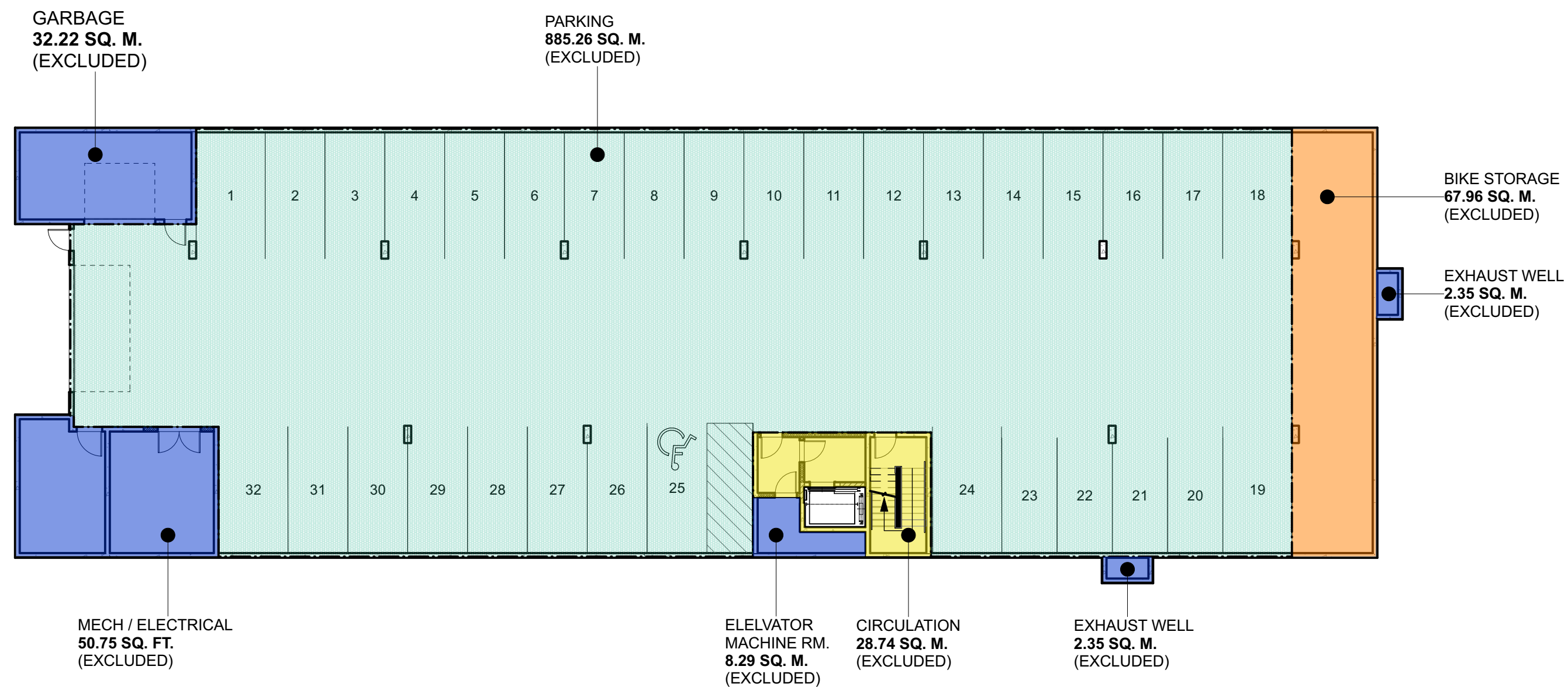
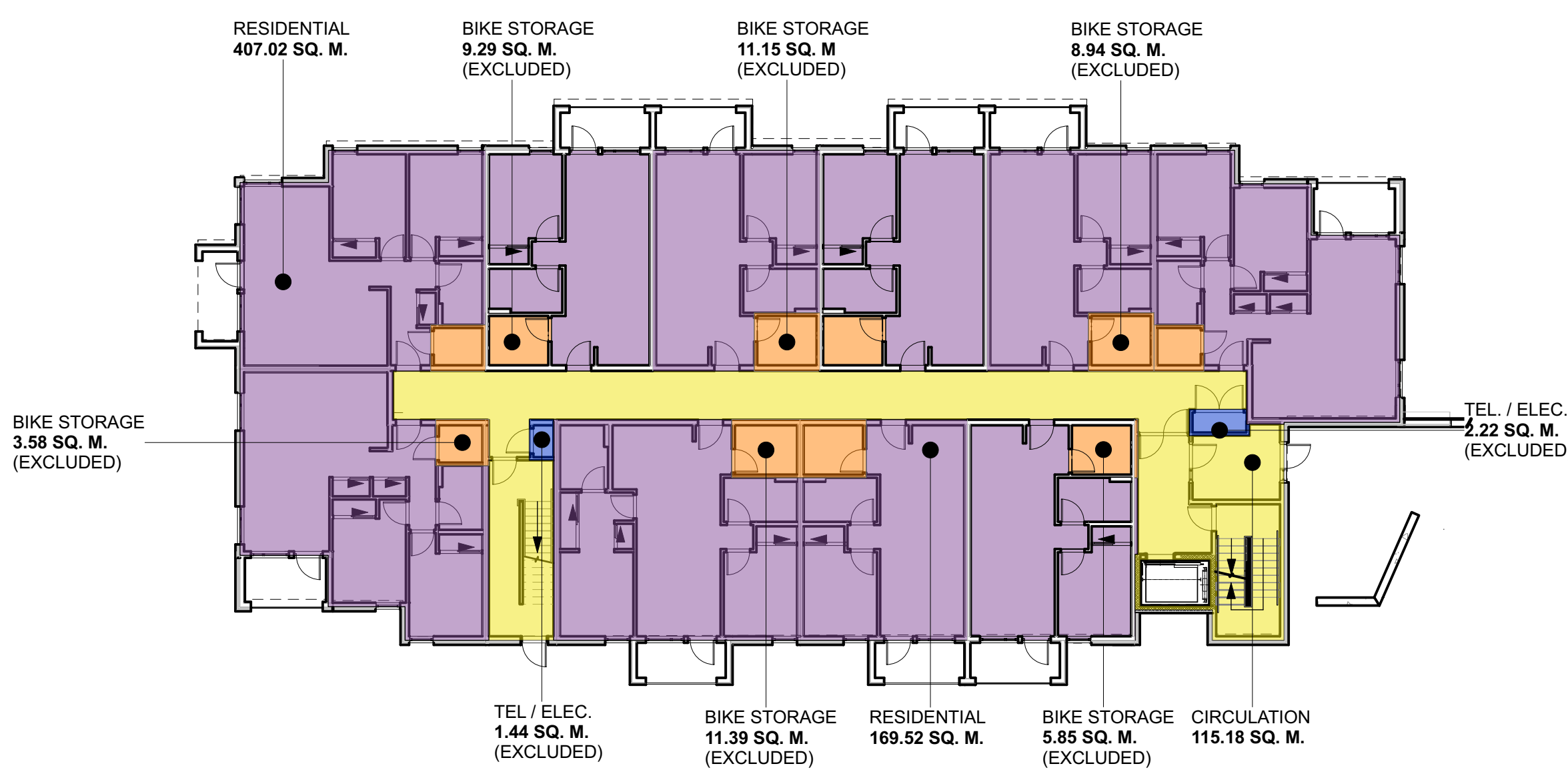


Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP SUBMISSION	FEB 7, 2023

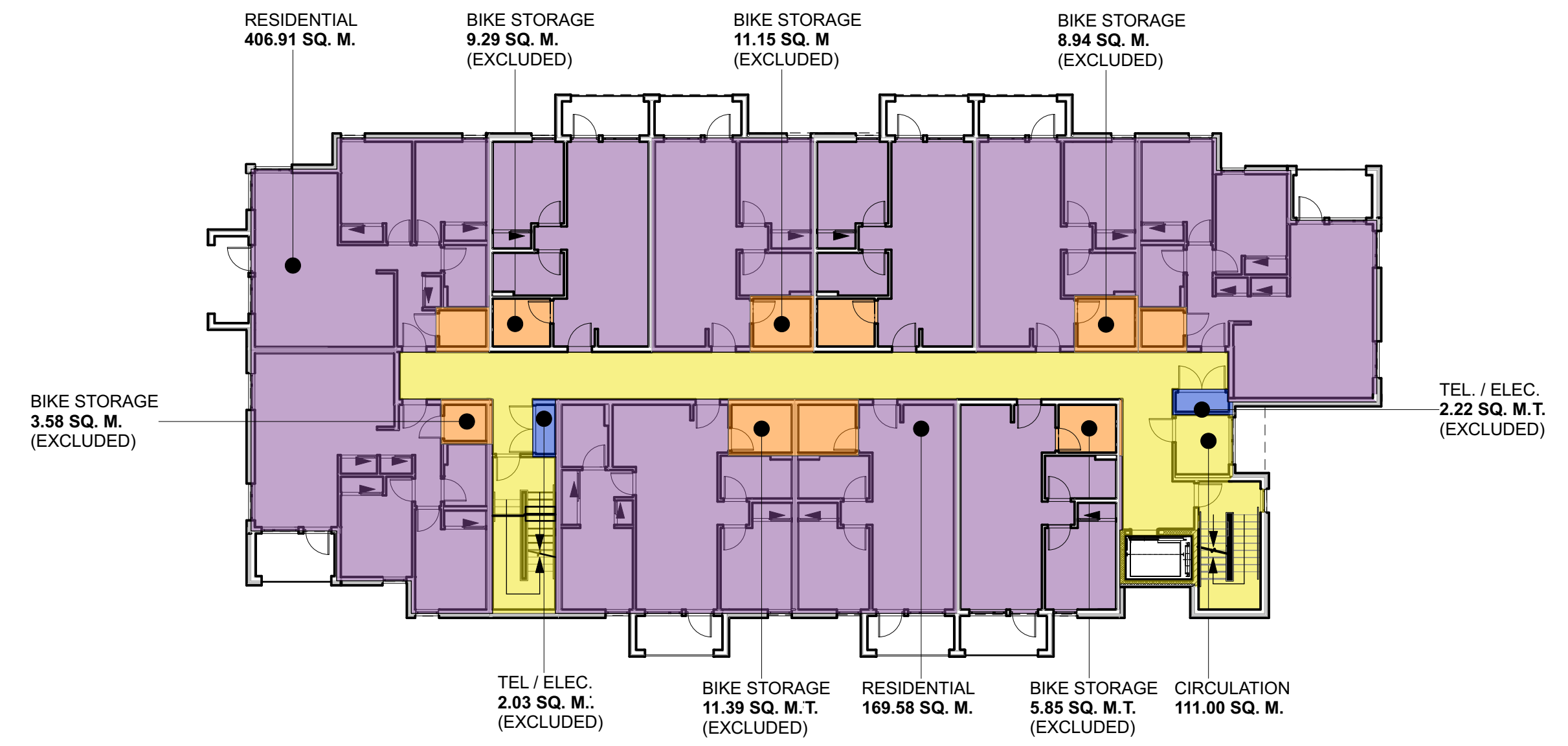
No:	Revision:	Date:



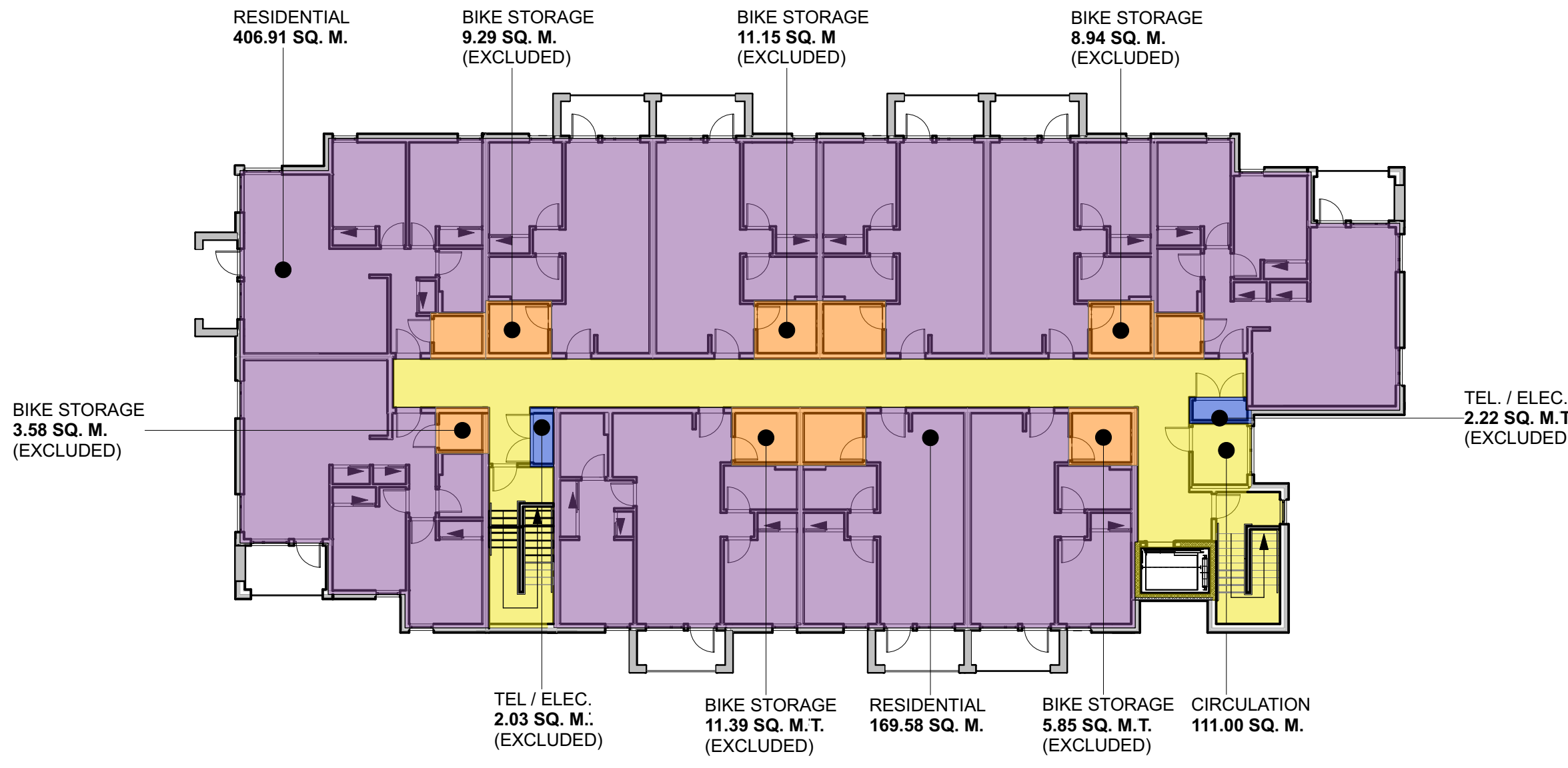
1 PARKING PLAN
Scale: 1/16" = 1'-0"



2 FIRST FLOOR PLAN
Scale: 1/16" = 1'-0"



3 SECOND FLOOR PLAN
Scale: 1/16" = 1'-0"



4 THIRD FLOOR PLAN
Scale: 1/16" = 1'-0"

MUNICIPAL GROSS FLOOR AREA - 1400 MOUNT FEE

	PARKING (SQ.M.)	CIRCULATION (SQ.M.)	RESIDENTIAL (SQ.M.)	SERVICE (SQ. M.)	BIKE STORAGE (SQ.M.)
PARKADE	885.26 SQ.M.	28.74 SQ.M.	0 SQ.M.	95.95 SQ.M.	67.96 SQ.M.
FIRST FLOOR	0 SQ.M.	115.18 SQ.M.	576.54 SQ.M.	3.66 SQ.M.	50.2 SQ.M.
SECOND FLOOR	0 SQ.M.	111 SQ.M.	576.49 SQ.M.	4.3 SQ.M.	50.2 SQ.M.
THIRD FLOOR	0 SQ.M.	111 SQ.M.	576.49 SQ.M.	4.3 SQ.M.	50.2 SQ.M.
SUB-TOTAL:	885.26 SQ.M.	365.92 SQ.M.	1729.52 SQ.M.	108.21 SQ.M.	218.56 SQ.M.
TOTAL GFA:	2095.44 SQ.M.				
TOTAL AREA EXCLUDED:	1212.03 SQ.M.				
TOTAL AREA BUILT:	3307.47 SQ.M.				

GENERAL NOTES:

1. OUTER EDGE OF CALCULATED GFA TAKEN 152 mm FROM INSIDE FACE OF EXTERIOR WALL
2. PARKING, SERVICE, AND BIKE STORAGE EXCLUDED FROM GFA TOTALS PER RMOW BYLAWS
3. AREA BELOW STAIR & ELEVATOR EXCLUDED FROM GFA TOTALS

GROSS FLOOR AREA
WHISTLER DEVELOPMENT CORPORATION
 1400 MOUNT FEE ROAD

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net

Sealed By:



Drawn By: Scale:

BM/NM

Project No: Sheet No:

