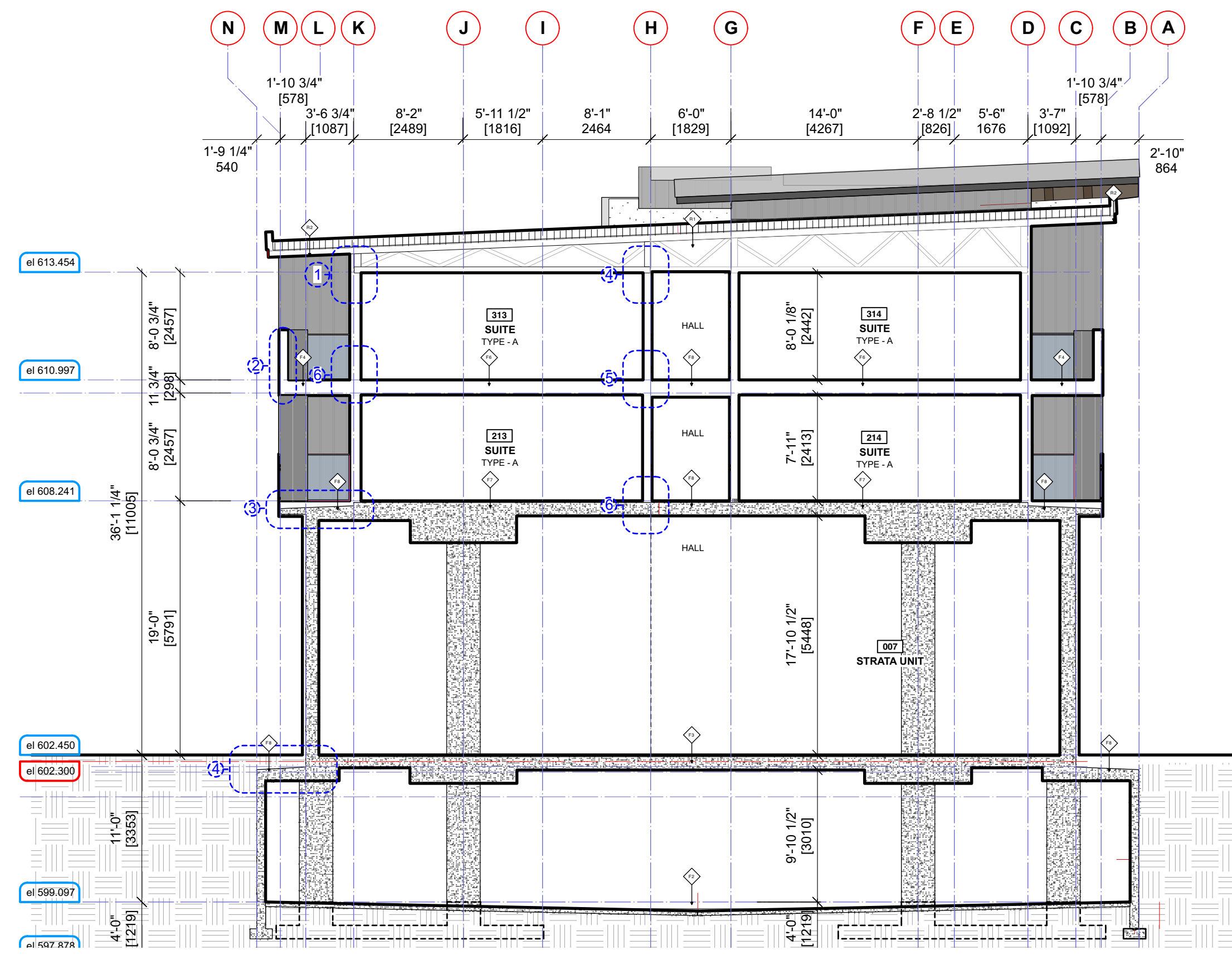
No: _____ Revision: _____ Date: _____
 Sealed By: _____