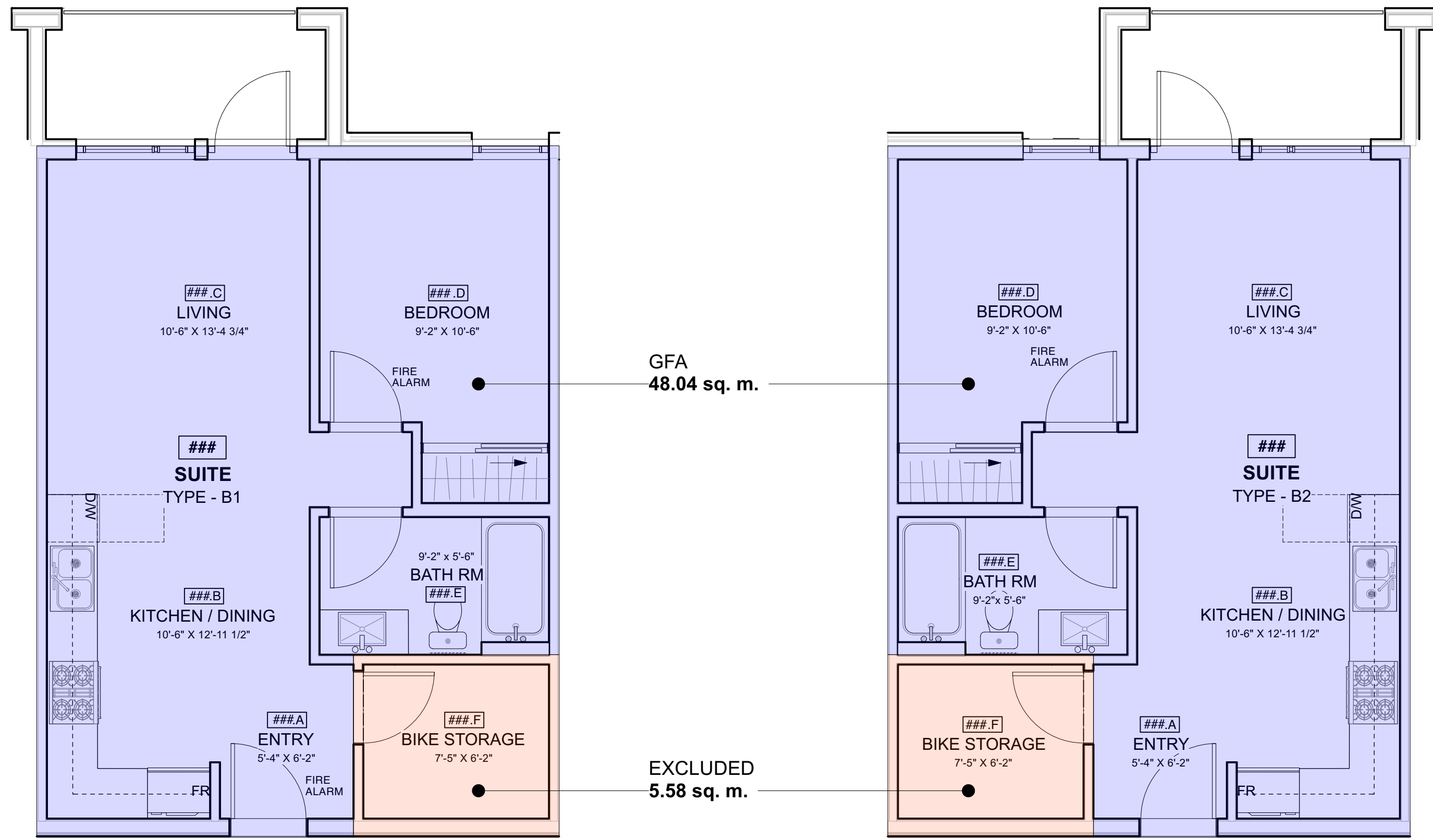
22.01

A-1.02

A-1.02 GROSS FLOOR AREA

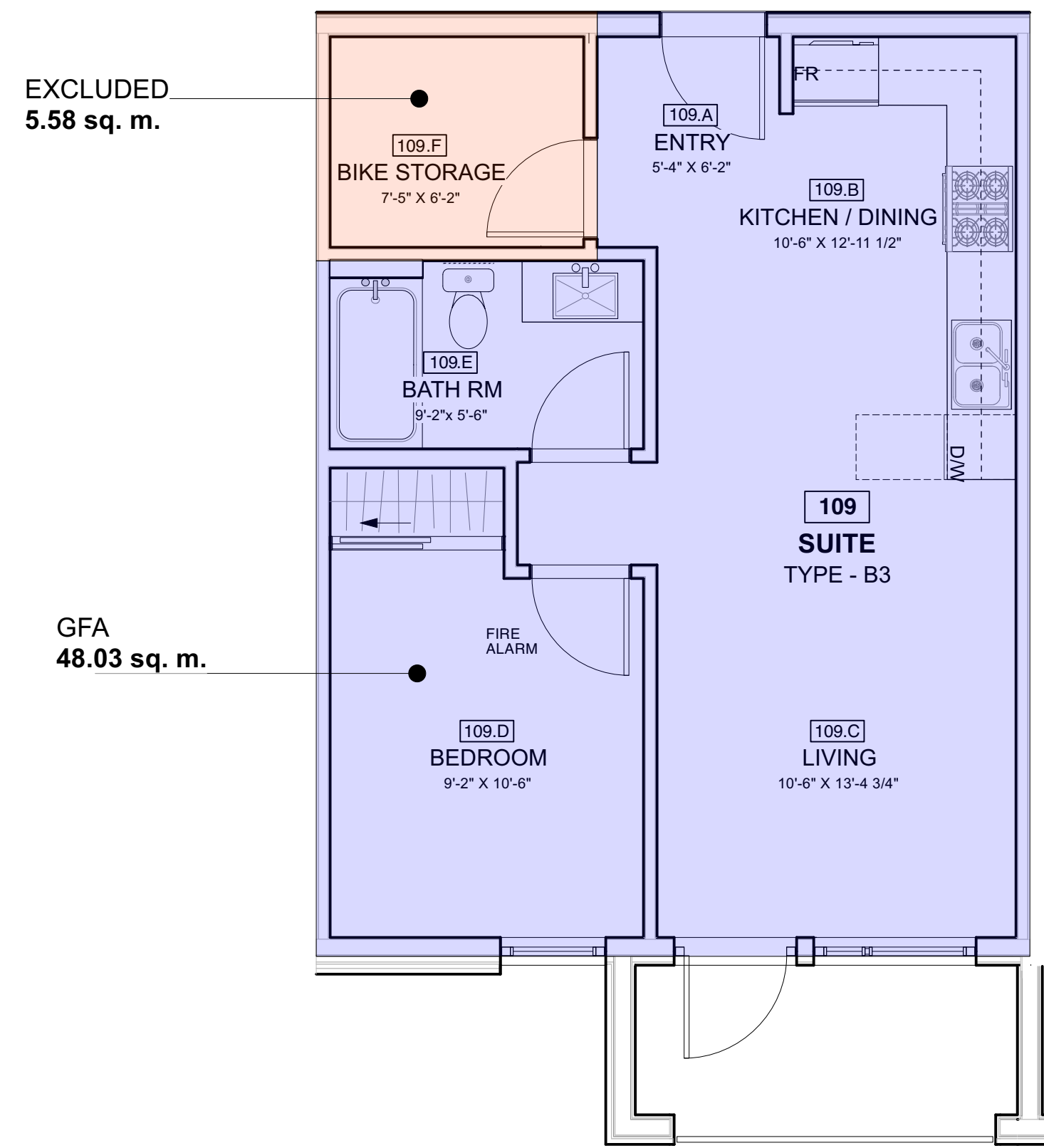
Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP SUBMISSION	FEB 7, 2023

No:	Revision:	Date:

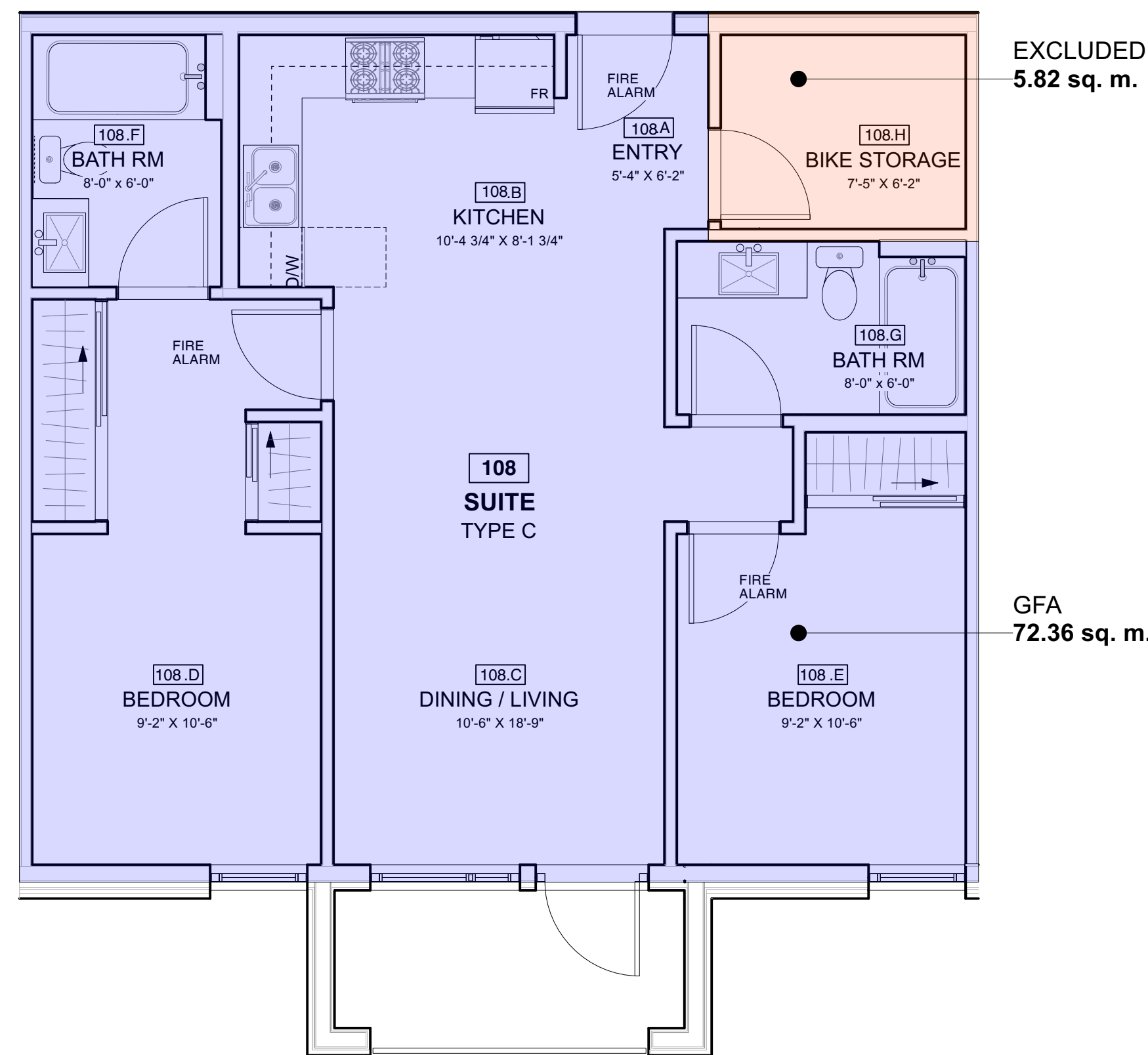


Unit B1
1 Bed + 1 Bath
AVG. GFA = 48.04 sq. m.

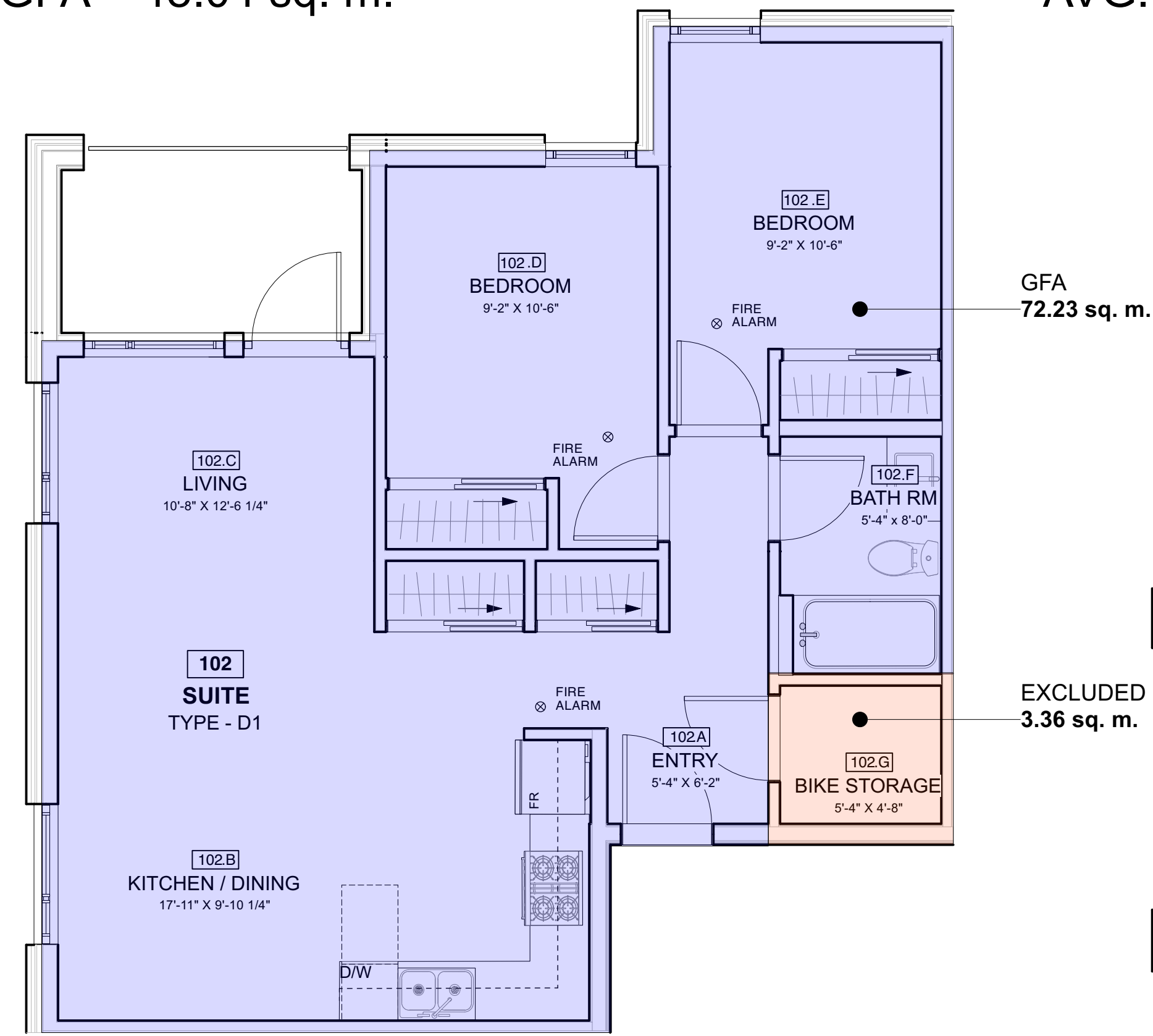
Unit B2
1 Bed + 1 Bath
AVG. GFA = 48.04 sq. m.



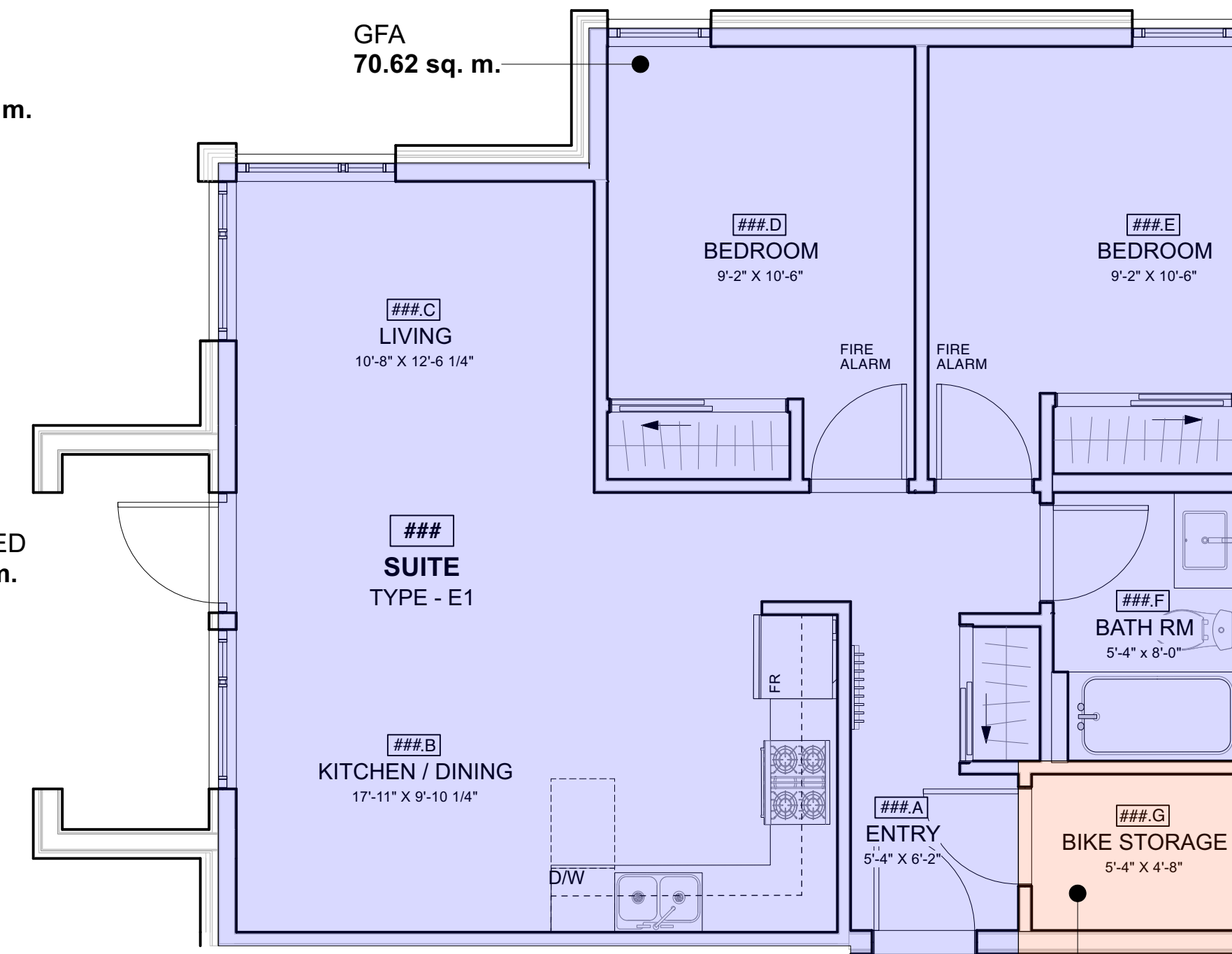
Unit B3
1 Bed + 1 Bath
AVG. GFA = 48.04 sq. m.



Unit C
2 Bed + 2 Bath
AVG. GFA = 72.36 sq. m.



Unit D1
2 Bed + 1 Bath
AVG. GFA = 72.23 sq. m.



Unit E1
2 Bed + 1 Bath
AVG. GFA = 70.62 sq. m.

GFA - UNIT PLANS

WHISTLER DEVELOPMENT CORPORATION
1400 MOUNT FEE ROAD

MURDOCH + COMPANY
Architecture + Planning Ltd.
106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B4
Ph. 905-6992
e-mail murdoch@telus.net

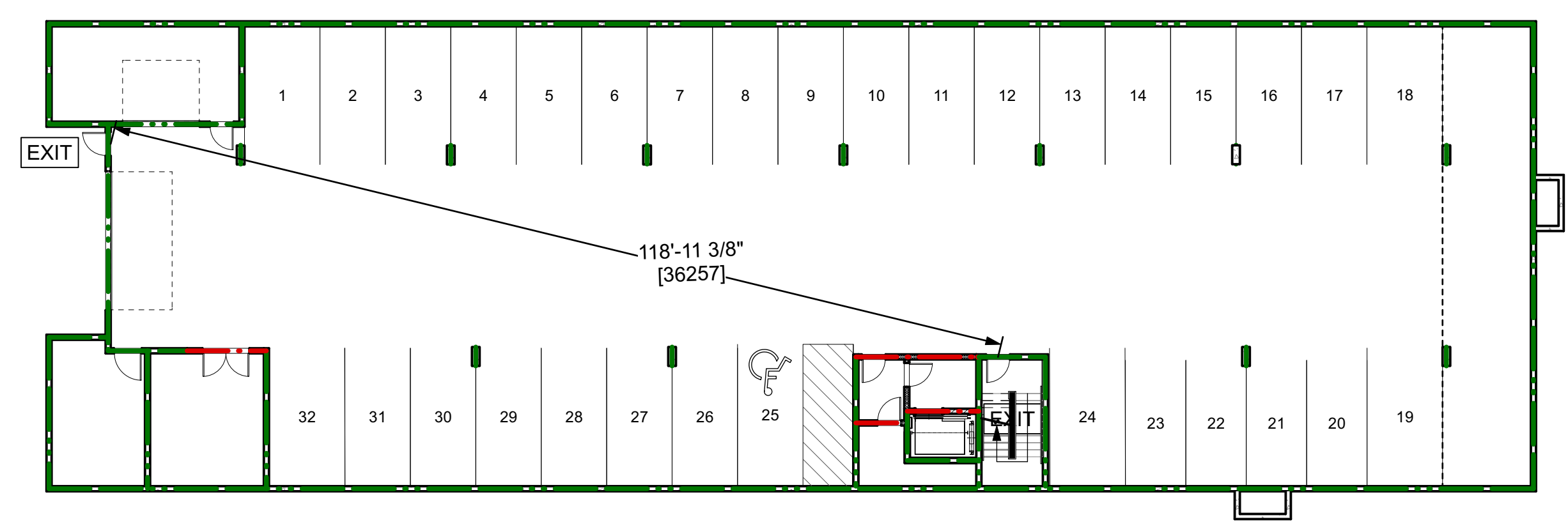
Sealed By:



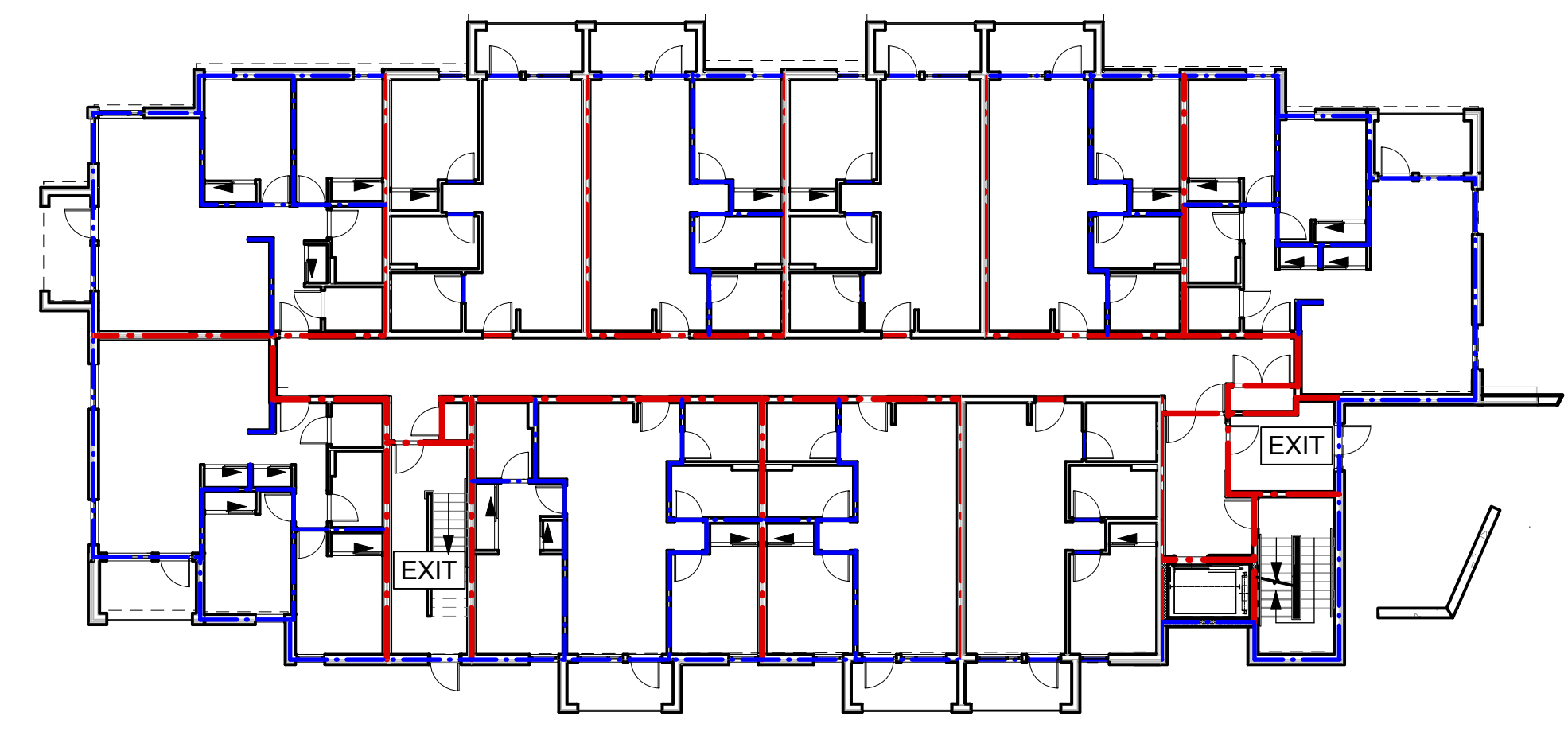
Drawn By:	Scale:
BM/NM	1/4" = 1'-0"
Project No:	Sheet No:
22.01	A-1.02a

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP SUBMISSION	FEB 7, 2023

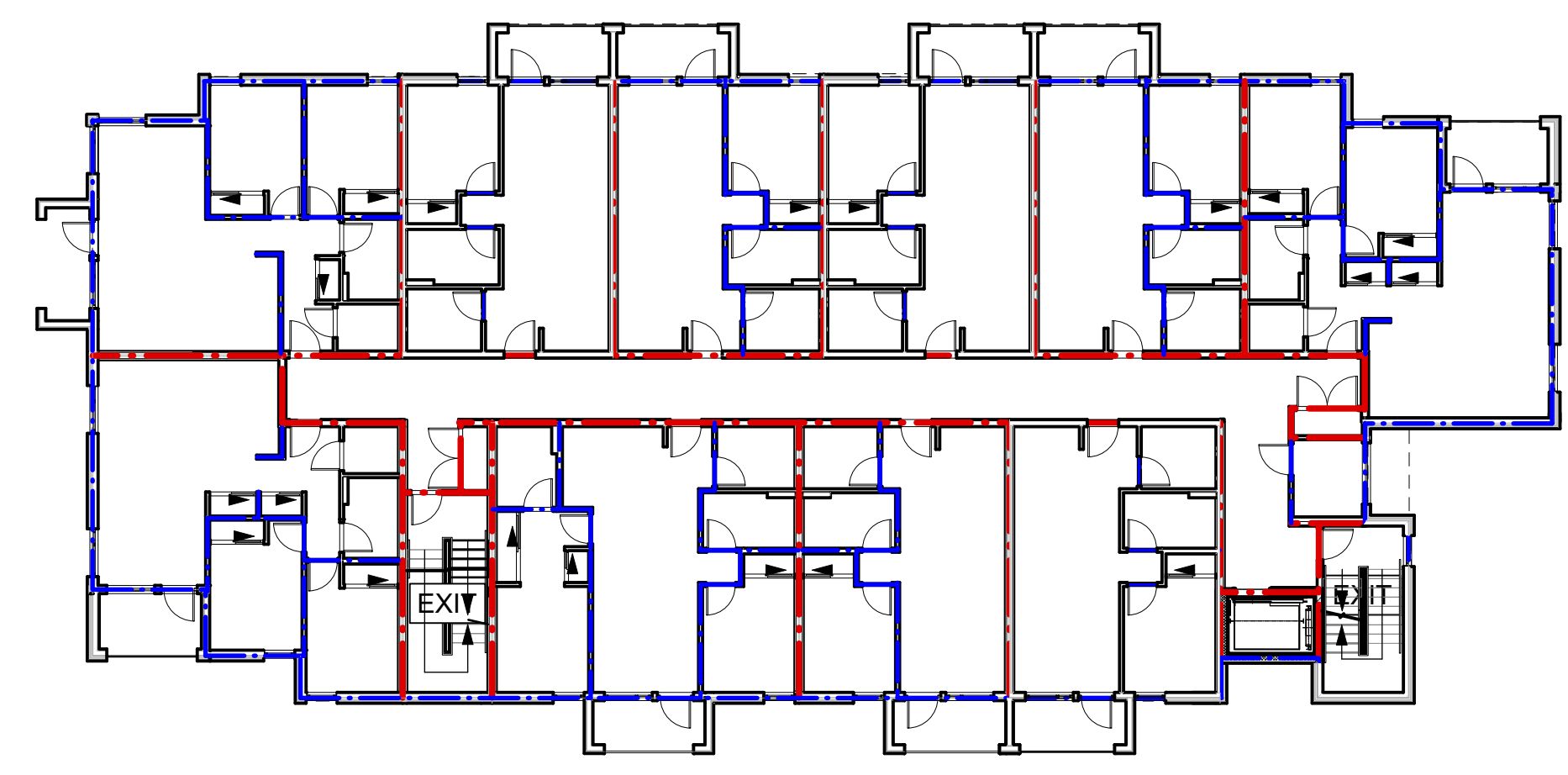
No:	Revision:	Date:



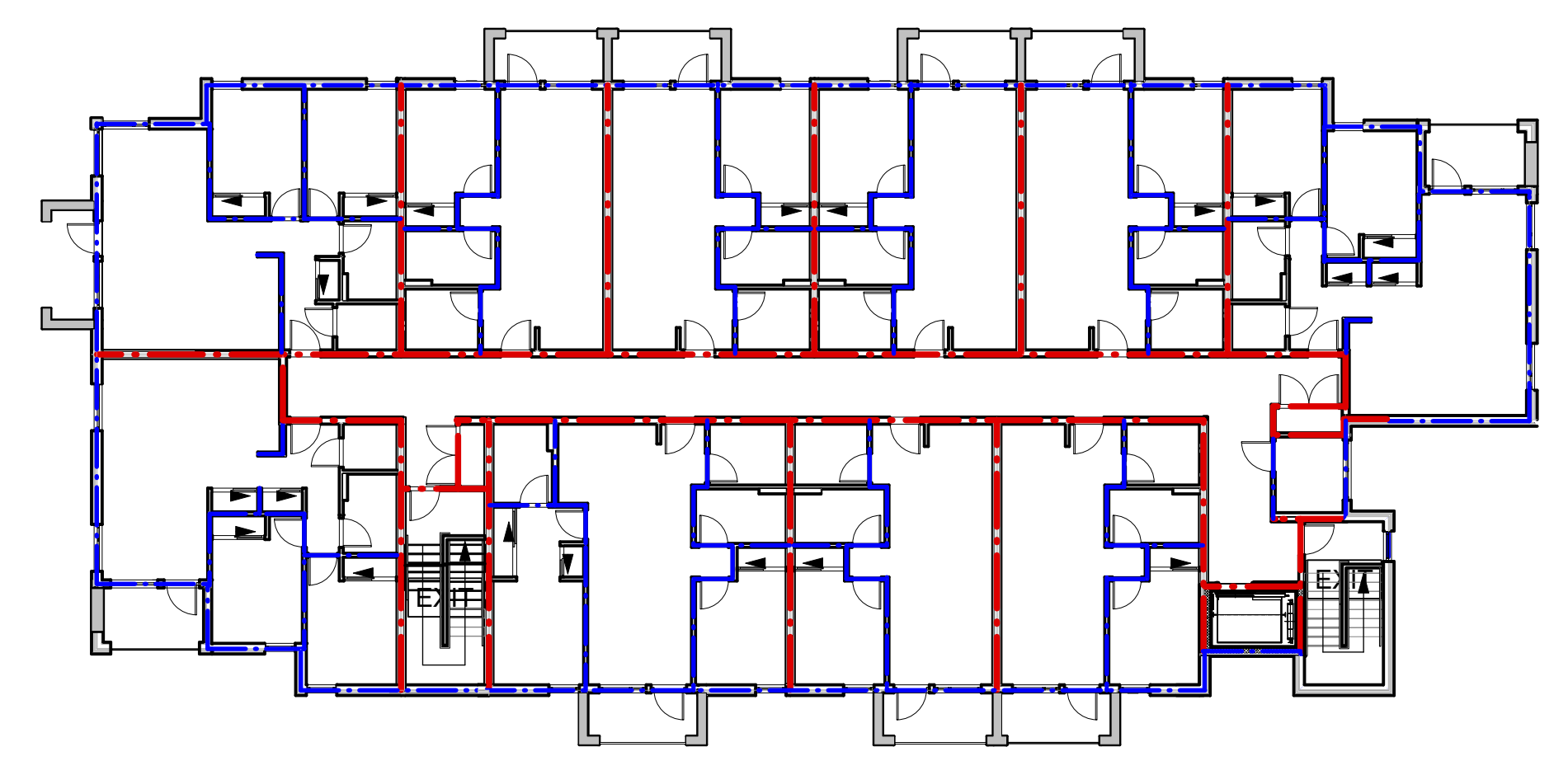
1 **PARKING PLAN**
Scale: 1/16" = 1'-0"



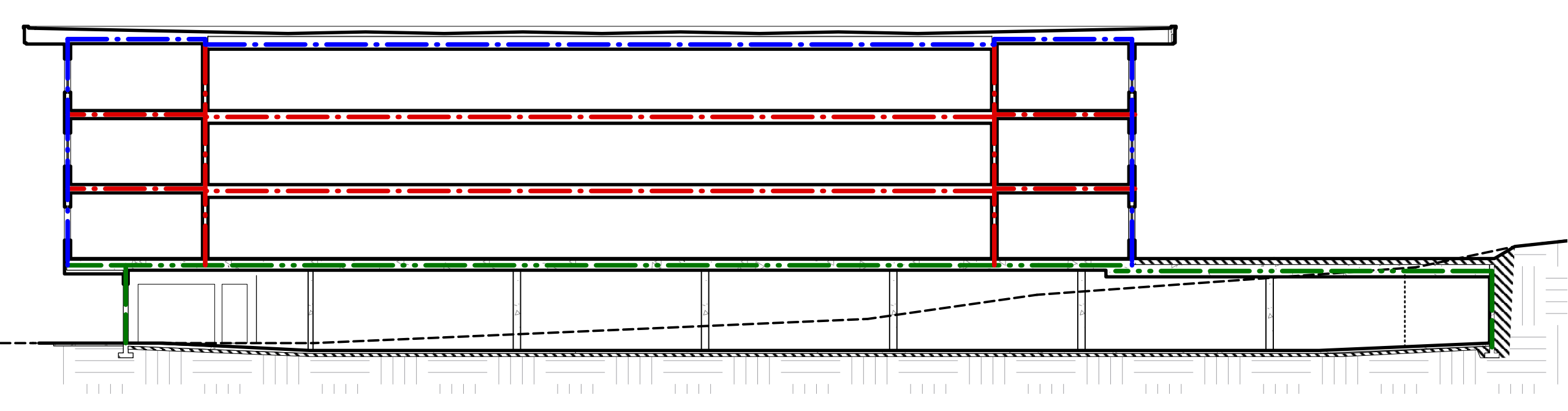
2 **FIRST FLOOR PLAN**
Scale: 1/16" = 1'-0"



3 **SECOND FLOOR PLAN**
Scale: 1/16" = 1'-0"



4 **THIRD FLOOR PLAN**
Scale: 1/16" = 1'-0"



5 **BUILDING SECTION PLAN**
Scale: 1/16" = 1'-0"

LEGEND:

	EGRESS LOCATION
	1 HR. FRR - FIRE SEPARATION
	1 HR. FRR - LOAD BEARING
	2.0 HR. FRR

GENERAL NOTES:

- REFER TO CODE CONSULTANT REPORT FOR FRR MINIMUMS
- REFER TO ASSEMBLIES FOR STC RATINGS
- REFER TO ASSEMBLIES FOR LISTED ASSEMBLIES
- REFER TO STRUCTURAL FOR LOAD BEARING WALL LOCATIONS
- SPRINKLER PROTECTION ON UNDERSIDE OF DECKS PER NFPA 13R
- REFER TO CODE CONSULTANT REPORT FOR FIRE ALARM ALTERNATE SOLUTION
- REFER TO A-5.1 FOR FIRE SEPERATION DETAILS
- PROVIDE METALLIC NON-COMBUSTIBLE OUTLET BOXES IN ALL VERTICAL AND HORIZONTAL FIRE SEPARATIONS

Title
FIRE RESISTANCE RATINGS & EXITS

Project
WHISTLER DEVELOPMENT CORPORATION
1400 MOUNT FEE ROAD

MURDOCH COMPANY
Architecture + Planning Ltd.
106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B4
Ph: 905-6992
e-mail: murdoch@telus.net

Sealed By:



Drawn By:

BM/NM

Project No:

22.01

Scale:

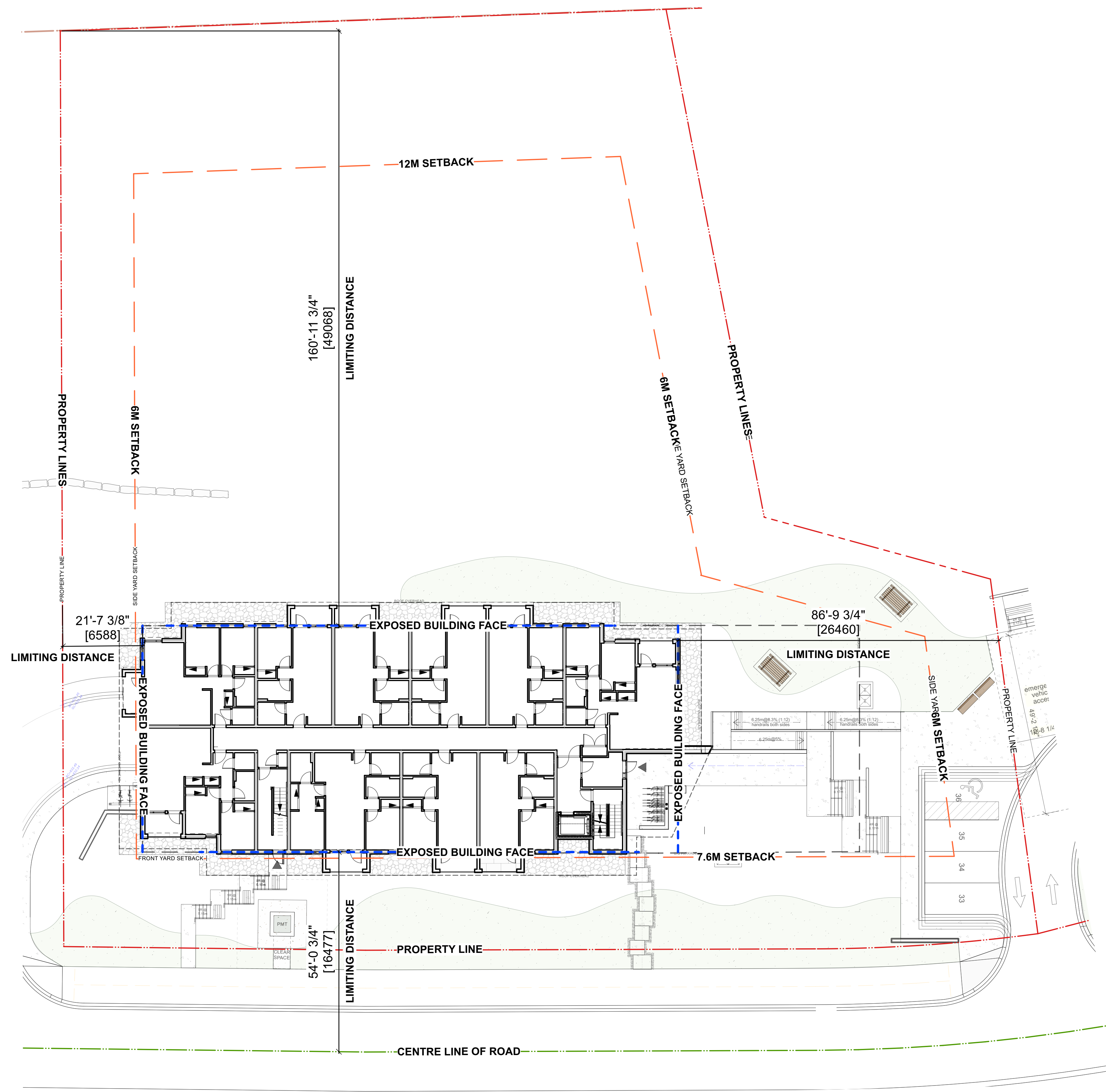
Sheet No:

A-1.04

FIRE RESISTANCE RATINGS & EXITS
A-1.04

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP	MAR. 08, 2023
ISSUED FOR COUNCIL REV.	MAR. 10, 2023

No:	Revision:	Date:



1 SITE PLAN
Scale: 1/16" = 1'-0"



2 NORTH ELEVATION
Scale: 1/8" = 1'-0"

EXPOSED BUILDING FACE - NORTH ELEVATION
 TOTAL EXPOSED BUILDING FACE = 166.33 M SQ.; **MAX = 150M**
 ACTUAL LIMITING DISTANCE = 6588 MM; **APPLIED = 6.0 M**
 TOTAL UNPROTECTED OPENINGS = 31.31 M SQ.; **52% ALLOWED**
 (31.31M SQ/ 166.33M SQ.)X100 = **18.8% < 52% . OK**

- GENERAL NOTES:**
1. AT **BUILDING A**; MINIMUM 9M LIMITING DISTANCE ON WEST, SOUTH & EAST EXPOSED BUILDING FACES THEREFORE 100% UNPROTECTED OPENINGS PERMITABLE
 1. REFER TO A-1.7 & A-1.8 FOR FIRE COMPARTMENTS
 2. REFER TO DOOR & WINDOW SCHEDULES FOR FOR UNIT SIZES & ROUGH OPENINGS. DIMENSIONS SHOWN ASSUME A 1/2" ROUGH OPENING
 4. REFER TO CODE REPORT SECTION 9.0 SPATIAL SEPARATIONS
 5. REFER TO ALTERNATE SOLUTION 1
 6. REFER TO A 1.11 & 12 FOR ASSEMBLIES; DIMENSIONS SHOWN IN DIAGRAMS ARE TAKEN TO FACE OF FINISHED FLOOR &/ GWB.