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

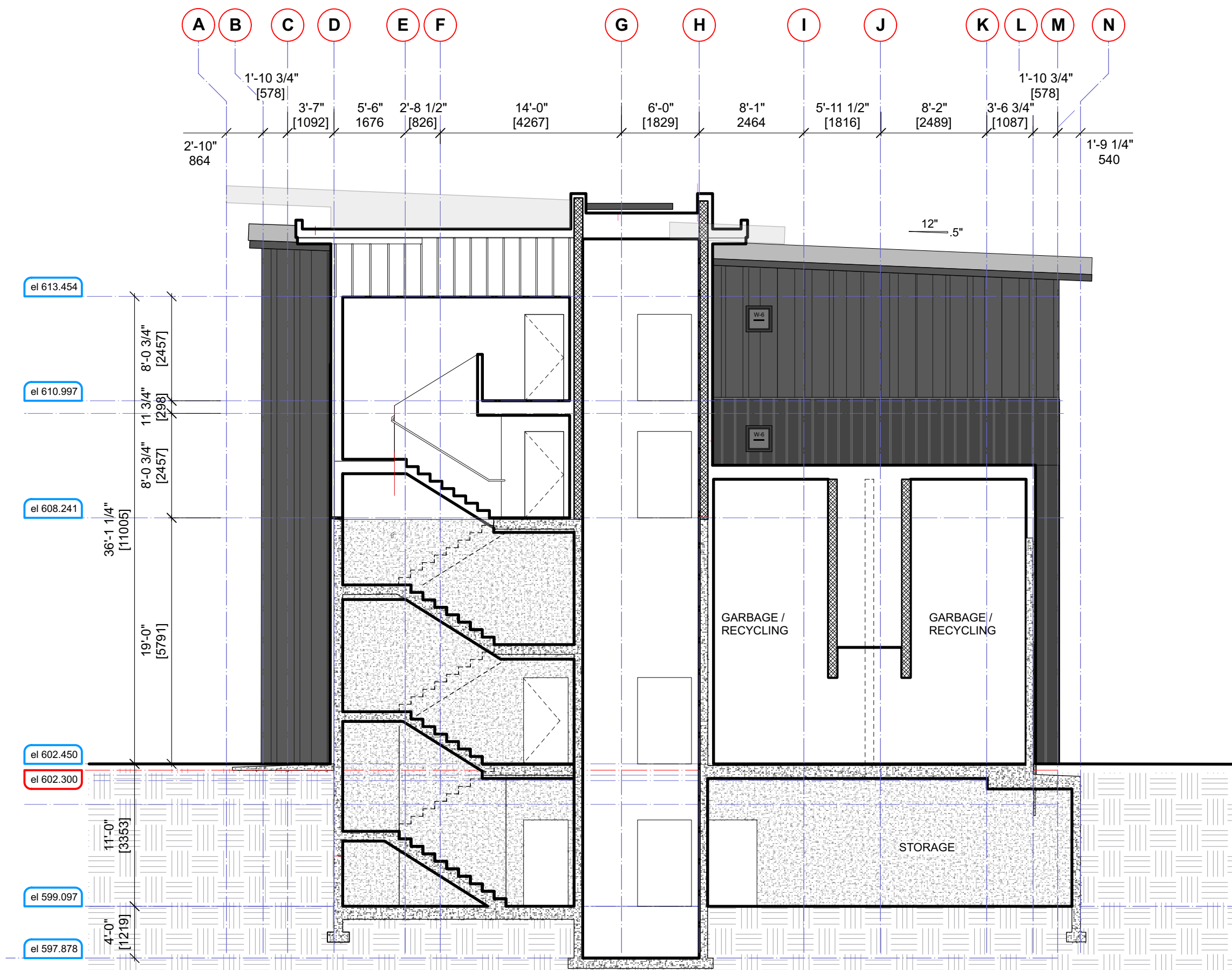
Drawn By: _____ Scale: _____
 PMG 1/8" = 1'0"
 Project No: _____ Sheet No: _____
 1210

A-4.1 A [R]

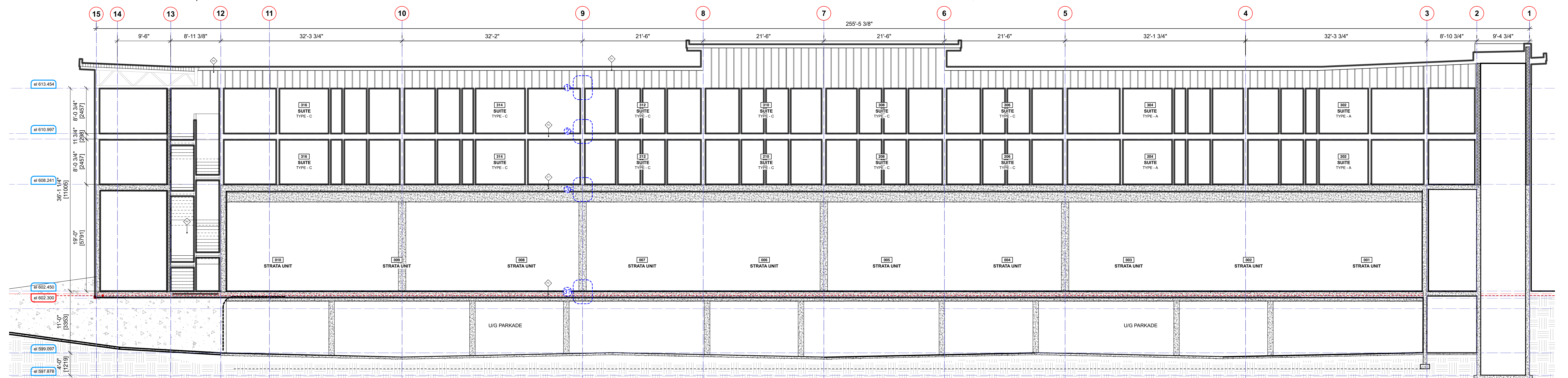
A - SECTIONS



1 SECTION 1 - BUILDING B
1/8" = 1'0" imperial

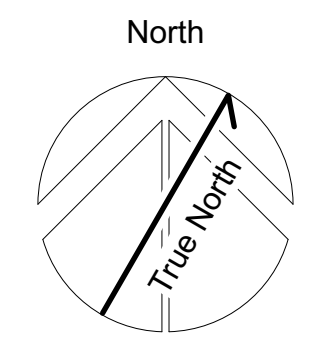


2 SECTION 2 - BUILDING B
1/8" = 1'0" imperial



3 SECTION 3 - BUILDING B
1/8" = 1'0" imperial

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-B SECTIONS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