WHISTLER DEVELOPMENT CORPORATION
 1400 MOUNT FEE ROAD
 Title **LIMITING DISTANCE**
 Project

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net

Sealed By:



Drawn By:	Scale:
BM/NM	
Project No:	Sheet No:
22.01	A-1.05

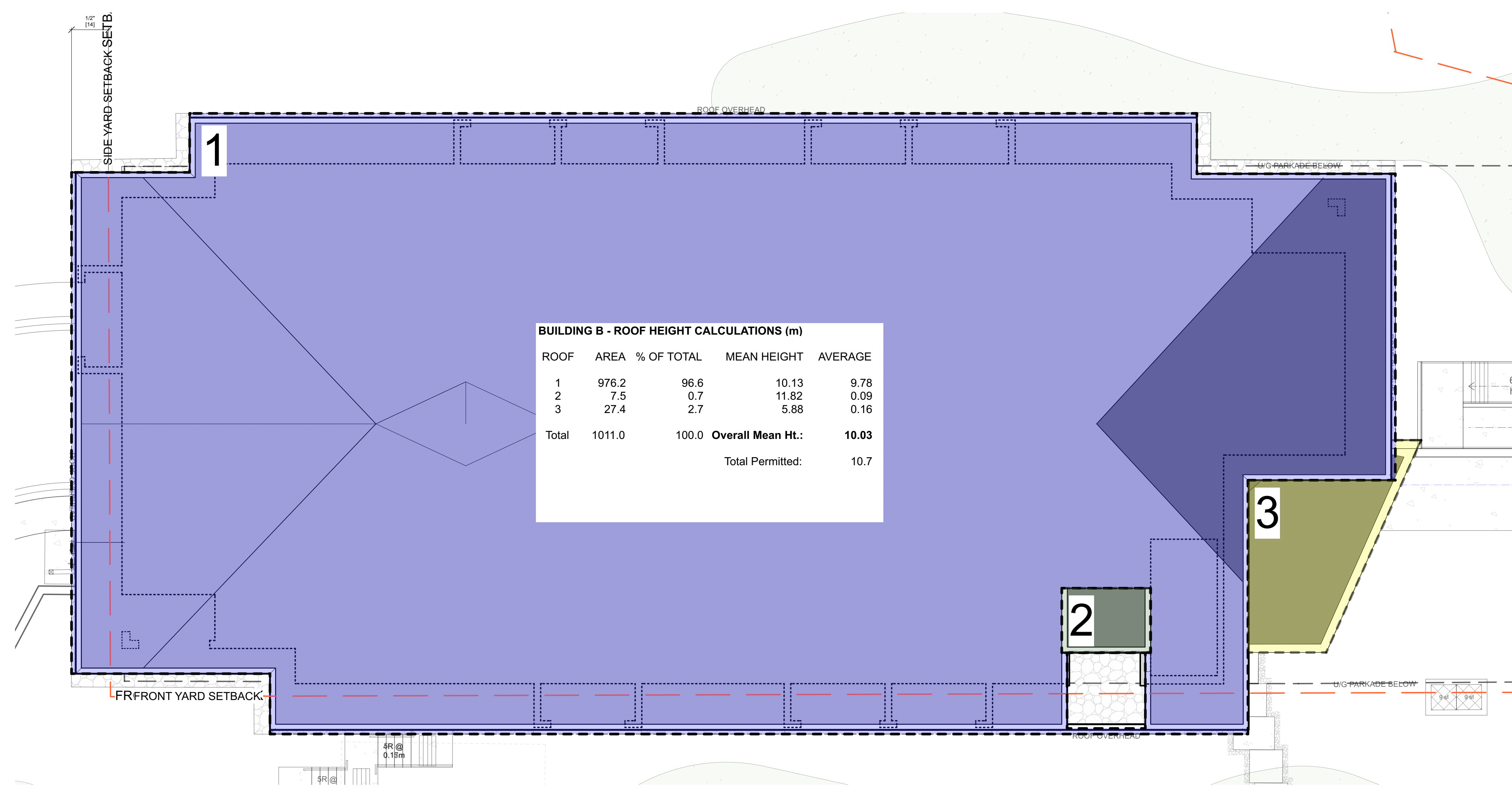
A-1.05 LIMITING DISTANCE

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP	MAR. 08, 2023
ISSUED FOR COUNCIL REV.	MAR. 10, 2023

No:	Revision:	Date:



1 WEST ELEVATION
Scale: 1/8" = 1'-0"



2 ROOF PLAN
Scale: 1/8" = 1'-0"

ROOF HEIGHT CALCULATIONS
WHISTLER DEVELOPMENT CORPORATION
 1400 MOUNT FEE ROAD

MURDOCH COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net

Sealed By:



Drawn By: Scale:

BM/NM

Project No: Sheet No:

22.01 **A-1.06**

EXTERIOR WALL ASSEMBLY SCHEDULE

SCALE 1-1/2" = 1'

TYPE	BUILDUP	DESCRIPTION	RSI EFFECTIVE	FRR(HR)	STC
W1		UNINSULATED CONC. WALL BELOW GRADE	N/A	2.0	N/A
W2		EXPOSED CONCRETE WALL	N/A	2.0	N/A
W3.X		TYPICAL EXTERIOR WALL W/ HARDIE PANEL	3.96	1.0	N/A
W4		EXTERIOR WALL W/ STANDING SEAM	3.96	1.0	N/A
W5		EXTERIOR WING WALL 1	N/A	N/A	N/A
W6		EXTERIOR WING WALL 2	N/A	N/A	N/A
W7		CMU WALL W/ EXTERIOR CLADDING AT ELEVATOR	2.94+	2.0	N/A

INTERIOR WALL ASSEMBLY SCHEDULE

SCALE 1-1/2" = 1'

TYPE	BUILDUP	DESCRIPTION	RSI EFFECTIVE	FRR(HR)	STC
P1		INTERIOR 2x4 FRAMED WALL	N/A	1.0	N/A
P1.A		INTERIOR 2x4 FRAMED WALL w/ FURRING	N/A	1.0	N/A
P2		INTERIOR 2X6 FRAMED WALL	N/A	1.0	N/A
P3		SUITE / HALLWAY SEPARATION	N/A	1.0	56
P4		SUITE / SUITE SEPARATION	N/A	1.0	54
P5		CMU BLOCK WALL	N/A	1.5	50
P6		CMU BLOCK WALL W/ GWB	N/A	1.5	50
P7		CMU WALL @ SUITE	N/A	2.0	55+

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
1450 REZONING APPLICATION	DEC 16, 2022
1450 DP APPLICATION	DEC 16, 2022
1450 BP APPLICATION	DEC 20, 2022
IFT (TENDER)	JAN 31, 2023
ADP	FEB 6, 2023

No:	Revision:	Date:

ASSEMBLIES I
WHISTLER DEVELOPMENT CORPORATION
 1400 & 1450 MOUNT FEE ROAD

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net

Sealed By:
 Drawn By: _____ Scale: 1/8"=1'-0"
 Project No: 22.01 Sheet No: **A-2.00**

ROOF ASSEMBLY SCHEDULE

TYPE	BUILDUP	DESCRIPTION	RSI	FRR _(HR)	STC
R1		TYP. ROOF OVER INTERIOR IKO TORCHFLEX TP 250 HEAT WELDED CAP SHEET w/ IKO FAST-N-STICK 180 BASE; MECHANICALLY FASTENED; C/W CLASS A FIRE RATING (INSTALLED PER MANUFACTURERS SPEC.) PROTECTION BOARD, MECH. FASTENED TO DECK* SLOPE POLYISO C.I. MIN 6" S.A.M. AIR & VAPOUR BARRIER PLYWOOD SHEATHING [REFER TO STRUCTURAL] FRAMING - [REFER TO STRUCTURAL] 2 LAYER - 5/8" TYPE 'X' GWB, C/W PERPENDICULAR TO JOIST ORIENTATION RESILIENT CHANNEL, PER ULC LISTING INTERIOR AIR FILM	6.45 0.06 0.15 6.07 6.07 0.00 0.00	N/A N/A	N/A
R2		UPPER ROOF OVER EXTERIOR IKO TORCHFLEX TP 250 HEAT WELDED CAP SHEET w/ IKO FAST-N-STICK 180 BASE; MECHANICALLY FASTENED; C/W CLASS A FIRE RATING (INSTALLED PER MANUFACTURERS SPEC.) PROTECTION BOARD, MECH. FASTENED TO DECK* PLYWOOD SHEATHING [REFER TO STRUCTURAL] SLOPED ROOF JOISTS - [REFER TO STRUCTURAL] HARDIE SOFFIT PANEL VENTED SMOOTH COLOUR TBD	N/A	N/A	N/A
R3		LOW ROOF OVER EXTERIOR MIN 2" PEA GRAVEL IKO TORCHFLEX TP 250 HEAT WELDED CAP SHEET w/ IKO FAST-N-STICK 180 BASE; MECHANICALLY FASTENED; C/W CLASS A FIRE RATING (INSTALLED PER MANUFACTURERS SPEC.) PROTECTION BOARD, FASTENED PER MANUFACTURERS SPECIFICATIONS TAPERED POLYISO MIN THICKNESS 1" PLYWOOD SHEATHING [REFER TO STRUCTURAL] TJI - [REFER TO STRUCTURAL] VENTED HARDIE BOARD SOFFIT	N/A	N/A	N/A

FLOOR ASSEMBLY SCHEDULE

TYPE	DESCRIPTION	RSI (R) EFFECTIVE	FRR _(HR)	STC
F1	 SLAB ON GRADE - EXT / GARG	N/A	N/A	N/A
F2	 TYP. PAVERS - EXTERIOR	N/A	N/A	N/A
F3	 DECK SUSPENDED SLAB	2.66 + 0.03 2.66 0.00	2HR	N/A

FLOOR ASSEMBLY SCHEDULE CONT'D

TYPE	BUILDUP	DESCRIPTION	RSI EFFECTIVE	FRR _(HR)	STC
F4	 TYP. SUSP. SLAB	(INTERIOR AIR FILM) WOOD VINYL PLANK CONCRETE TOPPING EPS RIGID INSULATION (TYPE 3) REINF. CONC. SUSP. SLAB SEE STRUCTURAL MONOGLASS SPRAY THERMAL ACOUSTIC INSULATION BELOW CONDITIONED SPACE ONLY	4.30 0.16 0.00 0.015 1.14 0.16 3.82	2HR	N/A
F5	 SUSPENDED SLAB BELOW GRADE	(EXTERIOR AIR FILM) TOP SOIL TO FINISHED GRADE ROOT BARRIER (INSTALLED TO MANU. SPEC.) EPS RIGID INSULATION MIRROR DRAIN 2PLY SBS TORCH ON MEMBRANE TAPERED REINF. CONC. SUSP. SLAB W/ MIN 2% SLOPE AWAY FROM BUILDING REFER TO STRUCTURAL	1.14 + 1.14	2HR	N/A
F6	 TYP. TJI FLOOR - INTERIOR	SHEET VINYL-A; WOOD VINYL PLANK -B CONCRETE TOPPING PROVIDE ADDITIONAL PRICING FOR OPTIONAL 1/8" ACOUSTIC MATT UNDERLAYMENT SHEATHING SUBFLOOR (REFER TO STRUCT.) GLUED & SCREWED TO LEVEL TJI (REFER TO STRUCT.) w/ 3.5" MINNERAL BATT 25 MSG GALVANIZED RESILIENT CHANNEL @ 16" O.C. 2 LAYERS TYPE-X GWB, PAINT FINISH, 1 1/4" TYPE 'S' SCREWS; BACKFRAME BELOW AS REQUIRED PAINTED GWB FINISH	N/A	1.0 HR	58
F7	 TYP. DECK OVER EXTERIOR	1 1/2" PATIO PAVERS (TYP. ABBOTSFORD) w/ PEDESTAL IKO TORCHFLEX TP 250 HEAT WELDED CAP SHEET w/ IKO FAST-N-STICK 180 BASE; MECHANICALLY FASTENED; REFER TO WHA APPROVED ROOF SYSTEM (INSTALLED PER MANUFACTURERS SPEC.) IKO ARMOUR GUARD VAPOUR RETARDANT (FASTENED PER MANUFACTURERS SPEC.) PLY SHEATHING (REFER TO STRUCTURAL) TAPERED STRUCTURAL MEMBERS OR C/W SLEEPERS @ MIN 2% SLOPE AWAY FROM BUILDING; REFER TO STRUCTURAL BACKFRAMING AS REQUIRED HARDIE SOFFIT PANEL VENTED SMOOTH COLOUR TBD	N/A	N/A	N/A
F8	 TYP. HALL FLOOR - INTERIOR	SHEET VINYL-A CONCRETE TOPPING PROVIDE ADDITIONAL PRICING FOR OPTIONAL 1/8" ACOUSTIC MATT UNDERLAYMENT SHEATHING SUBFLOOR (REFER TO STRUCT.) GLUED & SCREWED TO 2X6 FRAMING (REFER TO STRUCT.) w/ 5.5" MINNERAL BATT 2 LAYERS TYPE-X GWB, PAINT FINISH DROP & BACKFRAME AS REQUIRED PAINTED GWB FINISH	N/A	1.0 HR	N/A

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
1450 REZONING APPLICATION	DEC 16, 2022
1450 DP APPLICATION	DEC 16, 2022
1450 BP APPLICATION	DEC 20, 2022
IFT (TENDER)	JAN 31, 2023
ADP	FEB 6, 2023

ASSEMBLIES II
WHISTLER DEVELOPMENT CORPORATION
 1400 & 1450 MOUNT FEE ROAD

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net

Sealed By:

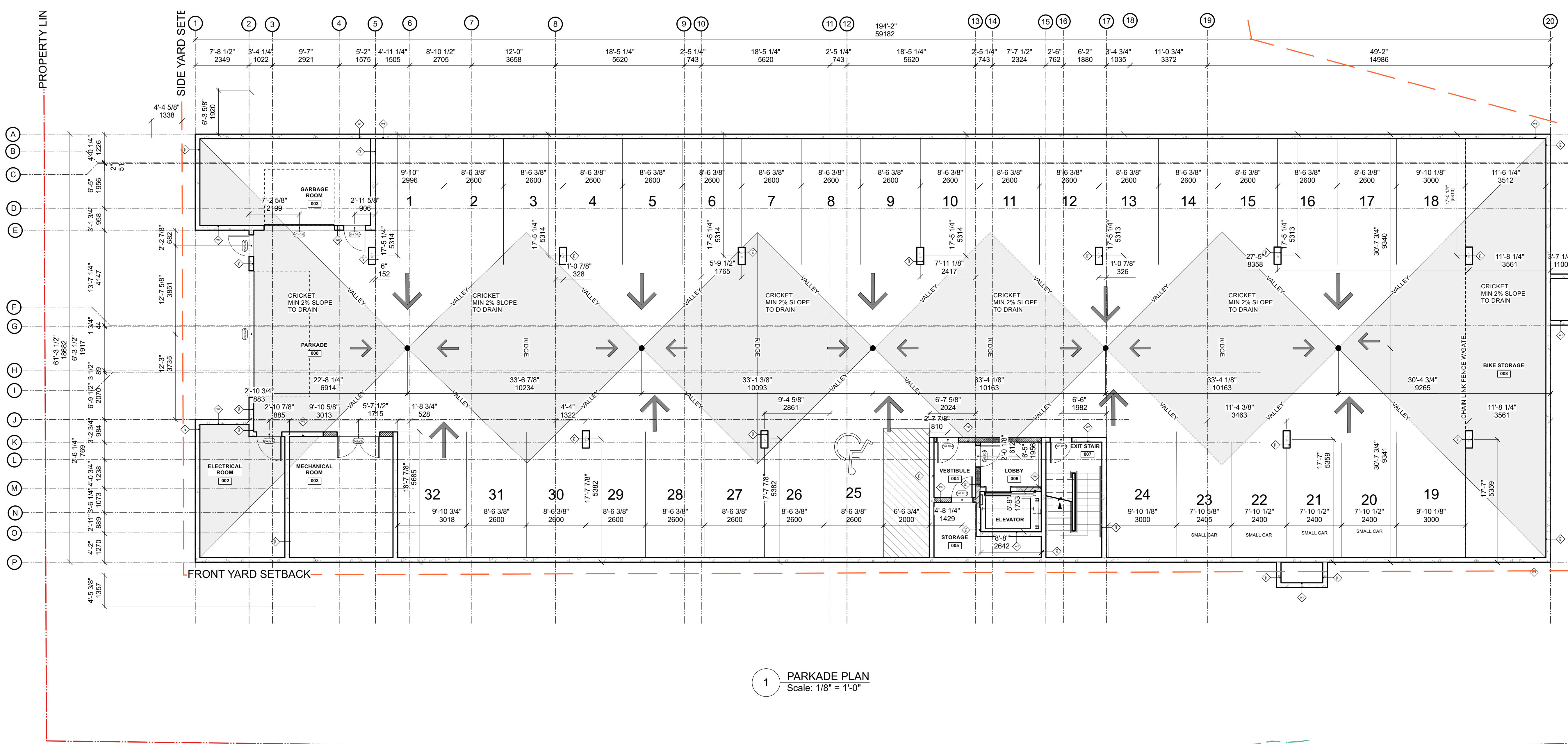
Drawn By: _____ Scale: 1/8"=1'-0"
 Project No: 22.01 Sheet No: **A-2.00**

A-2.00 ASSEMBLIES II

This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP	MAR. 08, 2023
ISSUED FOR COUNCIL REV.	MAR. 10, 2023

No:	Revision:	Date:



1 PARKADE PLAN
Scale: 1/8" = 1'-0"



2 PARKADE PLAN
Scale: 1" = 50'-0"

Title **PARKADE PLAN**
Project **WHISTLER DEVELOPMENT CORPORATION**
1400 MOUNT FEE ROAD

MURDOCH + COMPANY
Architecture + Planning Ltd.
106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B4
Ph. 905-6992
e-mail murdoch@telus.net

Sealed By: 

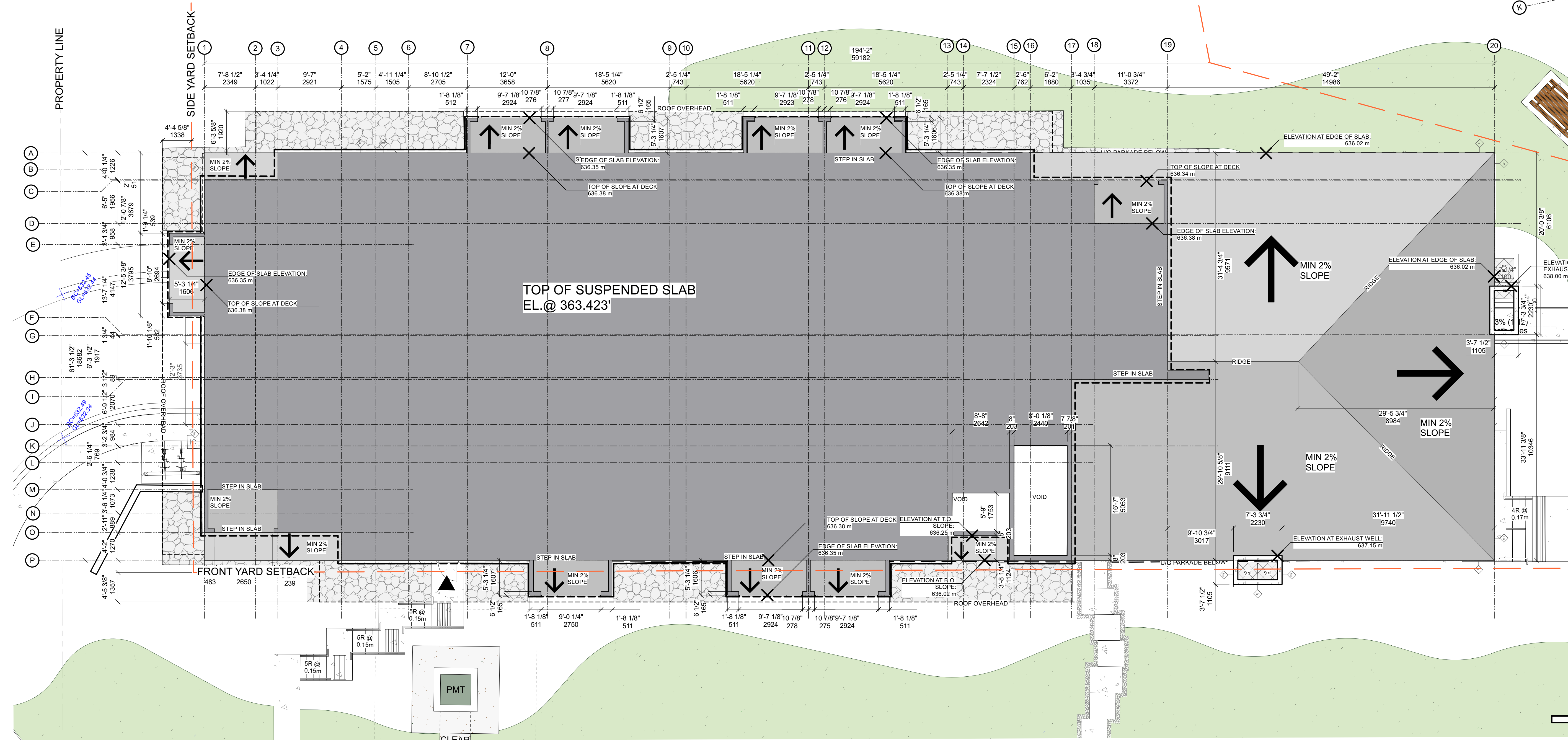
Drawn By: Scale:
BM/NM AS SHOWN
Project No: Sheet No:
22.01 **A-2.02**