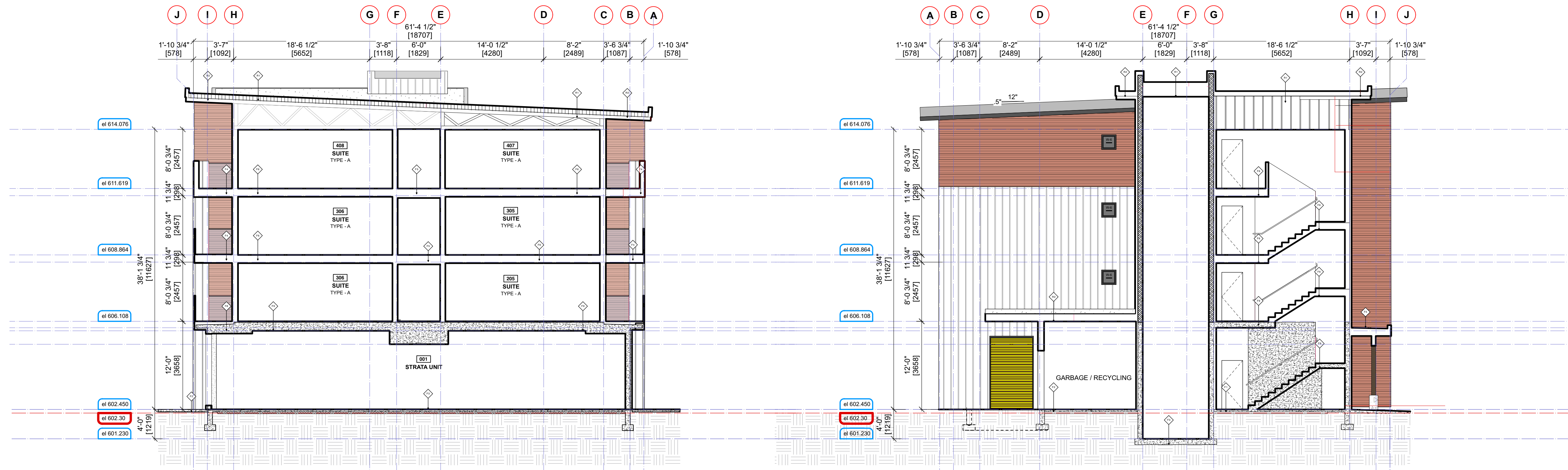
No.	Revision:	Date:

Sealed By: _____

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

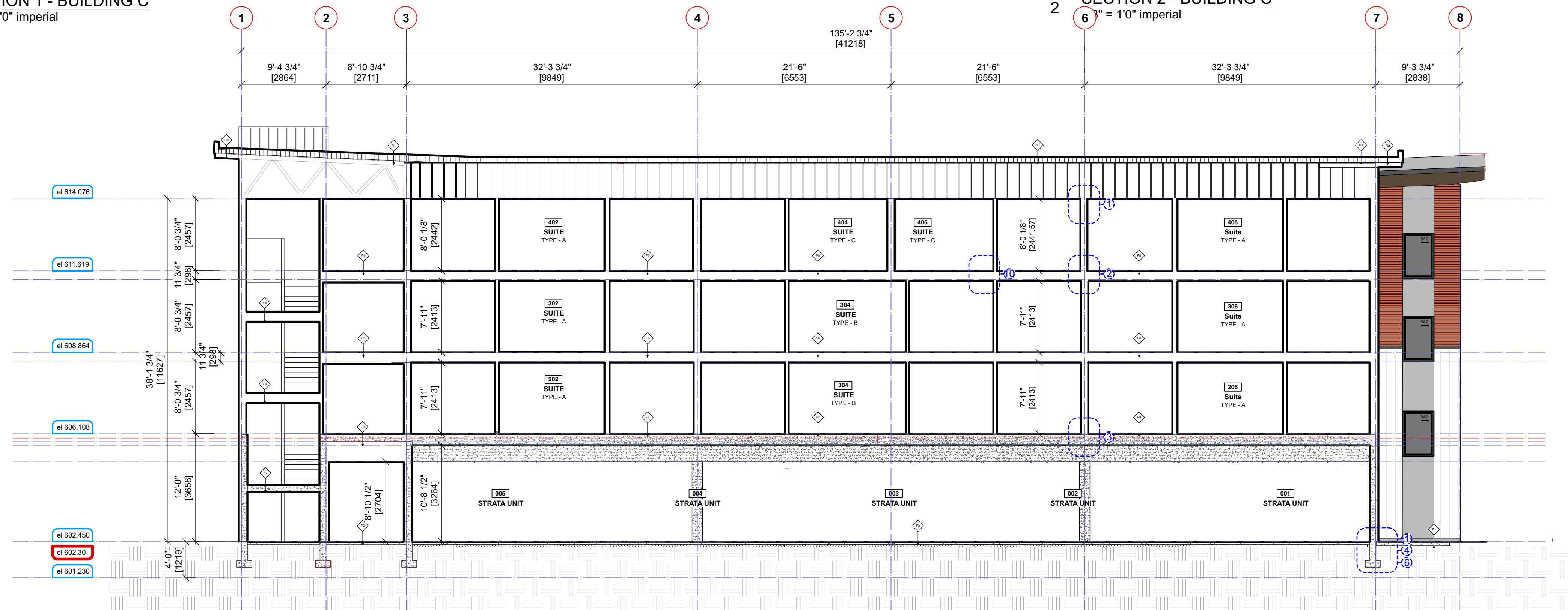
Drawn By: _____ Scale: _____
 BM/DA 1/8" = 1'0"
 Project No: _____ Sheet No: _____
 1210

A-4.2 B [R]
 BUILDING-B SECTIONS



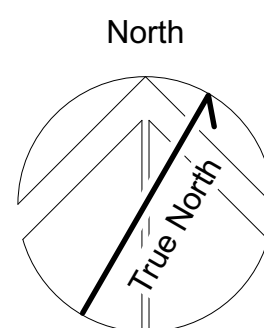
1 SECTION 1 - BUILDING C
1/8" = 1'0" imperial

2 SECTION 2 - BUILDING C
1/8" = 1'0" imperial



2 SECTION 3 - BUILDING C
1/8" = 1'0" imperial

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-C SECTIONS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

No: _____ Revision: _____ Date: _____
 Sealed By: _____

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
 BM/DA 1/8" = 1'0"
 Project No: _____ Sheet No: _____
 1210

A-4.3 C [R]
 BUILDING-C SECTIONS

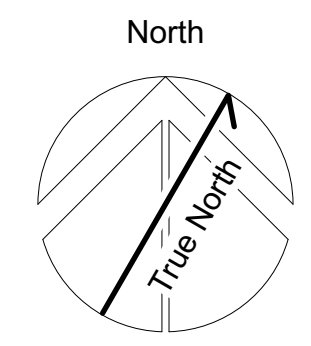


NOTE : FLASH OVER OPENINGS NOT PROTECTED BY EAVES

EXTERIOR FINISHES LEGEND / MATERIAL BOARD TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS	
1 TORCH ON ROOFING MEMBRANE	9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM
2 PREFINISHED METAL FLASHING	10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY (FROM SIGNAGE BYLAW APPLIES MAX LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA)
3 STANDING SEAM CLADDING - LIGHT GREY	11 EXTERIOR LIGHTING (ALL FIXTURE TO BE FULL CUT OFF)
4 SOFFITING - WOODTONE IRISH CREAM (TO CONFIRM COLOUR W/ARCH)	12 HARDIE BOARD - VERTICAL SIDING - LIGHT BROWN
5 HORIZONTAL CORRUGATED METAL SIDING PREFINISHED GALVALUM COLOR CONFIRM BY ARCH.	13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS
6 WOOD TRIM / GLULAM STAINED	14 ALUMINUM DOWN PIPES
7 STEEL FABRICATED AWNING - PAINTED	
8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS	

1 EAST ELEVATION - BUILDING A
3/8" = 1'0"

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
MATERIAL BOARD
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No.	Revision:	Date:

Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
PMG 3/8" = 1'0"
Project No: _____ Sheet No: _____
1210 **A-5.1 A [R]**
MATERIAL BOARD



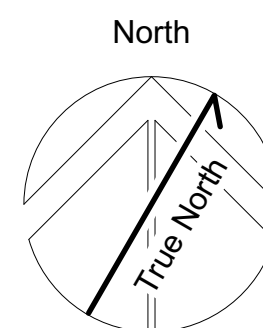
NOTE : FLASH OVER OPENINGS NOT PROTECTED BY EAVES

EXTERIOR FINISHES LEGEND / MATERIAL BOARD
TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS

① TORCH ON ROOFING MEMBRANE	⑨ FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM
② PREFINISHED METAL FLASHING	⑩ COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY <i>(R/W SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA)</i>
③ STANDING SEAM CLADDING	⑪ EXTERIOR LIGHTING <i>(ALL FIXTURE TO BE FULL CUT OFF)</i>
④ SOFFITING - WOODTONE IRISH CREAM (TO CONFIRM COLOUR W/ARCH)	⑫ HARDIE BOARD AND BATTEN - RANDOM SPACING - DARK GREY
⑤ HORIZONTAL CORRUGATED METAL SIDING PREFINISHED GALVALUM COLOR CONFIRM BY ARCH.	⑬ PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS
⑥ WOOD TRIM / GLULAM STAINED	⑭ ALUMINUM DOWN PIPES
⑦ STEEL FABRICATED AWNING - PAINTED	
⑧ ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS	

1 EAST ELEVATION - BUILDING A
3/8" = 1'0"

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
MATERIAL BOARD
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No.	Revision:	Date:

Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____

PMG

3/8" = 1'0"

Project No: _____

Sheet No: _____

1210

A-5.1 B [R]

MATERIAL BOARD

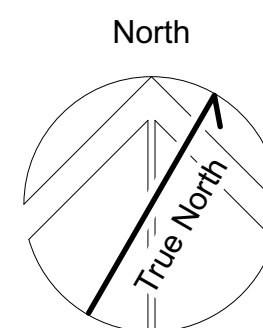


NOTE : FLASH OVER OPENINGS NOT PROTECTED BY EAVES

EXTERIOR FINISHES LEGEND / MATERIAL BOARD TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS	
1 TORCH ON ROOFING MEMBRANE	9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM
2 PREFINISHED METAL FLASHING	10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY <small>(RMOW SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA)</small>
3 STANDING SEAM CLADDING - WHITE	11 EXTERIOR LIGHTING <small>(ALL FIXTURE TO BE FULL CUT OFF)</small>
4 SOFFITING - WOODTONE IRISH CREAM (TO CONFIRM COLOUR W/ARCH)	12 HARDIE BOARD - BEADED SMOOTH - LIGHT RED
5 HORIZONTAL CORRUGATED METAL SIDING PREFINISHED GALVALUM COLOR CONFIRM BY ARCH.	13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS
6 WOOD TRIM / GLULAM STAINED	14 ALUMINUM DOWN PIPES
7 STEEL FABRICATED AWNING - PAINTED	
8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS	