A-2.02 PARKADE PLAN

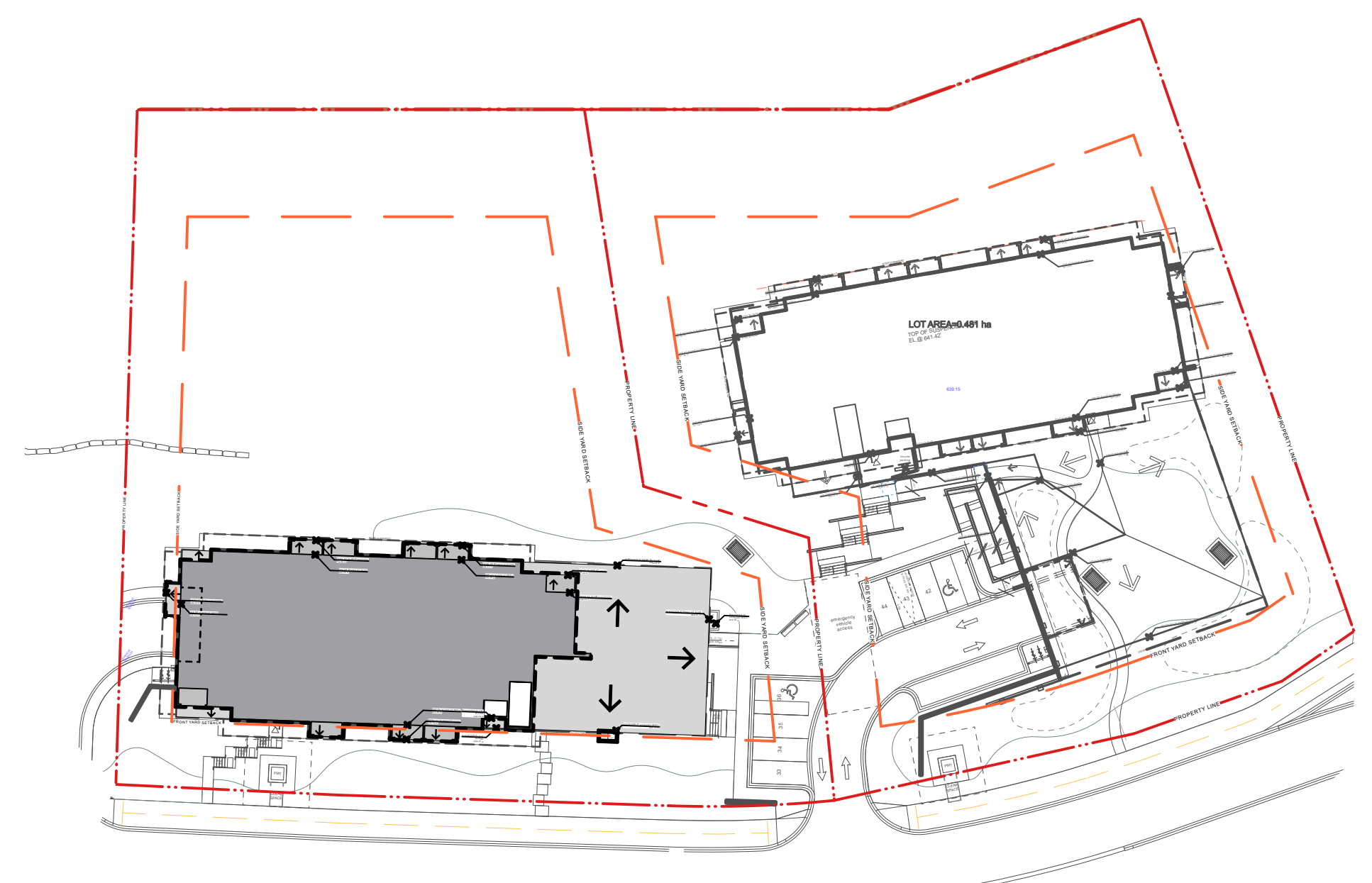
This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP SUBMISSION	FEB 7, 2023

No:	Revision:	Date:




1 SUSPENDED SLAB PLAN
Scale: 1/8" = 1'-0"



2 KEY PLAN
Scale: 1" = 50'-0"

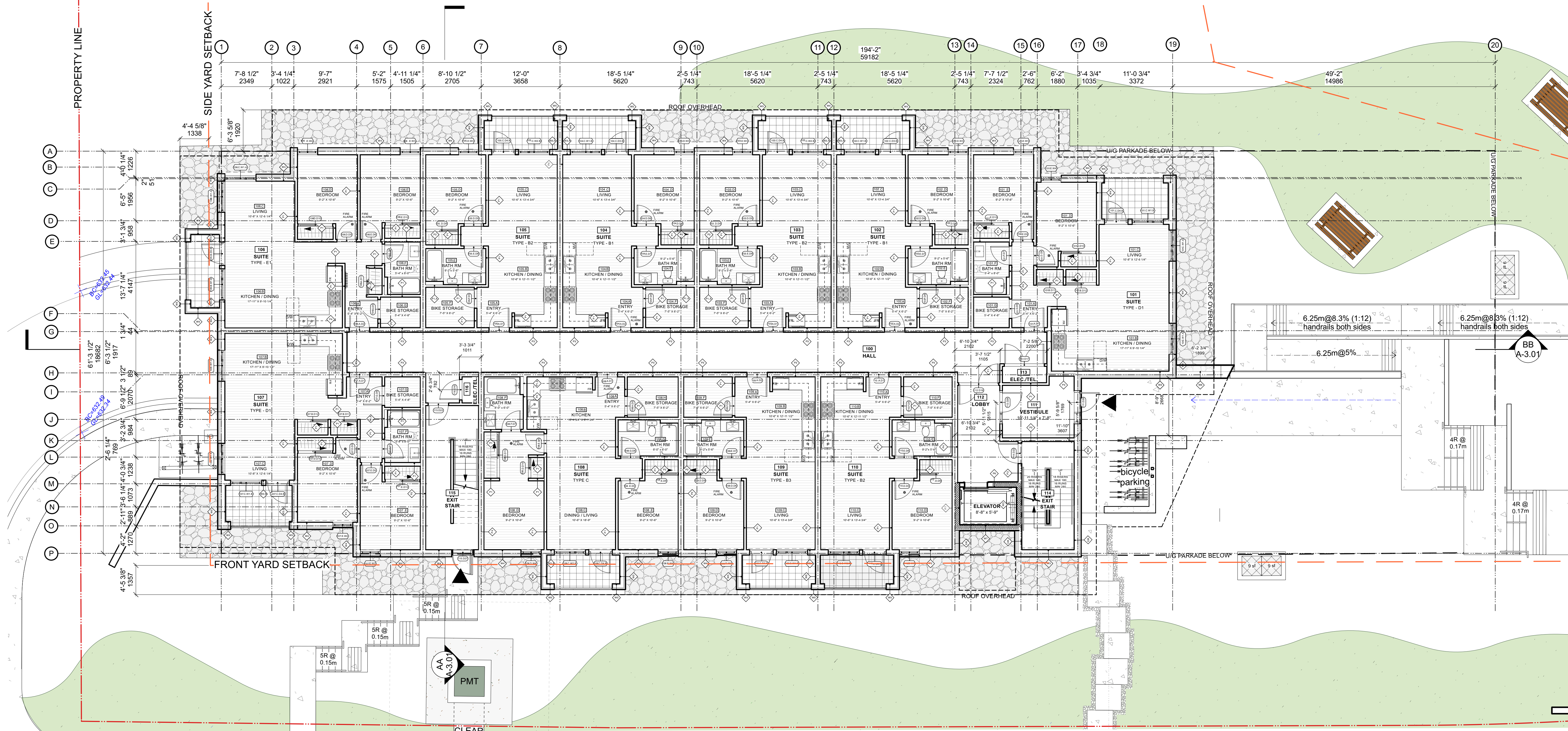
SUSPENDED SLAB PLAN
WHISTLER DEVELOPMENT CORPORATION
 1400 MOUNT FEE ROAD

Title
MURDOCH COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net

Sealed By: 
 Drawn By: Scale:
 BM/NM AS SHOWN
 Project No: Sheet No:
 22.01 **A-2.03**

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP	MAR. 08, 2023
ISSUED FOR COUNCIL REV.	MAR. 10, 2023

No:	Revision:	Date:



1 GROUND FLOOR PLAN
Scale: 1/8" = 1'-0"



2 KEY PLAN
Scale: 1" = 50'-0"

GROUND FLOOR PLAN
WHISTLER DEVELOPMENT CORPORATION
 1400 MOUNT FEE ROAD

Title
MURDOCH + COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net

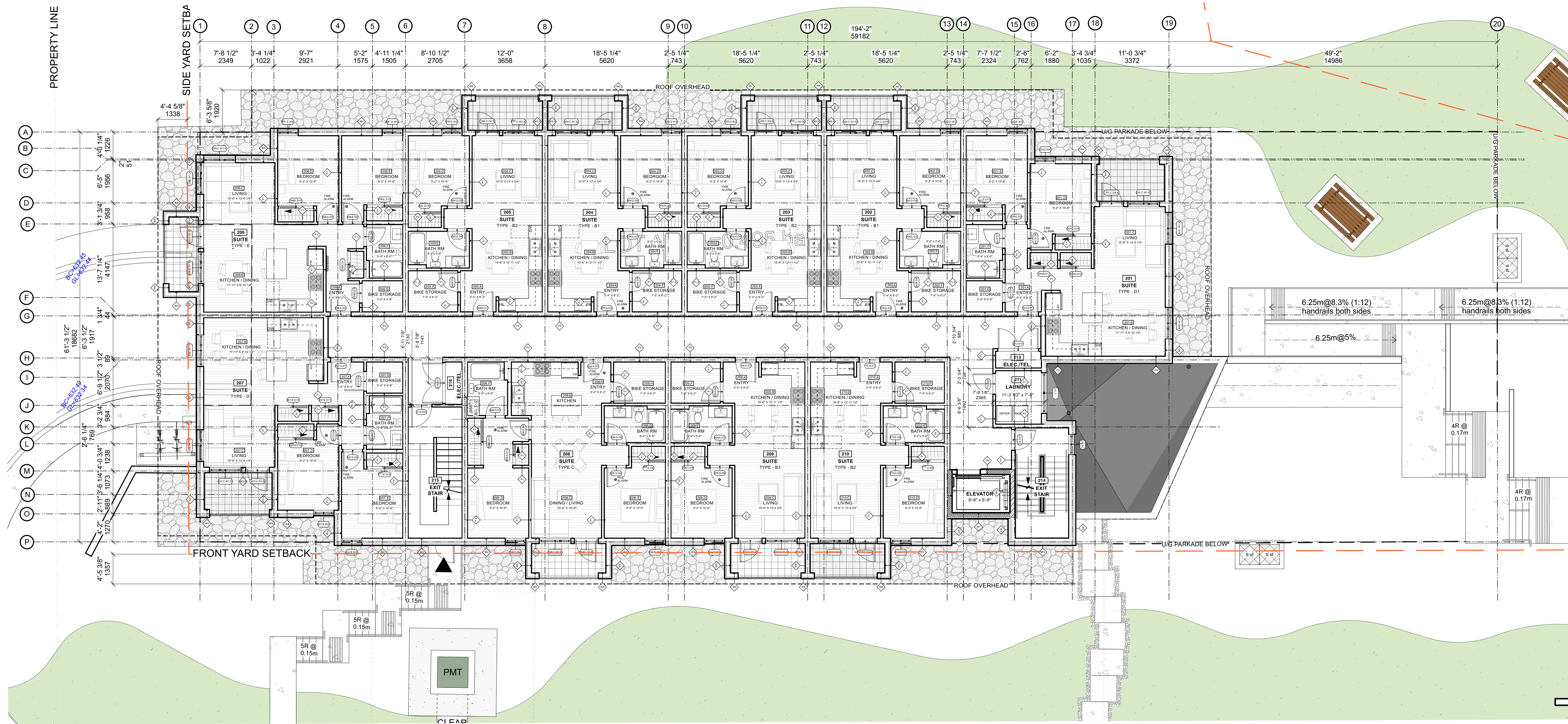
Sealed B


Drawn By: _____ Scale: _____
 BM/NM _____
 Project No: _____ Sheet No: _____
 22.01 **A-2.04**

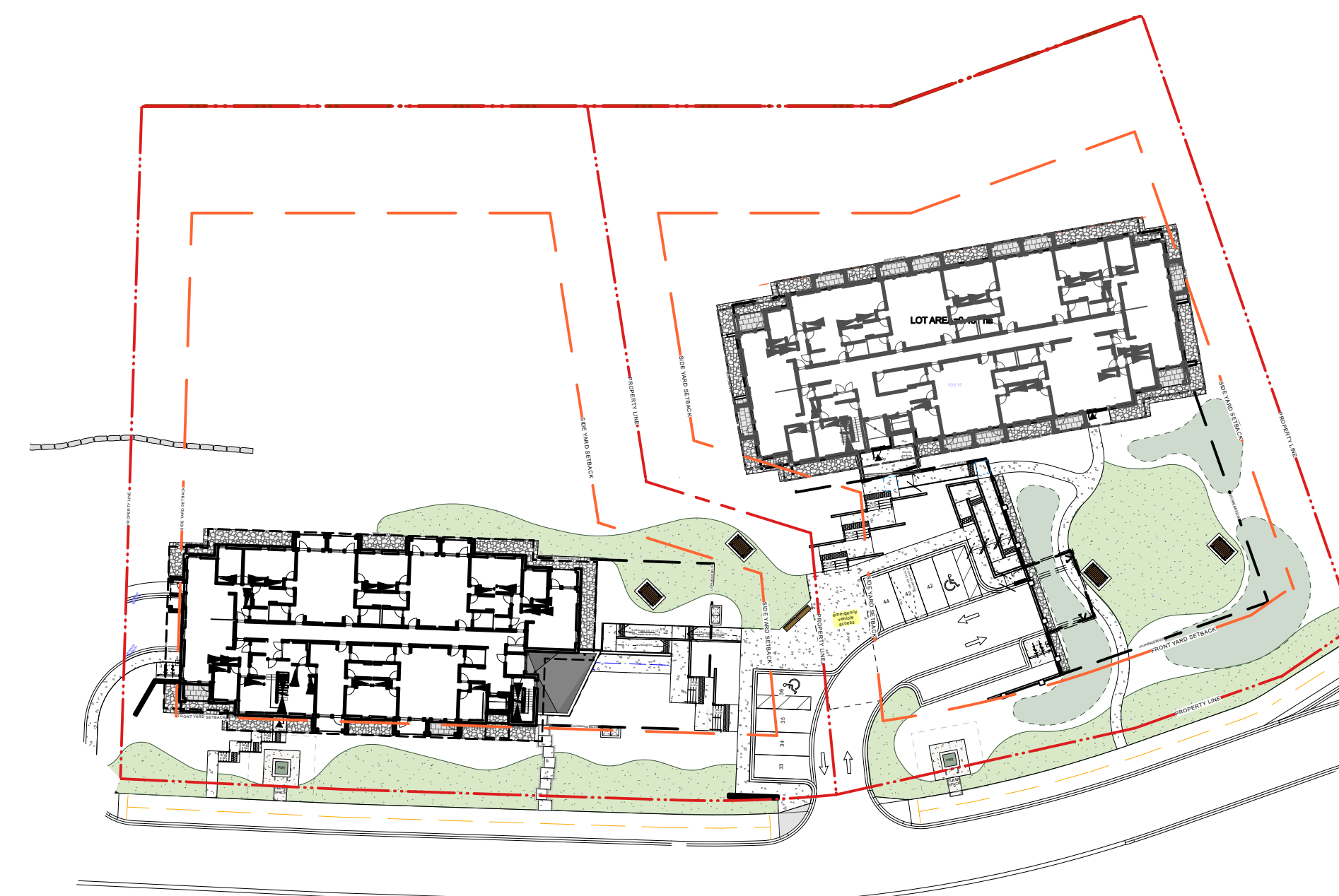
A-2.04 GROUND FLOOR PLAN

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP SUBMISSION	FEB 7, 2023

No:	Revision:	Date:



1 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



2 KEY PLAN
Scale: 1" = 50'-0"

Title
SECOND FLOOR PLAN
Project
WHISTLER DEVELOPMENT CORPORATION
1400 MOUNT FEE ROAD

MURDOCH + COMPANY
Architecture + Planning Ltd.
106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B4
Ph. 905-6992
e-mail murdoch@telus.net

Sealed By:



Drawn By: Scale:

BM/NM

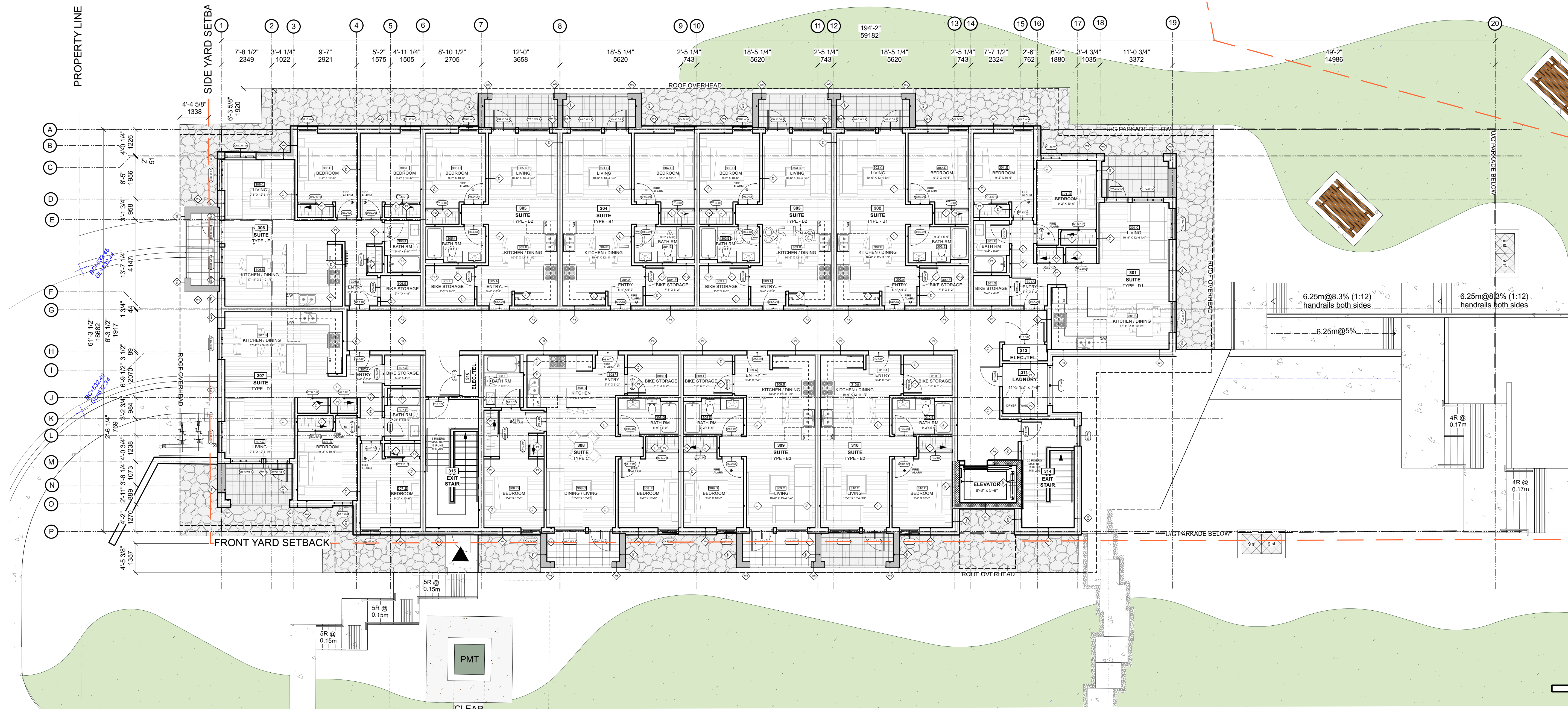
Project No: Sheet No:

22.01

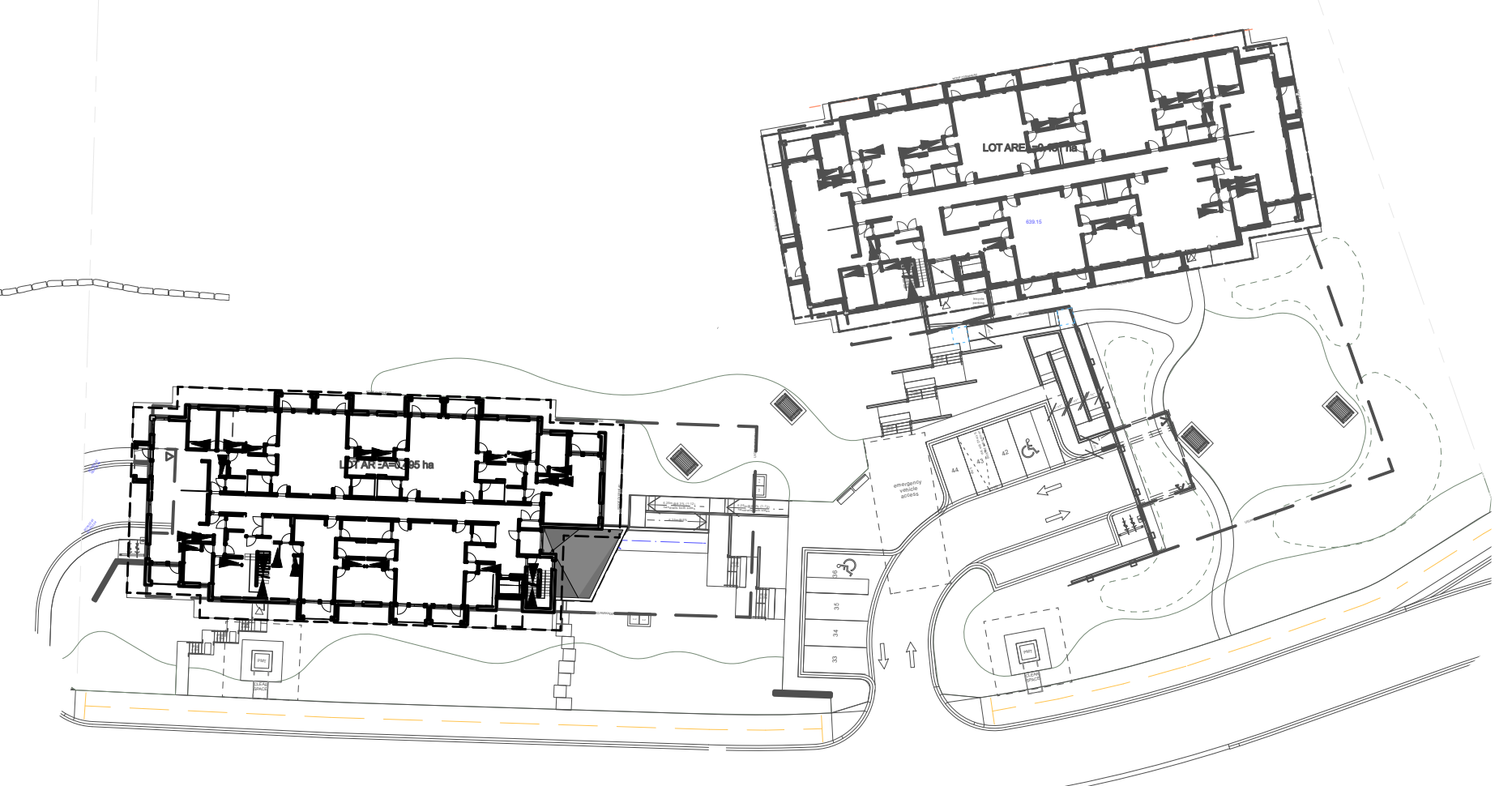
A-2.05

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP SUBMISSION	FEB 7, 2023

No:	Revision:	Date:



1 THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"



2 KEY PLAN
Scale: 1" = 50'-0"

Title
THIRD FLOOR PLAN

Project
WHISTLER DEVELOPMENT CORPORATION
1400 MOUNT FEE ROAD

MURDOCH + COMPANY
Architecture + Planning Ltd.
106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B4
Ph. 905-6992
e-mail murdoch@telus.net

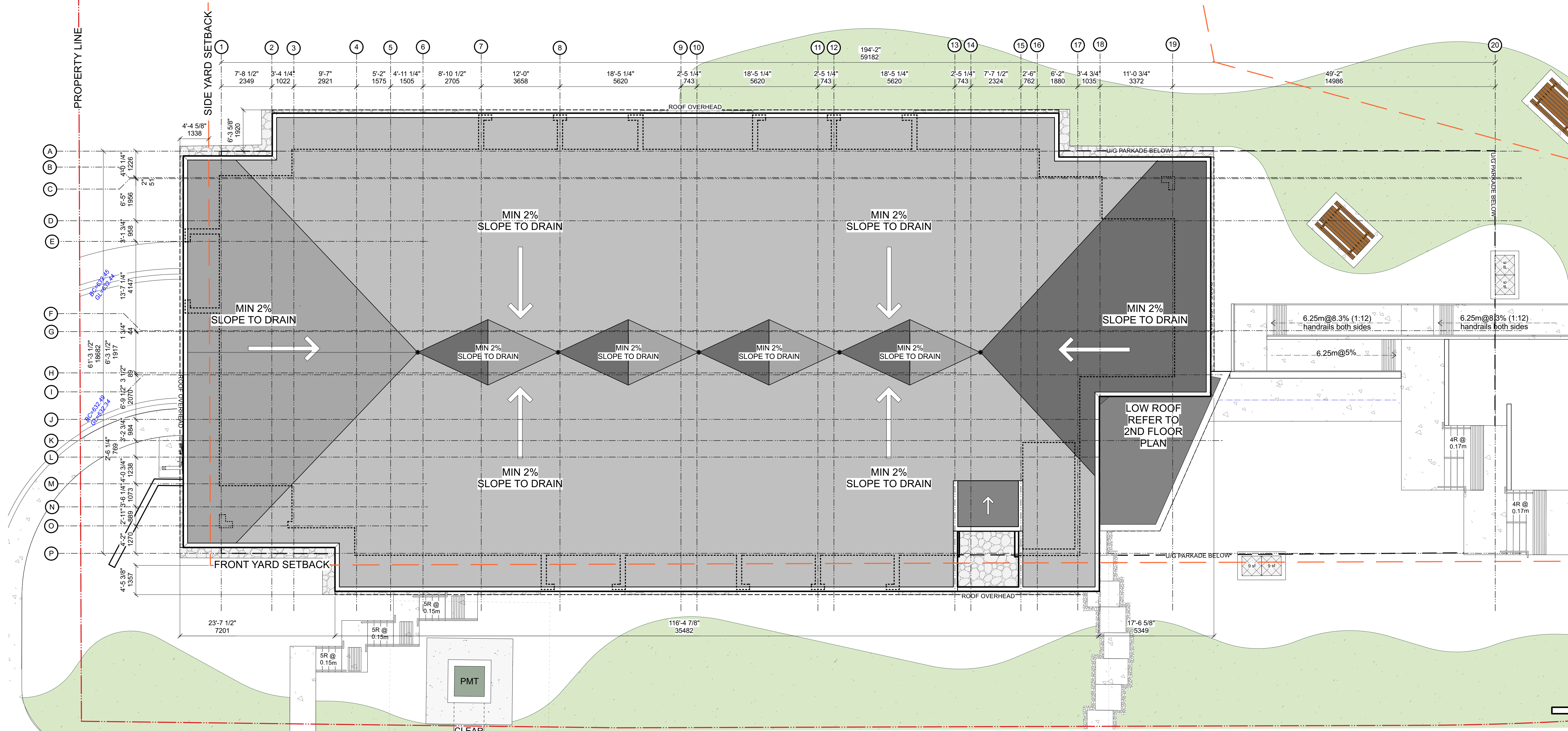
Sealed By:



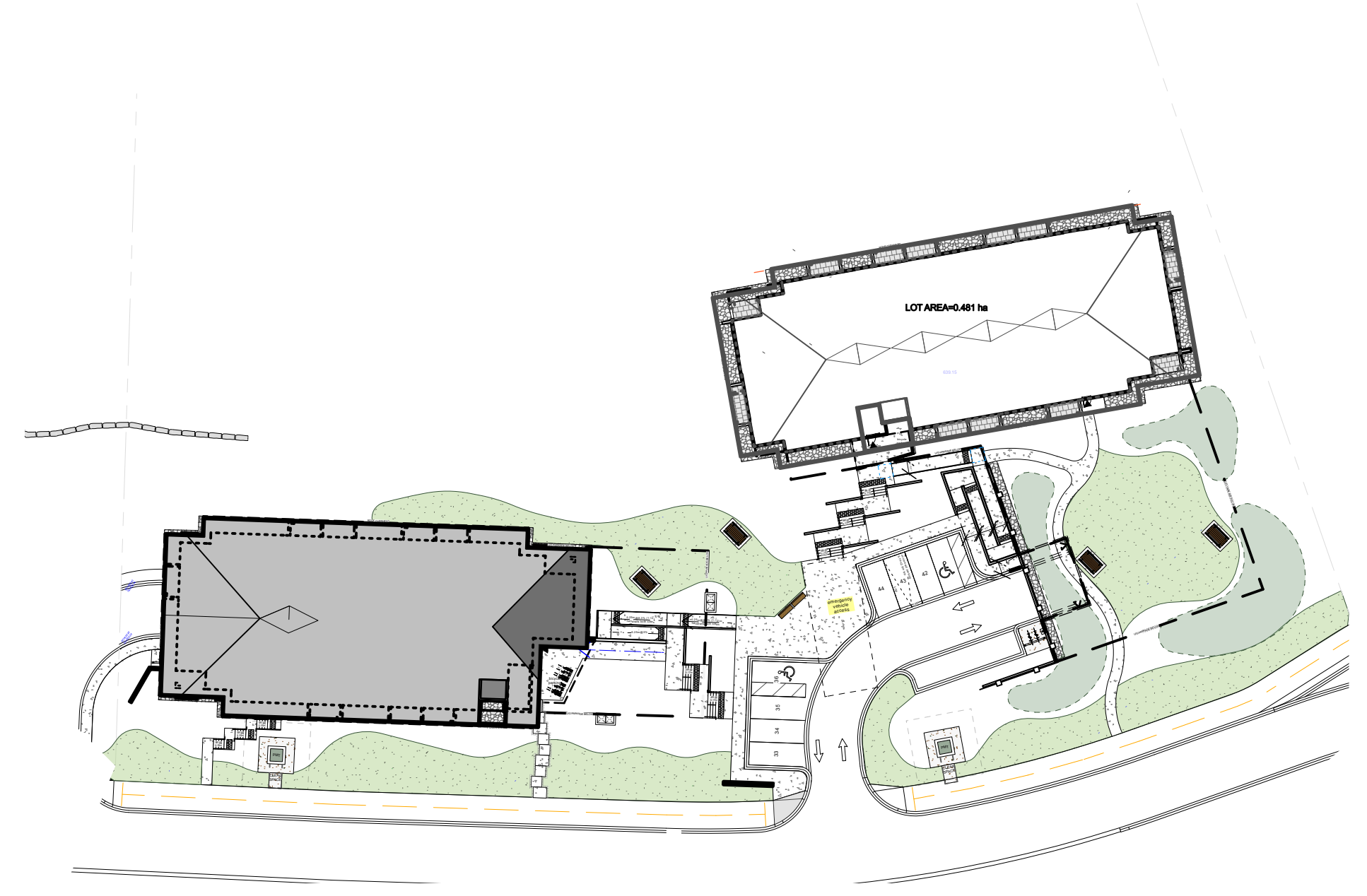
Drawn By:	Scale:
BM/NM	
Project No:	Sheet No:
22.01	A-2.06

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP SUBMISSION	FEB 7, 2023

No:	Revision:	Date:



1 ROOF PLAN
Scale: 1/8" = 1'-0"



2 KEY PLAN
Scale: 1" = 50'-0"

Title
ROOF PLAN

Project
WHISTLER DEVELOPMENT CORPORATION
1400 MOUNT FEE ROAD

MURDOCH + COMPANY
Architecture + Planning Ltd.
106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B4
Ph. 905-6992
e-mail murdoch@telus.net

Sealed By:

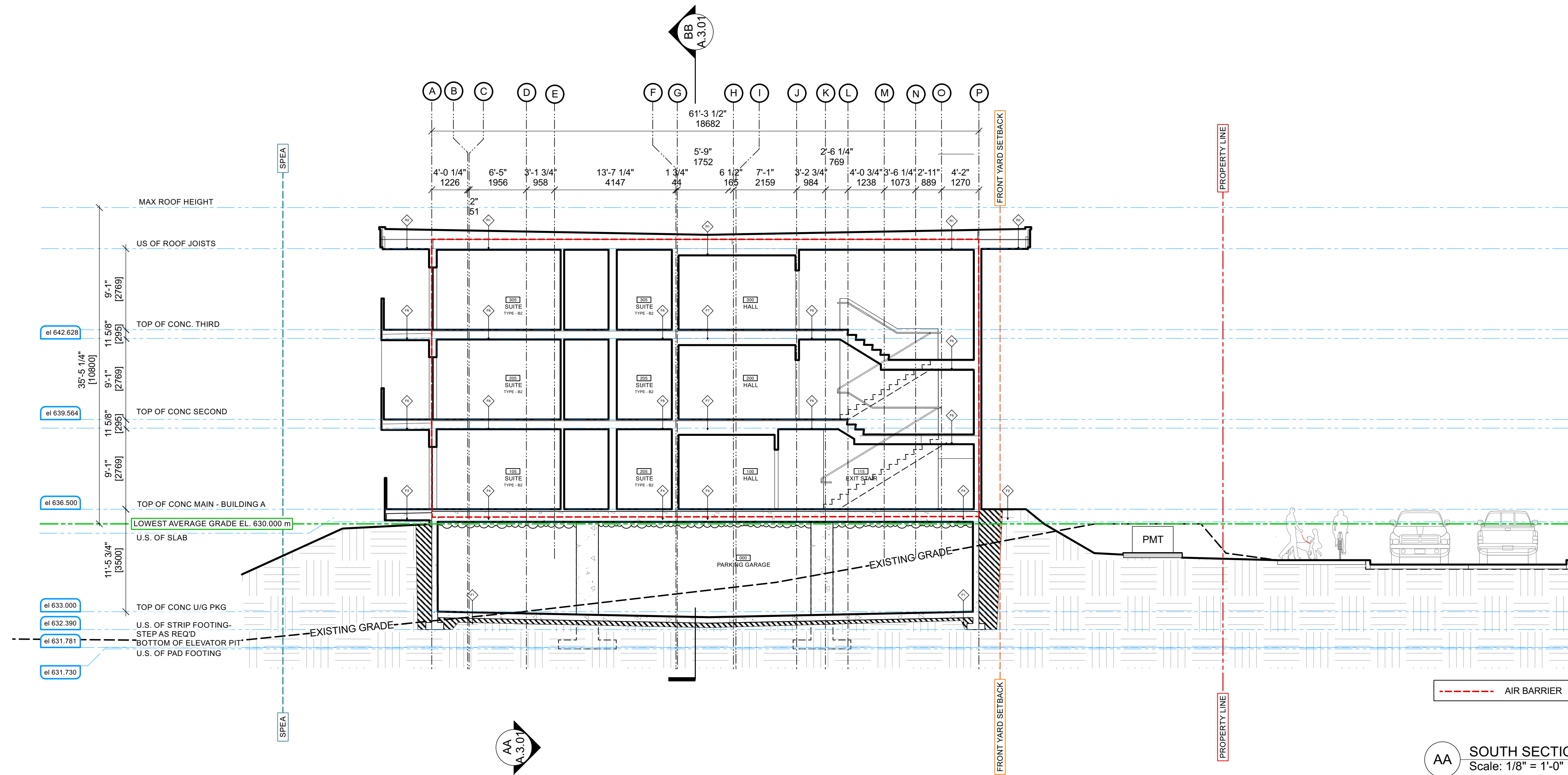


Drawn By: Scale:
BM/NM
Project No: Sheet No:
22.01 **A-2.07**

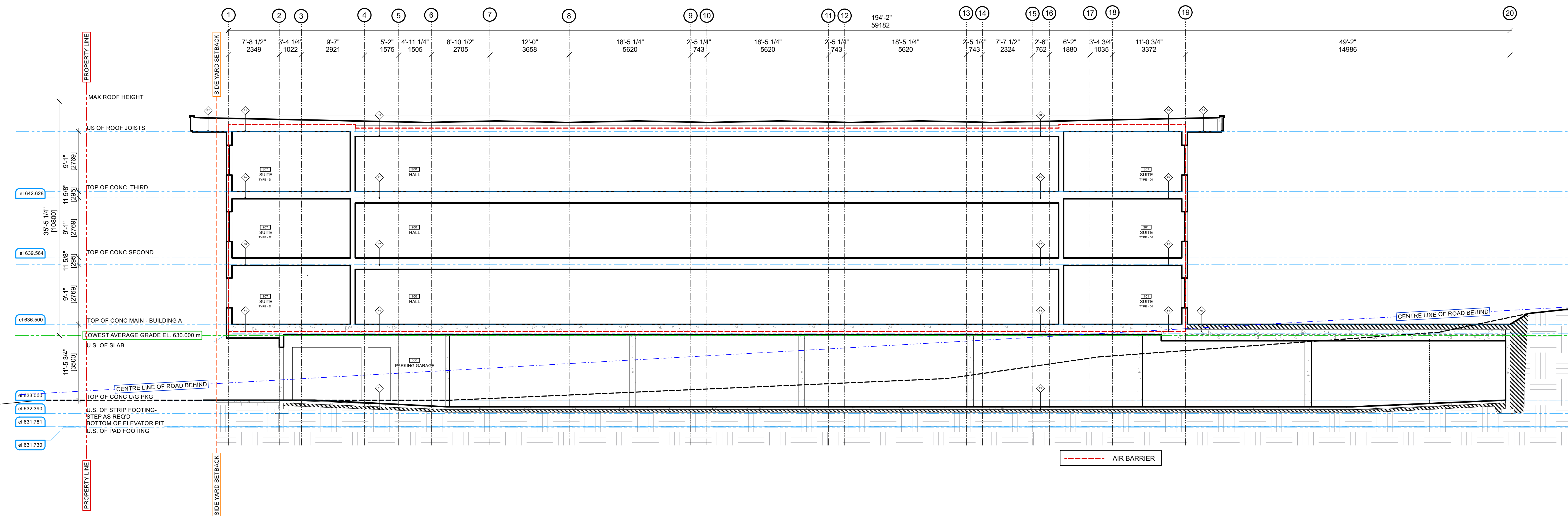
A-2.07 ROOF PLAN

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP SUBMISSION	FEB 7, 2023

No:	Revision:	Date:



AA SOUTH SECTION
Scale: 1/8" = 1'-0"



BB NORTH SECTION
Scale: 1/8" = 1'-0"

Title **BUILDING SECTIONS**

Project **WHISTLER DEVELOPMENT CORPORATION**
1400 MOUNT FEE ROAD

MURDOCH COMPANY
Architecture + Planning Ltd.
106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B4
Ph. 905-6992
e-mail murdoch@telus.net

Sealed By:



Drawn By:	Scale:
BM/NM	
Project No:	Sheet No:
22.01	A-3.01

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP	MAR. 08, 2023
ISSUED FOR COUNCIL REV.	MAR. 10, 2023

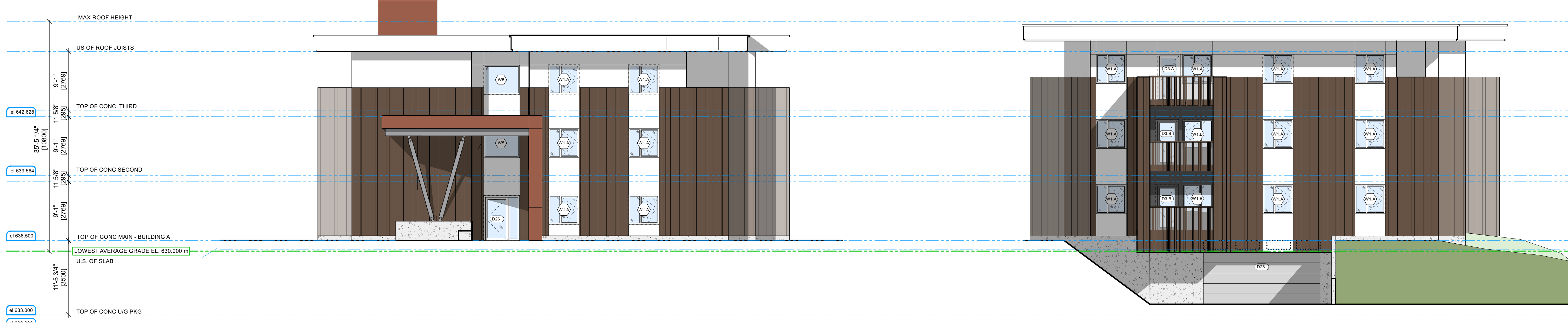
No:	Revision:	Date:



1 WEST ELEVATION
Scale: 1/8" = 1'-0"



2 EAST ELEVATION
Scale: 1/8" = 1'-0"

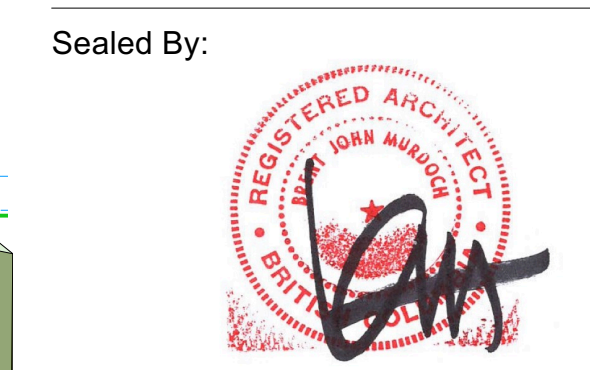


3 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

4 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

BUILDING ELEVATIONS
WHISTLER DEVELOPMENT CORPORATION
 1400 MOUNT FEE ROAD

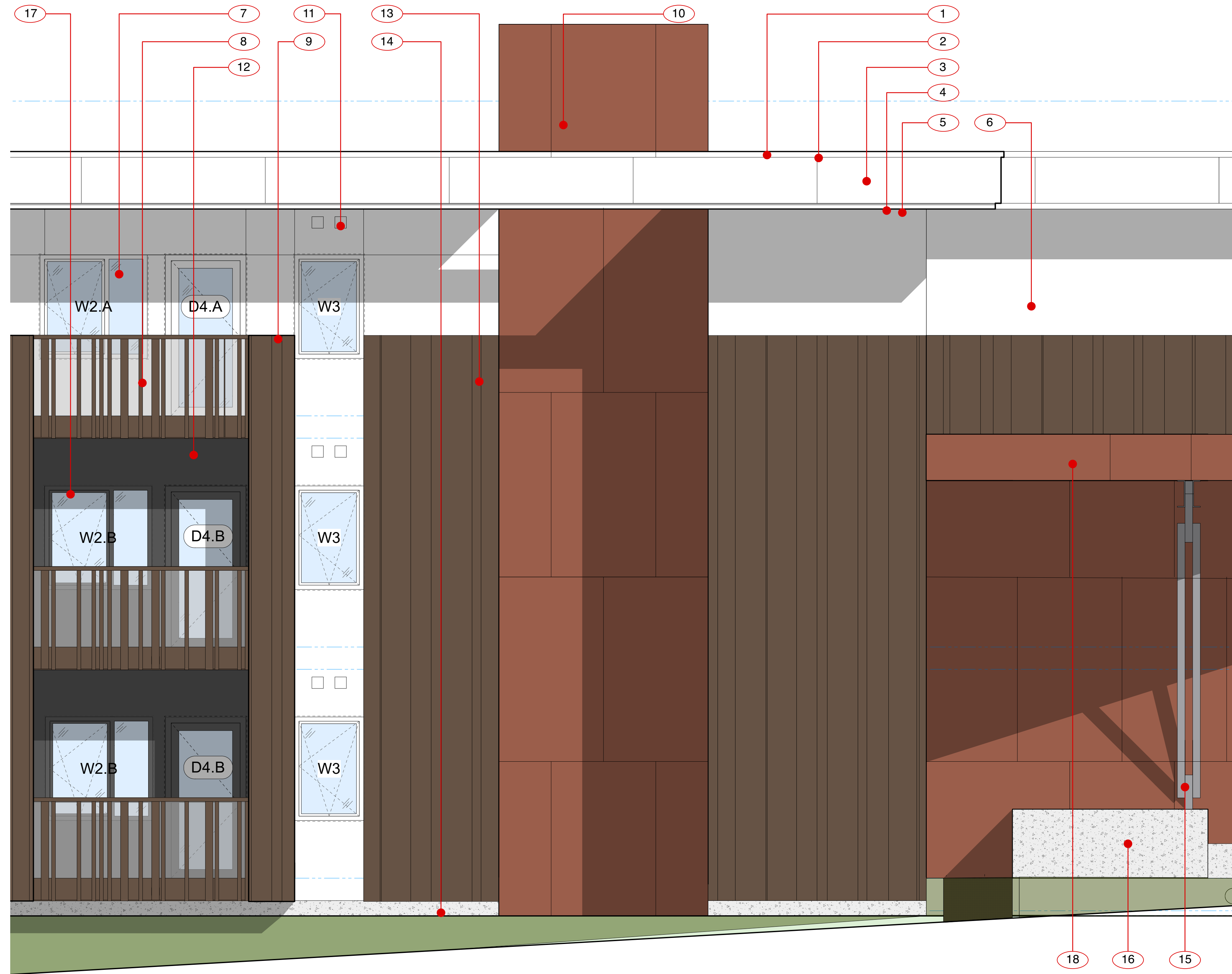
Title
Project
MURDOCH COMPANY
Architecture + Planning Ltd.
106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B4
Ph. 905-6992
e-mail murdoch@telus.net



Drawn By:	Scale:
BM/NM	1/8" = 1'-0"
Project No:	Sheet No:
22.01	A-4.01

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
1400 BP APPLICATION	DEC 5, 2022
1400 DP APPLICATION	DEC 13, 2022
IFT (TENDER)	JAN 31, 2023
ADP	MAR. 08, 2023
ISSUED FOR COUNCIL REV.	MAR. 10, 2023

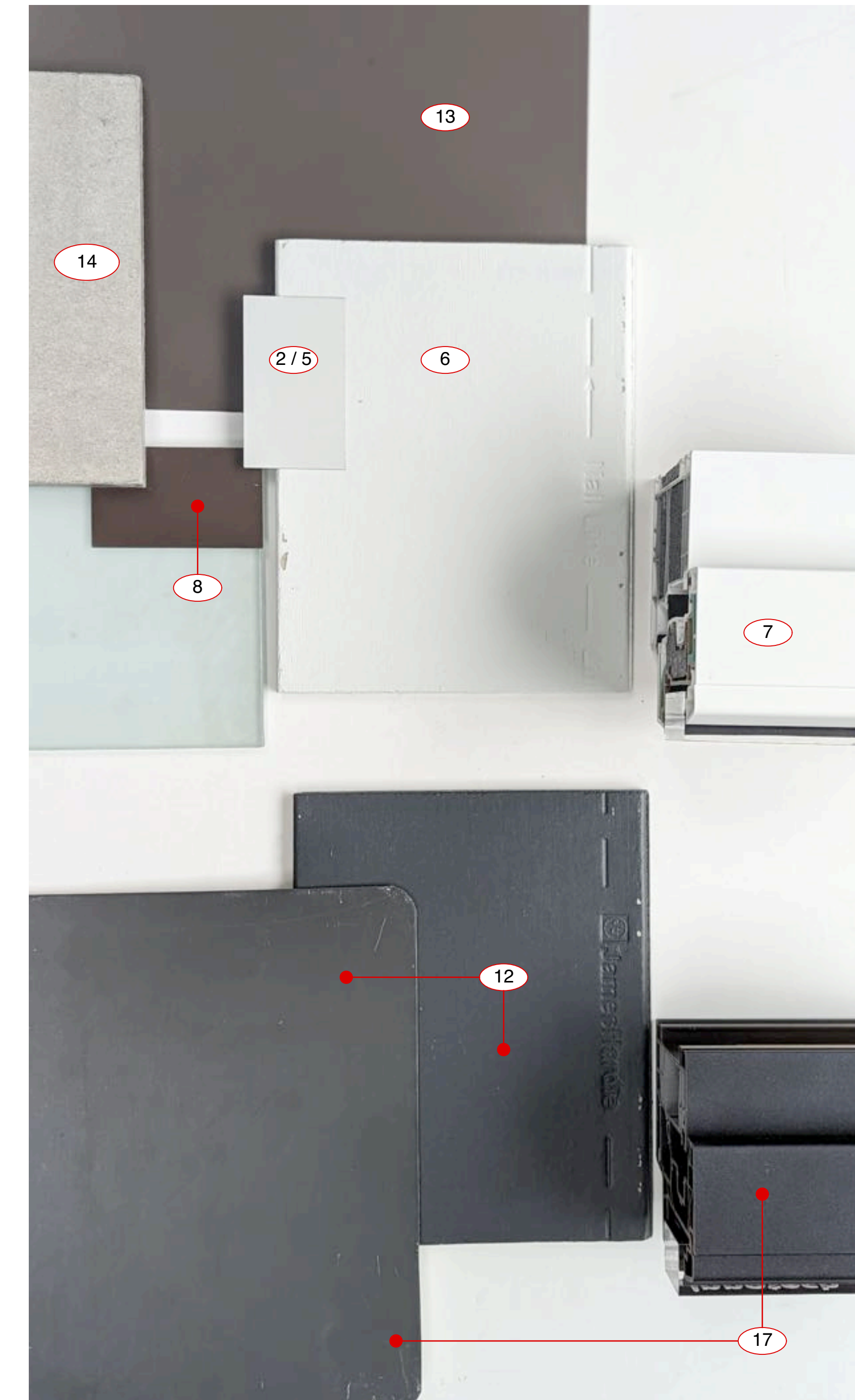
No:	Revision:	Date:



1 WEST ELEVATION - MATERIAL BOARD
Scale: 3/8" = 1'-0"

EXTERIOR FINISHES SCHEDULE

- | | | | |
|---|---|----|--|
| 1 | • 2 Ply torch -on SBS membrane - Grey | 10 | • Westform Metal Panel - Colour Terra Cotta |
| 2 | • Prefinished Metal Cap Flashing - Polar White | 11 | • Air intake and exhaust to match cladding. Typical |
| 3 | • Finex Cement Panel Fascia - White | 12 | • Hardie Panel - Charcoal
• c/w Cascadia Iron Ore Trim & Flashing |
| 4 | • Prefinished Metal Base Flashing - Polar White | 13 | • Random Standing Seam Cladding (Pro-lok),
Colour Metro Brown & Matching Flashing |
| 5 | • Hardie Soffit - Arctic White
• c/w Cascadia Polar White Trim & Venting Strips | 14 | • Finex Cement Panel Base - Colour Cement |
| 6 | • Hardie Panel - Arctic White
• c/w Cascadia Polar White Trim & Flashing | 15 | • Double Steel C-Section, w/ HSS connections. Painted
Slate Pebble Grey. |
| 7 | • uPVC windows and doors - White
• c/w Polar White Flashing | 16 | • Cast in Place Concrete Base |
| 8 | • Frosted Glass Guardrails
• c/w Random Brown Pickets, Colour Spec Metro Brown. | 17 | • uPVC windows and doors - Matte Black
• c/w Cascadia Iron Ore Trim & Flashing |
| 9 | • Framed Ponywall Guard / Finwall
• c/w Random Standing Seam Cladding (Pro-lok),
Colour Metro Brown & Matching Flashing | 18 | • Westform Metal Fascia Panel - Colour Terra Cotta |



2 MATERIAL SAMPLES
NTS

BUILDING ELEVATIONS
WHISTLER DEVELOPMENT CORPORATION
 1400 MOUNT FEE ROAD

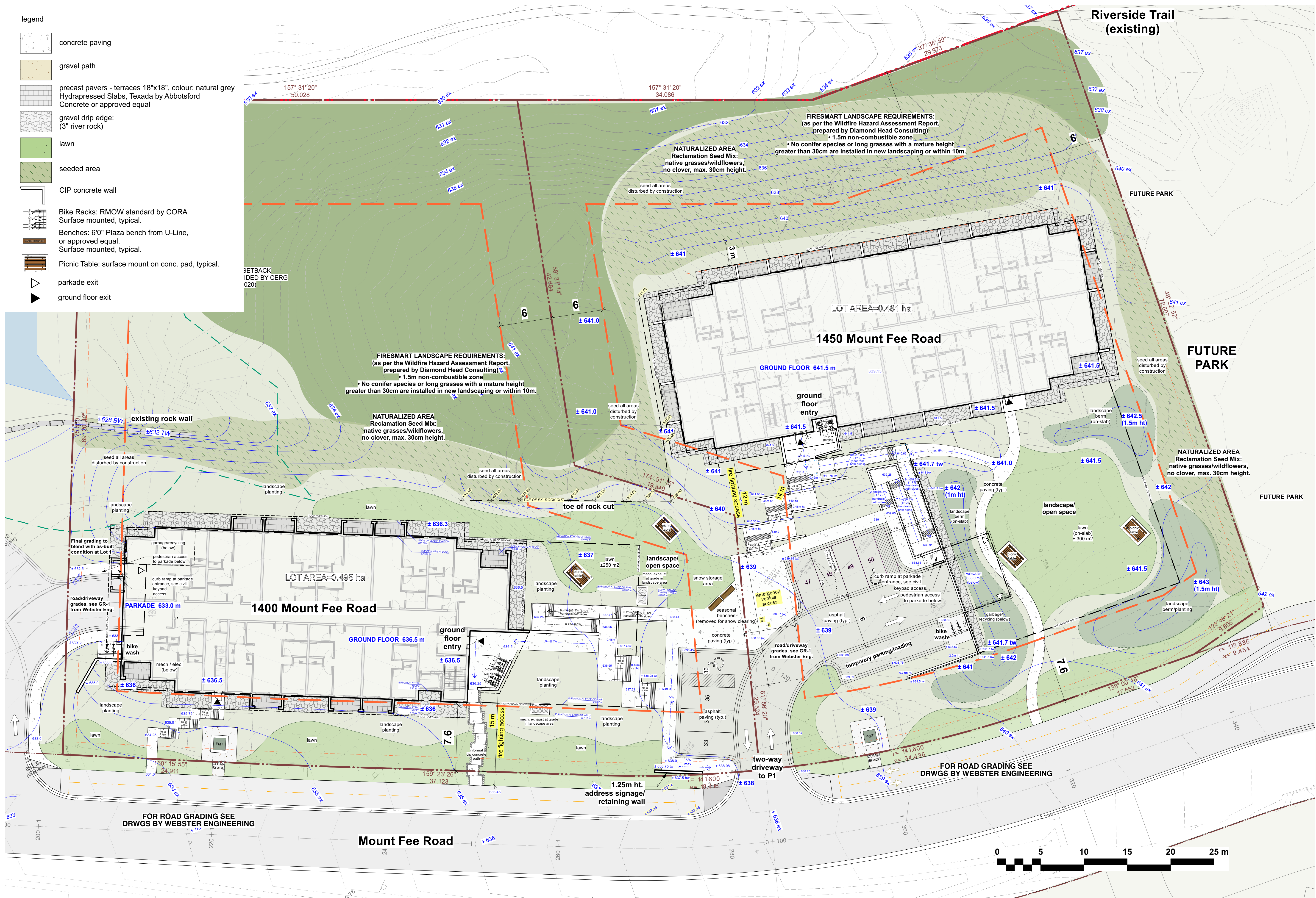
MURDOCH + COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net

Sealed By:



Drawn By:	Scale:
BM/NM	1/8" = 1'-0"
Project No:	Sheet No:
22.01	A-9.01

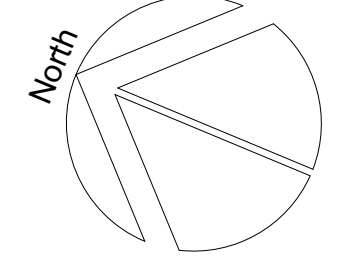
- Legend**
- concrete paving
 - gravel path
 - precast pavers - terraces 18"x18", colour: natural grey Hydrapressed Slabs, Texada by Abbotsford Concrete or approved equal
 - gravel drip edge: (3" river rock)
 - lawn
 - seeded area
 - CIP concrete wall
 - Bike Racks: RMOw standard by CORA Surface mounted, typical.
 - Benches: 6'0" Plaza bench from U-Line, or approved equal. Surface mounted, typical.
 - Picnic Table: surface mount on conc. pad, typical.
 - parkade exit
 - ground floor exit



This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
BP APPLICATION	DEC 5, 2022
DP APPLICATION	DEC 7, 2022
ISSUED FOR ADP	MAR. 08, 2023

No:	Revision:	Date:

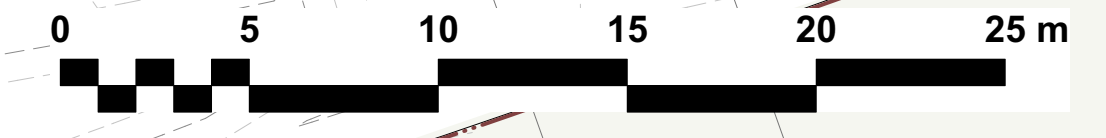


SITE PLAN

WHISTLER DEVELOPMENT CORPORATION
 LOT 2 - 1400 & 1450 MOUNT FEE ROAD

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net

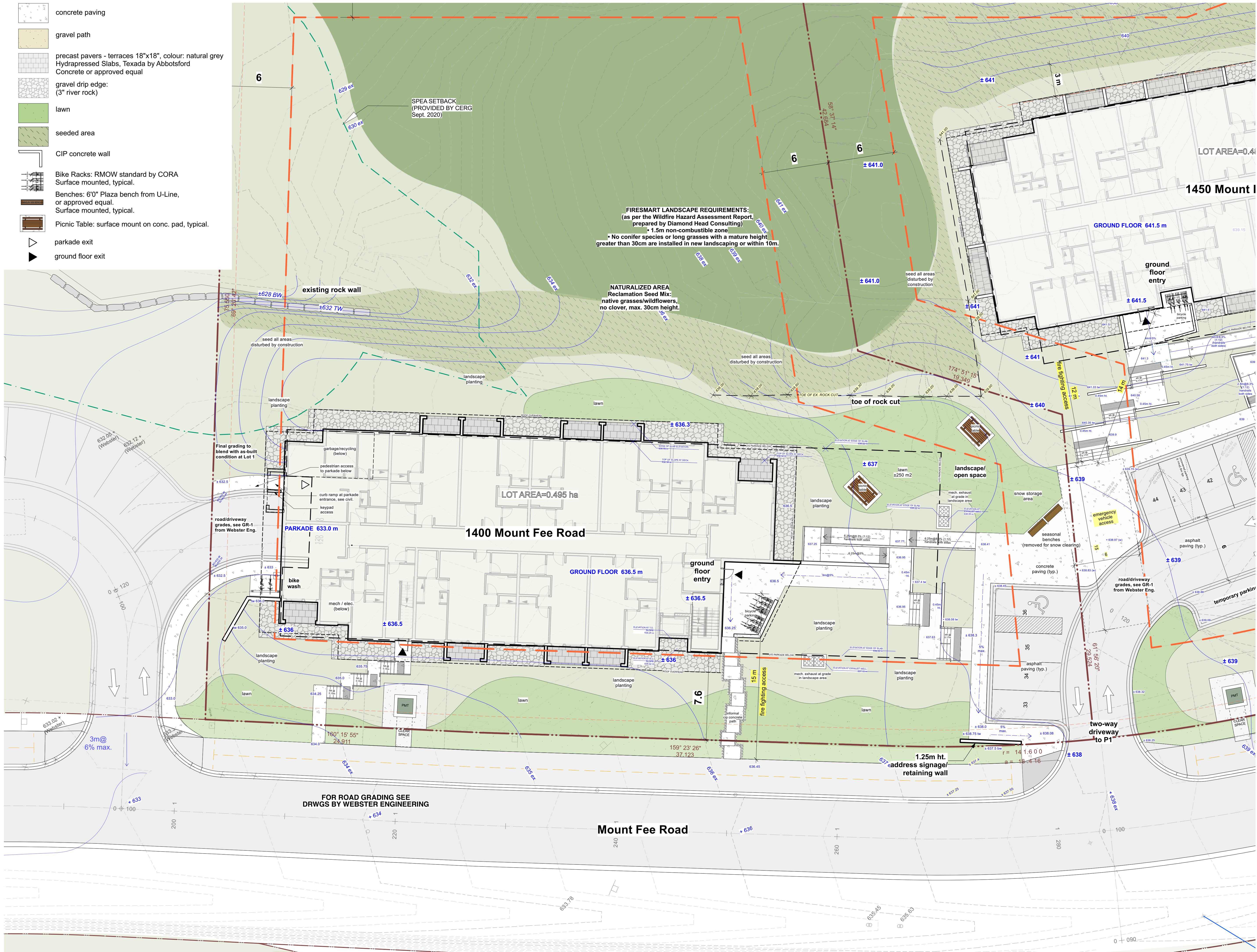
Sealed By:



Drawn By:	Scale:
BM/JL	1:200 METRIC
Project No:	Sheet No:
22.01	L-1.1

Legend

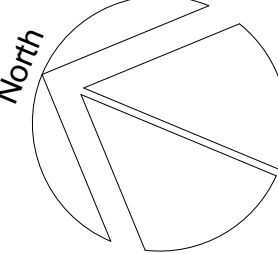
- concrete paving
- gravel path
- precast pavers - terraces 18"x18", colour: natural grey Hydrapressed Slabs, Texada by Abbotsford Concrete or approved equal
- gravel drip edge: (3" river rock)
- lawn
- seeded area
- CIP concrete wall
- Bike Racks: RMOV standard by CORA Surface mounted, typical.
- Benches: 6'0" Plaza bench from U-Line, or approved equal. Surface mounted, typical.
- Picnic Table: surface mount on conc. pad, typical.
- parkade exit
- ground floor exit



This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
BP APPLICATION	DEC 5, 2022
DP APPLICATION	DEC 7, 2022
ISSUED FOR ADP	MAR. 03, 2023

No:	Revision:	Date:



Title
SITE GRADING PLAN - 1400 Mt. Fee Road

Project
WHISTLER DEVELOPMENT CORPORATION
LOT 2 - 1400 & 1450 MOUNT FEE ROAD

MURDOCH + COMPANY
Architecture + Planning Ltd.
106-4319 Main Street
P.O. Box 1394
Whistler, B.C. V0N 1B4
Ph. 905-6992
e-mail murdoch@telus.net