1 EAST ELEVATION - BUILDING A
3/8" = 1'0"

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
MATERIAL BOARD
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No.	Revision:	Date:

Sealed By: _____

MURDOCH + COMPANY
Architecture + Planning Ltd.
#106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B0
Ph. 905-6992 Fax 905-6993
e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____

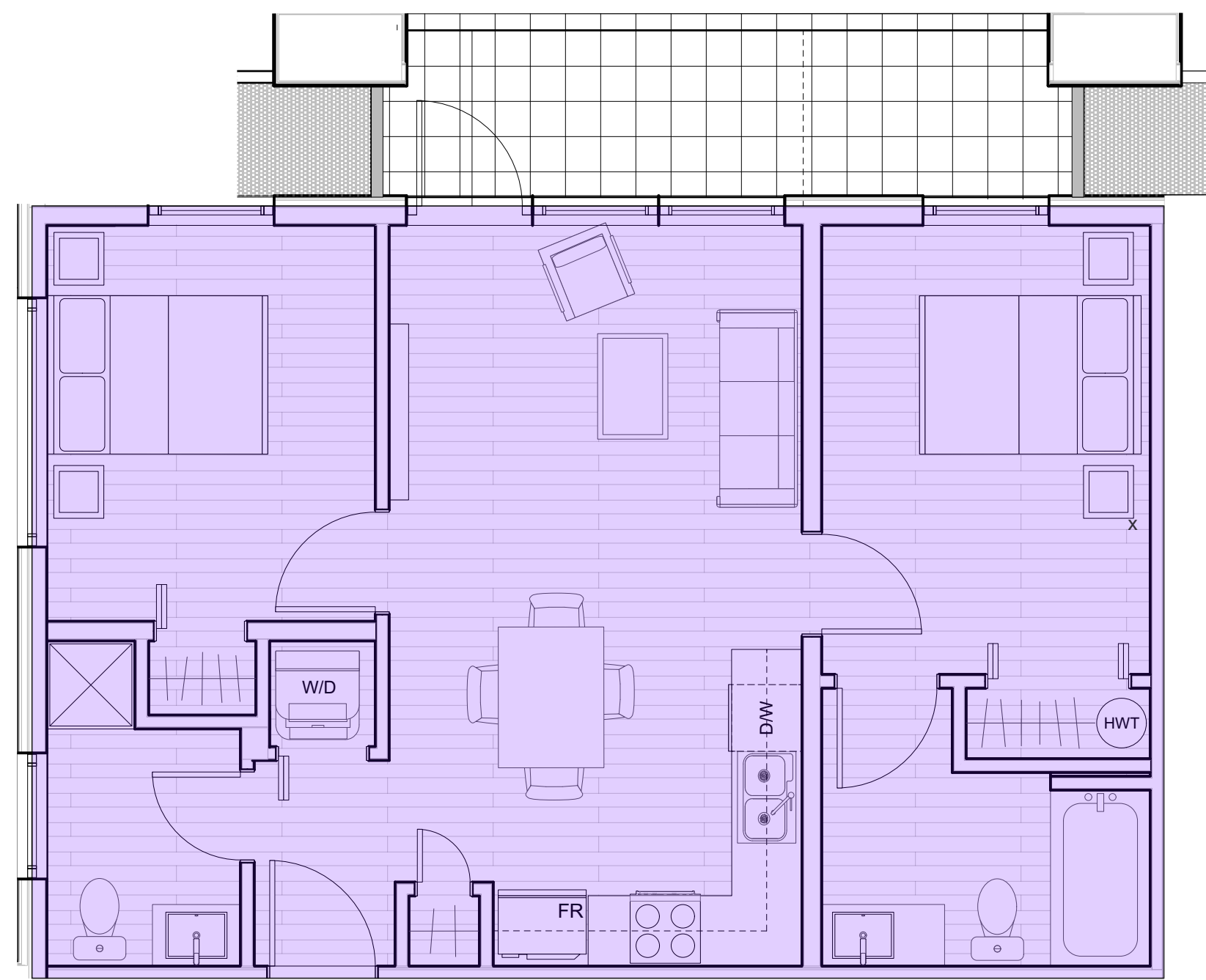
PMG 3/8" = 1'0"

Project No: _____ Sheet No: _____

1210

A-5.1 C [R]

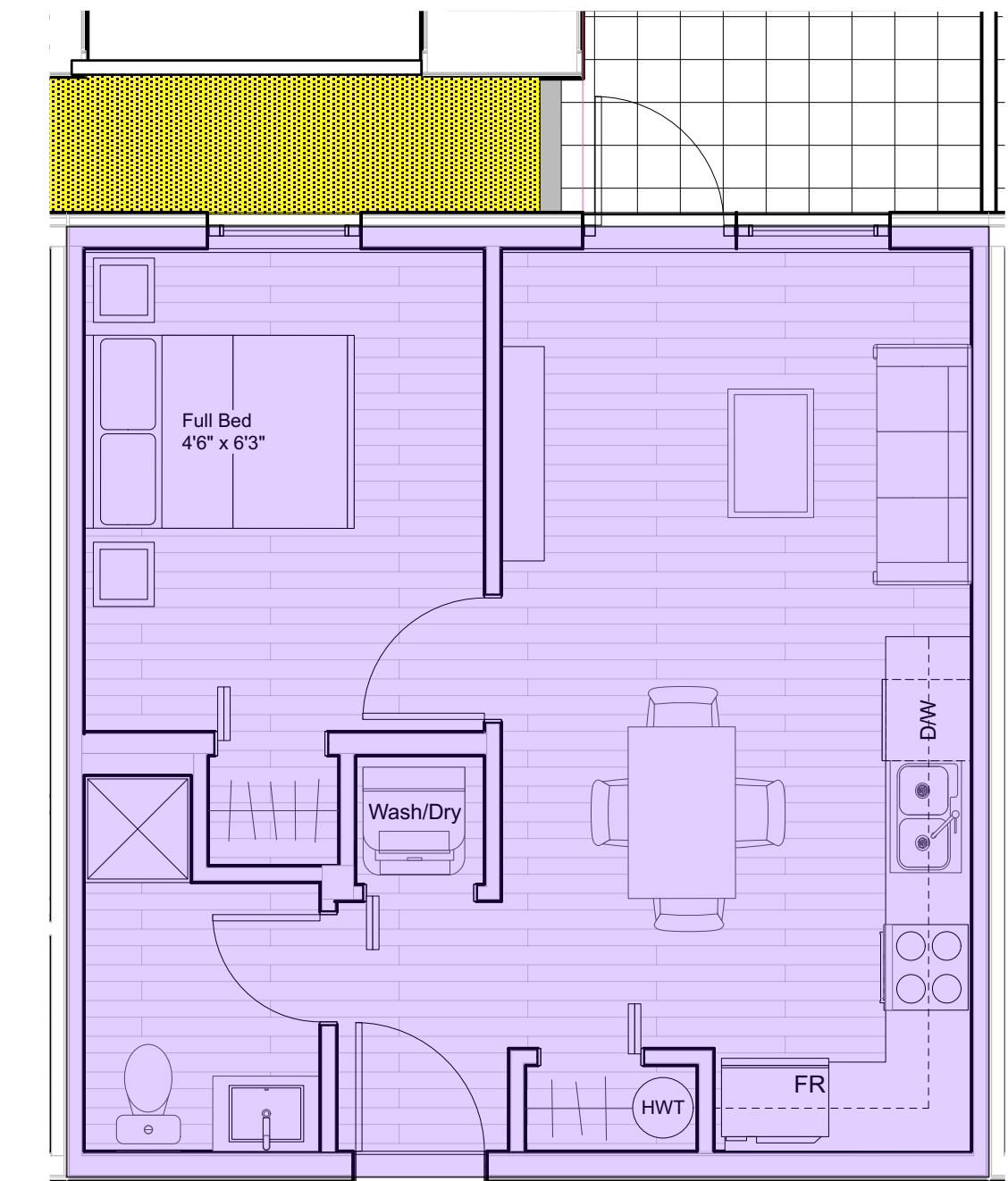
MATERIAL BOARD



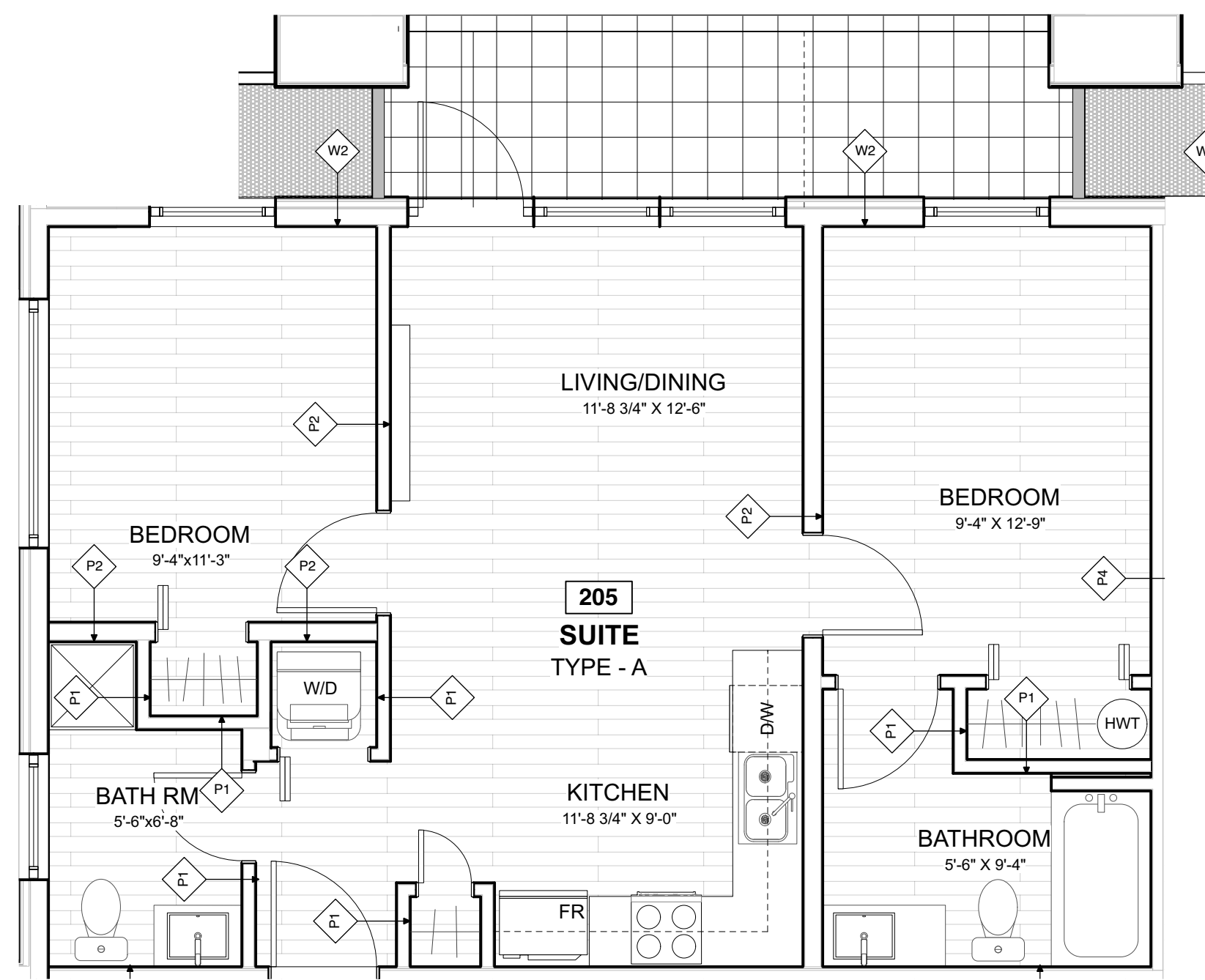
UNIT A = 706 SQ. FT.