Sealed By:

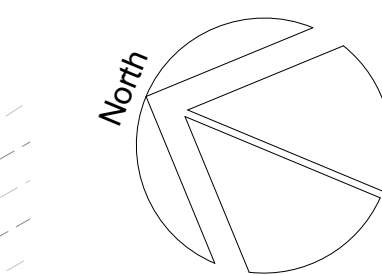


Drawn By:	Scale:
BM/JL	1:150 METRIC
Project No:	Sheet No:
22.01	L-1.1 A

SITE GRADING PLAN - 1400 Mt. Fee Road

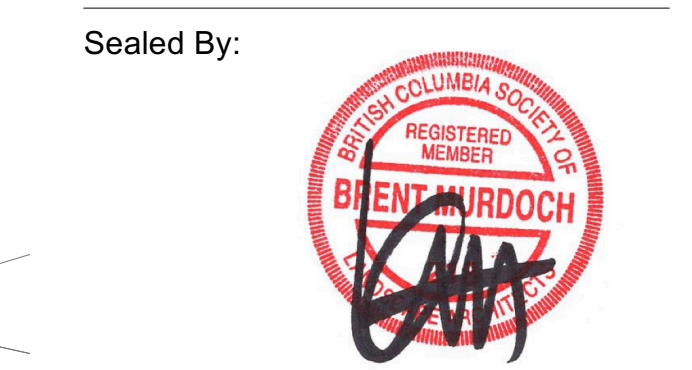
Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
BP APPLICATION	DEC 5, 2022
DP APPLICATION	DEC 7, 2022
ISSUED FOR ADP	MAR. 03, 2023

No:	Revision:	Date:

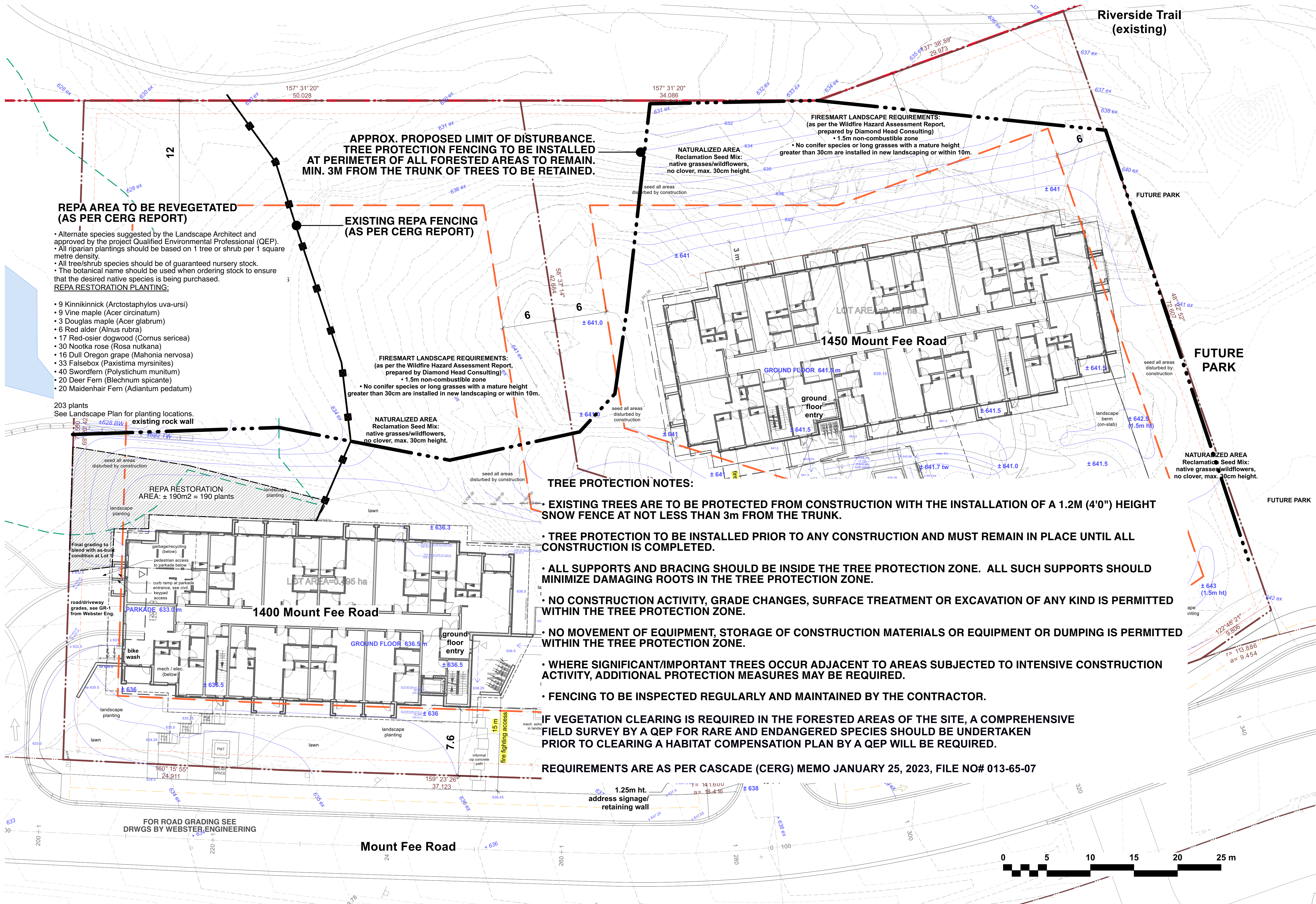


TREE PRESERVATION
WHISTLER DEVELOPMENT CORPORATION
 LOT 2 - 1400 & 1450 MOUNT FEE ROAD

Title
MURDOCH + COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net



Sealed By:	
Drawn By:	Scale:
BM/JL	1:200 METRIC
Project No:	Sheet No:
22.01	L-1.3



APPROX. PROPOSED LIMIT OF DISTURBANCE. TREE PROTECTION FENCING TO BE INSTALLED AT PERIMETER OF ALL FORESTED AREAS TO REMAIN. MIN. 3M FROM THE TRUNK OF TREES TO BE RETAINED.

REPA AREA TO BE REVEGETATED (AS PER CERG REPORT)

- Alternate species suggested by the Landscape Architect and approved by the project Qualified Environmental Professional (QEP).
 - All riparian plantings should be based on 1 tree or shrub per 1 square metre density.
 - All tree/shrub species should be of guaranteed nursery stock.
 - The botanical name should be used when ordering stock to ensure that the desired native species is being purchased.
- REPA RESTORATION PLANTING:**

- 9 Kinnikinnick (*Arctostaphylos uva-ursi*)
- 9 Vine maple (*Acer circinatum*)
- 3 Douglas maple (*Acer glabrum*)
- 6 Red alder (*Alnus rubra*)
- 17 Red-osier dogwood (*Cornus sericea*)
- 30 Nootka rose (*Rosa nutkana*)
- 16 Dull Oregon grape (*Mahonia nervosa*)
- 33 Falsebox (*Paxistima myrsinites*)
- 40 Swordfern (*Polystichum munitum*)
- 20 Deer Fern (*Blechnum spicantae*)
- 20 Maidenhair Fern (*Adiantum pedatum*)

203 plants
See Landscape Plan for planting locations.
existing rock wall

EXISTING REPA FENCING (AS PER CERG REPORT)

FIRESMART LANDSCAPE REQUIREMENTS:
(as per the Wildfire Hazard Assessment Report, prepared by Diamond Head Consulting)
• 1.5m non-combustible zone
• No conifer species or long grasses with a mature height greater than 30cm are installed in new landscaping or within 10m.

NATURALIZED AREA
Reclamation Seed Mix:
native grasses/wildflowers,
no clover, max. 30cm height.

TREE PROTECTION NOTES:

- EXISTING TREES ARE TO BE PROTECTED FROM CONSTRUCTION WITH THE INSTALLATION OF A 1.2M (4'0") HEIGHT SNOW FENCE AT NOT LESS THAN 3M FROM THE TRUNK.
- TREE PROTECTION TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND MUST REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED.
- ALL SUPPORTS AND BRACING SHOULD BE INSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS IN THE TREE PROTECTION ZONE.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR EXCAVATION OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- NO MOVEMENT OF EQUIPMENT, STORAGE OF CONSTRUCTION MATERIALS OR EQUIPMENT OR DUMPING IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- WHERE SIGNIFICANT/IMPORTANT TREES OCCUR ADJACENT TO AREAS SUBJECTED TO INTENSIVE CONSTRUCTION ACTIVITY, ADDITIONAL PROTECTION MEASURES MAY BE REQUIRED.
- FENCING TO BE INSPECTED REGULARLY AND MAINTAINED BY THE CONTRACTOR.

IF VEGETATION CLEARING IS REQUIRED IN THE FORESTED AREAS OF THE SITE, A COMPREHENSIVE FIELD SURVEY BY A QEP FOR RARE AND ENDANGERED SPECIES SHOULD BE UNDERTAKEN PRIOR TO CLEARING A HABITAT COMPENSATION PLAN BY A QEP WILL BE REQUIRED.

REQUIREMENTS ARE AS PER CASCADE (CERG) MEMO JANUARY 25, 2023, FILE NO# 013-65-07

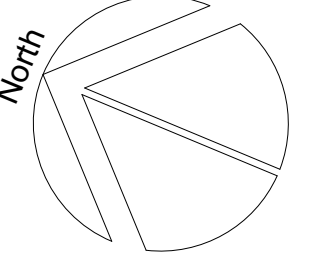
FOR ROAD GRADING SEE DRWGS BY WEBSTER ENGINEERING



This document contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
BP APPLICATION	DEC 5, 2022
DP APPLICATION	DEC 7, 2022
ISSUED FOR ADP	MAR. 03, 2023

No:	Revision:	Date:



LANDSCAPE PLAN
WHISTLER DEVELOPMENT CORPORATION
LOT 2 - 1400 & 1450 MOUNT FEE ROAD

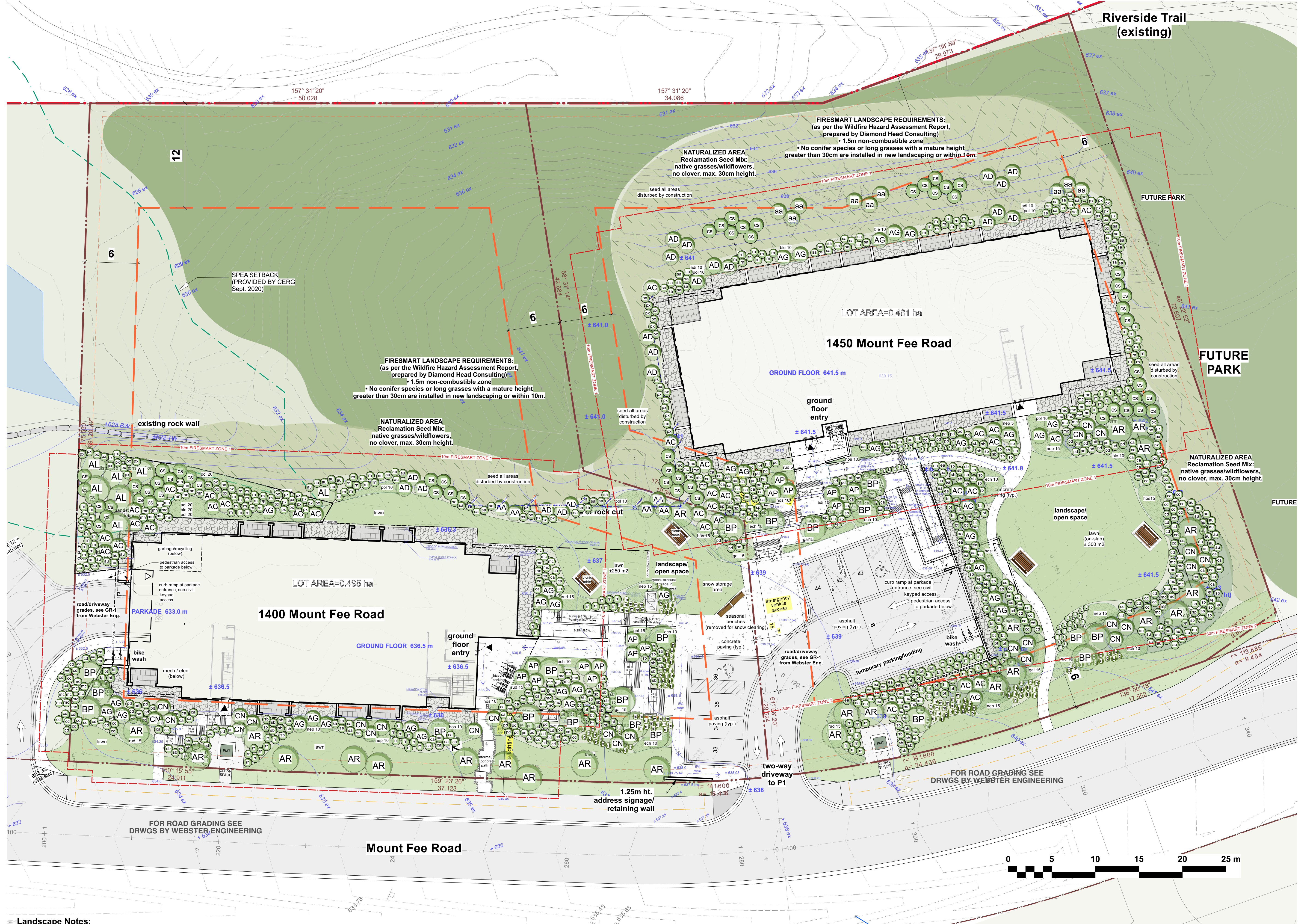
MURDOCH + COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net

Sealed By:



Drawn By:	Scale:
BM/JL	1:200 METRIC
Project No:	Sheet No:
22.01	L-2.1












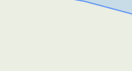
LANDSCAPE PLAN L-2.1



- Landscape Notes:**
- All landscape plant material and landscape installation to the Canadian Landscape Standards. See itemized Plant List.
 - All landscape construction to conform to the current edition of the Canadian Landscape Standards.
 - IRRIGATION: ALL planting beds and lawn to be irrigated by an Accredited Professional (IAABC). Irrigation system to be installed to the current edition of IAABC available at: <http://www.irrigationbc.com>.
 - Plant quantities in the plant list are for convenience only.



Legend

-  concrete paving
-  gravel path
-  precast pavers - terraces 18"x18", colour: natural grey Hydrapressed Slabs, Texada by Abbotsford Concrete or approved equal
-  gravel drip edge: (3" river rock)
-  lawn
-  seeded area
-  CIP concrete wall
-  Bike Racks: RMOV standard by CORA Surface mounted, typical.
-  Benches: 6'0" Plaza bench from U-Line, or approved equal. Surface mounted, typical.
-  Picnic Table: surface mount on conc. pad, typical.
-  parkade exit
-  ground floor exit

PROJECT: Lot 2, 1400 Mount Fee Road						MARCH 02, 2023
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
TREES						
AC	13	Acer circinatum	Vine Maple (multistem)	1.0 m ht.		multistem, native
AD	6	Acer glabrum	Douglas Maple (multistem)	1.0 m ht.		multistem
AG	18	Acer ginnala	Amur Maple (multistem)	1.0 m ht.		multistem
AL	7	Alnus rubra	Red Alder	#10		multistem
AP	9	Acer palmatum	Japanese Maple	1.5 m ht.		
AR	11	Acer rubrum "Bowhall"	Bowhall Red Maple (Columnar form)	7 cm cal.		
BP	12	Betula papyrifera	Paper Birch	5 cm cal.		multistem
CN	14	Cornus "Eddie's White Wonder"	White Wonder Flowering Dogwood	1.5 m ht.		
SHRUBS						
AA	5	Amelanchier alnifolia	Serviceberry	1.0 m ht.		white, *native
au	20	Arctostaphylos uva-ursi	Kinnikinnik	SP3	30cm	*native, evergreen thorned
bt	20	Berberis thunbergii "Rose Glow"	Variiegated Barberry	#2		
ca	38	Cornus alba "Ivory Halo"	"Ivory Halo" Dogwood	#2		
cd	33	Cotoneaster dammeri "Coral Beauty"	Cotoneaster	SP3	30cm	broadleaf evergreen
cs	23	Cornus sericea	Red Twig Dogwood	#2		*native
mc	28	Mahonia aquifolium "Compactum"	Compact Oregon Grape	#2		broadleaf evergreen
mn	15	Mahonia nervosa	Dull Oregon Grape	#2		*native
pd	38	Physocarpus opulifolius "Diabolo"	Diabolo Purple Ninebark	#2		
px	38	Paxistima myrsinites	Falsebox	#2		*native
m	41	Rosa nutkana	Nootka Rose	#2		light pink, *native
rr	30	Rosa rugosa alba	Rugosa Rose (white)	#2		pink or white
sa	19	Symphoricarpos alba	Snowberry	#2		*native
sb	40	Spiraea bumalda "Anthony Waterer"	Anthony Waterer Spiraea	#2		
PERENNIALS						
ech	30	Echinacea purpurea "Magnus"	Purple Coneflower	#1		pink
gal	45	Gallium odorata	Sweet Woodruff	SP3	30cm	
hos	35	Hosta "Great Expectations"	Great Expectations Hosta	#1		light/dark green
pol	15	Polystichum munium	Sword Fern	SP3	30cm	
nep	35	Nepeta x faassenii	Garden Catmint	#1		blue
rud	30	Rudbeckia fulgida "Goldsturm"	Black-Eyed Susan	#1		yellow
GRASSES						
c	19	Calamagrostis x acutifolia "Karl Foerster"	Feather Reed Grass	#1		
h	12	Helictotrichon sempervirens	Evergreen Oat Grass	#1		
m	27	Miscanthus sinensis purpurescens	Fountain Grass	#1		
p	17	Pennisetum alopecuroides "Cassion"	Dwarf Purple Flame Grass	#1		
SEEDED AREA:						
Hydroseed Mix: Terrasol "Lower Growing Mix", or approved equal - NO CLOVER						



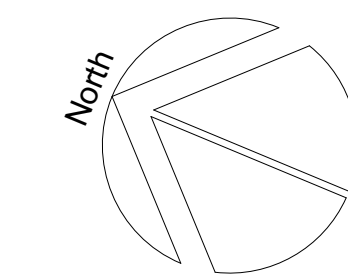
Mount Fee Road

Landscape Notes:
 1. All landscape plant material and landscape installation to the Canadian Landscape Standards. See itemized Plant List.
 2. All landscape construction to conform to the current edition of the Canadian Landscape Standards.
 3. IRRIGATION: ALL planting beds and lawn to be irrigated by an Accredited Professional (IIABC). Irrigation system to be installed to the current edition of IIABC available at: <http://www.irrigationbc.com>.
 4. Plant quantities in the plant list are for convenience only.

This documents contains copyrighted material belonging to Murdoch+Company Architecture+Planning Ltd. Any unauthorized use, disclosure, or duplication of any information contained herein may result in liability under applicable laws.

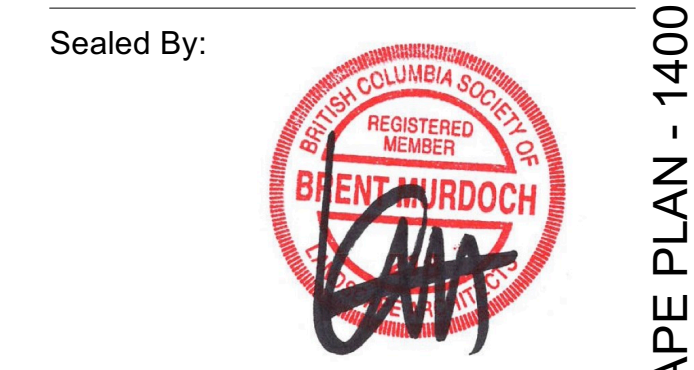
Issued For:	Date:
ADP	JUNE 15, 2022
CONSULTANT CORD.	OCT 21, 2022
BP APPLICATION	DEC 5, 2022
DP APPLICATION	DEC 7, 2022
ISSUED FOR ADP	MAR. 03, 2023

No: Revision: Date:



LANDSCAPE PLAN - 1400 Mt. Fee Road
WHISTLER DEVELOPMENT CORPORATION
 LOT 2 - 1400 & 1450 MOUNT FEE ROAD

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 106-4319 Main Street
 P.O. Box 1394
 Whistler, B.C. V0N 1B4
 Ph. 905-6992
 e-mail murdoch@telus.net



Drawn By: Scale:
 BM/JL 1:150 METRIC

Project No: Sheet No:
 22.01 **L-2.1 A**

LANDSCAPE PLAN - 1400 Mt. Fee Road