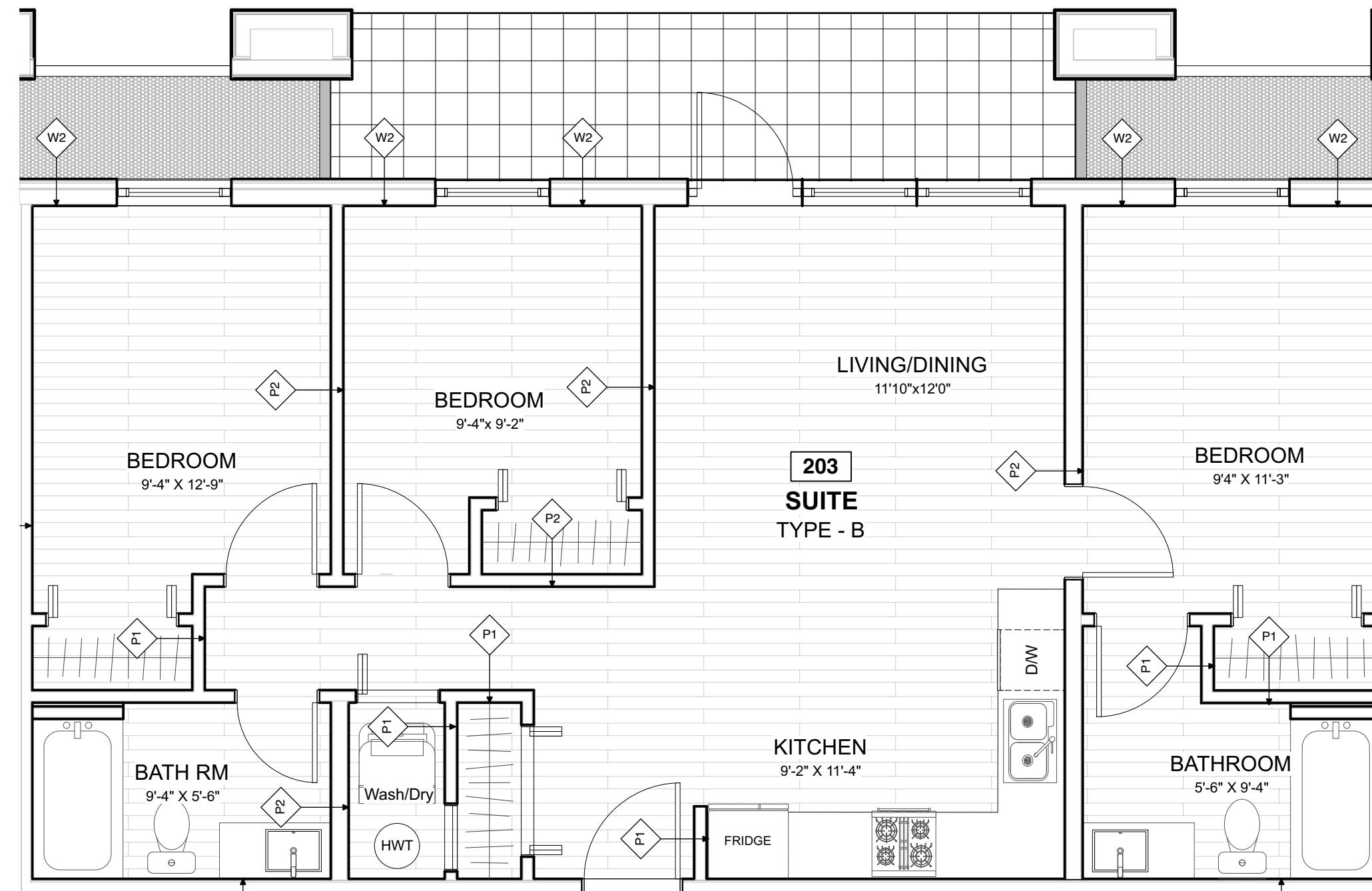
UNIT B = 951 SQ. FT.



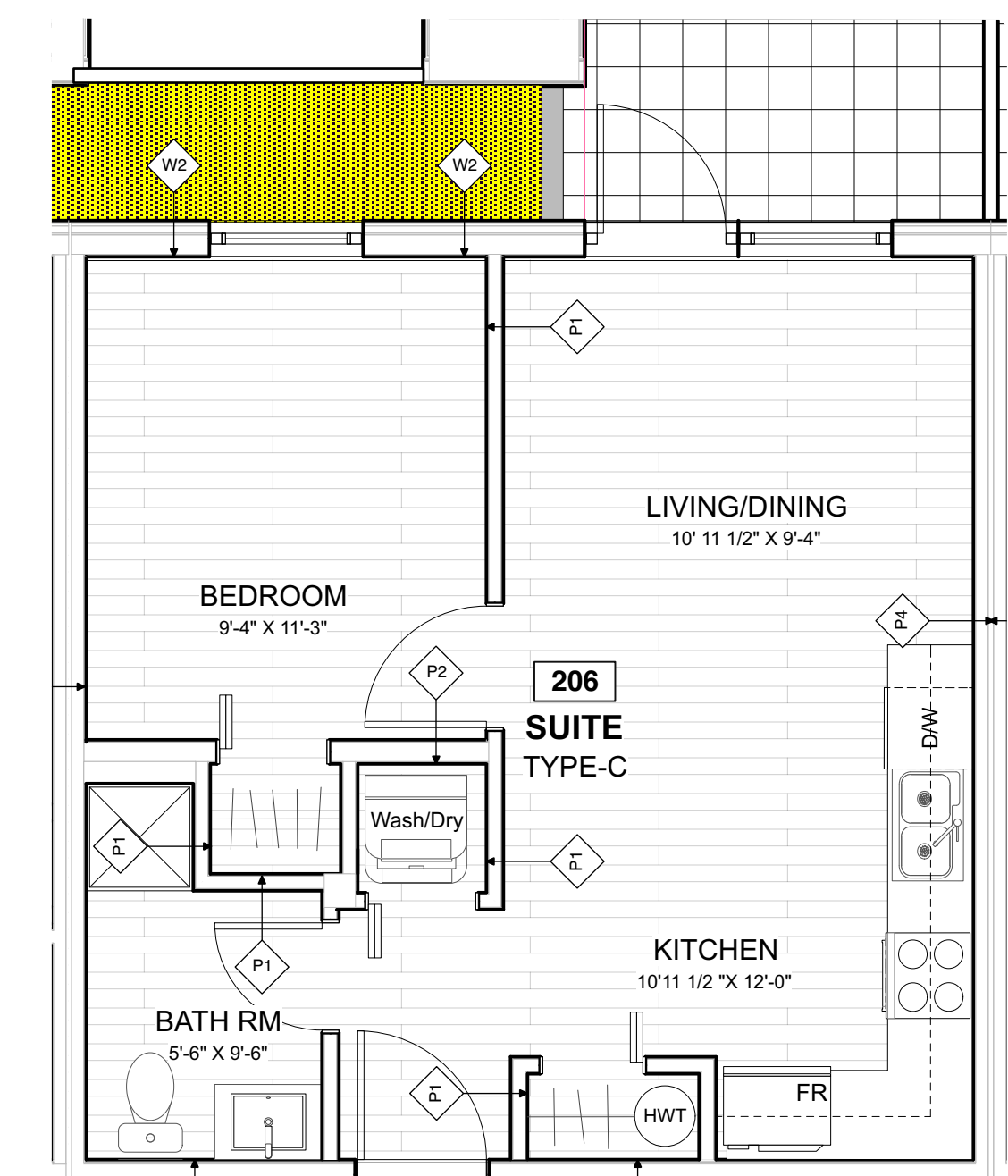
UNIT C = 477 SQ. FT.



UNIT A

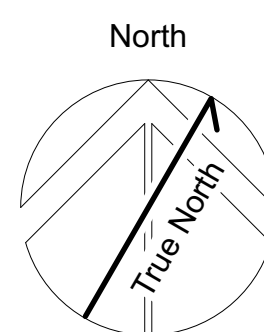


UNIT B



UNIT C

This document contains copyrighted material belonging to **Murdoch+Company Architecture+Planning Ltd.** Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: CONSOLIDATED DP SUBMISSION Date: MAR. 20, 2024

Sheet Title:
BUILDING UNIT PLANS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

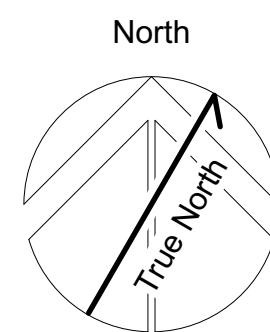
No: _____ Revision: _____ Date: _____
 Sealed By: _____

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0W 1B0
 Ph. 905-6992 Fax. 905-6993
 e-mail office@murdochandco.ca

Drawn By: BM/DA Scale: 1/4" = 1'0"
 Project No: 1210 Sheet No: **A-8.1 [R]**
 BUILDING UNIT PLANS



This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
RENDERINGS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

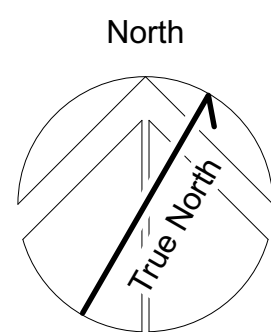
No:	Revision:	Date:	Sealed By:

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By:	Scale:
PMG	N/A
Project No:	Sheet No:
1210	A-9.1 [R]



This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.



Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
RENDERINGS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

No:	Revision:	Date:

Sealed By: _____

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B0
 Ph. 905-6992 Fax 905-6993
 e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____

PMG

N/A

Project No: _____

Sheet No: _____

1210

A-9.2 {R}

RENDERINGS