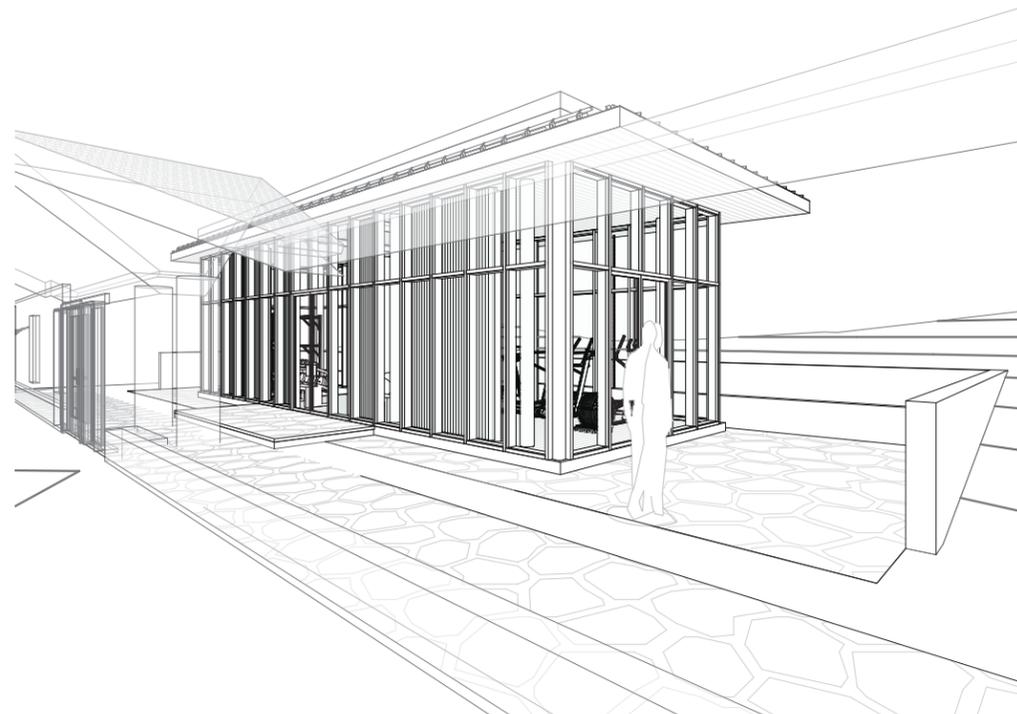


Accessory Building

4909 Horstman Place, Whistler, BC

CONSULTANTS

Architect	Structural Engineer	Geotechnical Engineer
Measured Architecture Inc. 207-1836 West 5th Avenue Vancouver, BC V6J 1P3 T: (604) 727-0235 F: (604) 266-0235 Email: PCunnington@measured.ca Contact: Piers Cunnington	Fast + Epp Partners 201-1672 West 1st Avenue Vancouver, BC V6J 1G1 T: (604) 731-7412 F: (604) 731-7620 Email: nderidder@fastepp.com Contact: Nick de Ridder	Geopacific Consultants Ltd. 1779 W 75th Ave. Vancouver, BC V6P 6P2 T: (604) 439-0922 F: (604) 439-9189 Email: kokan@geopacific.ca Contact: Matt Kokan
Surveyor	Mechanical Engineer	Energy Modeling
McElhanney Associates Land Surveying Ltd. 205-1055 Millar Creek Road Whistler, BC V8E 0K7 T: (604) 932-5426 F: Email: rob@ecolighten.com Contact: Robe Pope	Ecolighten Energy Solutions Suite 201 - Barrow Street North Vancouver, BC V7J 1B7 T: (604) 971-2088 C: (604) 219-7977 Email: rob@ecolighten.com Contact: Robe Pope	Capital Home Energy 1778 W 2nd Ave, Unit 250 Vancouver, BC V6J 1H6 T: (604) 562-0387 F: Email: luke@capitalhomeenergy.com Contact: Luke Dolan
Code Consultant	General Contractor	
Eriksberg Engineering Ltd. 470 East 10th Avenue Vancouver, BC V5T 2A1 T: (604) 209-2594 F: Email: erikwh@eriksberg.ca Contact: Erik Watson-Hurthig	Construction T: F: Email: Contact:	



PROJECT STATISTICS

Civic Address:	4909 Horstman Place, Whistler, BC V0N 1B4
Legal Description:	Strata Lot 31, Plan VAS2482, District Lot 3903 Land District 1, Land District 36 & DL 4214
PID:	014-850-583
Zoning:	LUC, Resort Municipality of Whistler
Lot/Site Area:	17,548 SF [1,630.26 SM]
Usable Area Within Setback:	6,416.76 SF [596.23 SM]

Horstman Estates LUC Design Guidelines		Permitted / Required	Existing	Proposed / Actual
IV.A	Permitted Use	Single Family Dwelling	Single Family Dwelling	Accessory Building
IV.B	Footprint Envelope (per lot)	17,556 sf [1631 sm]	17,556 sf [1631 sm]	Increased Area Alteration
IV.C	Density (per Schedule C)	6,142 sf [241.8 sm]	5,046 sf [468.79 sm]	5,646 sf [524.53 sm]
IV.D	Building Height (per Schedule C)	35.00 ft [10.67 m]	34.40 ft [10.49 m]	15.71 ft [4.79 m]
IV.E	Parking	min 2, 3 if over 2,500 sf	2 inside, 1 outside	3 existing, no change
IV.F	Driveways	max width 12 ft [3.6 m]	per existing	per existing, no change
Zoning & Parking Bylaw 303		Permitted / Required	Existing	Proposed / Actual
5.3.3	Maximum Floor Area for Auxillary Building	602.78 sf [56 sm]	-	601.87 sf [55.92 sm]
5.3.4	Maximum Permitted Height of Aux. Bldg.	16.40 ft [5.0 m]	-	15.71 ft [4.79 m]
5.3.5	Minimum Side or Rear PL Siting	9.84 ft [3.0 m]	-	9.84 ft [3.0 m]
5.5.1.a	Mean Level of Roof	% of roof plane x mean height	-	14.58 ft [4.44 m]
5.7.1.a	Max Projection Eaves into Setbacks	3.28 ft [1.0 m]	-	2.83 ft [0.86 m]
5.7.1.b.i	Max Projection Canopies into Side Setbacks	4.92 ft [1.5 m]	-	-
5.7.1.b.ii	Max Projection Canopies into Rear Setback	6.56 ft [2.0 m]	-	-
5.7.1.d	Permitted Landscape Features in Setback 0.6m max height difference to adjacent grade set back 1m from side parcel line set back 2m from front and rear parcel lines	6.56 ft [2.0 m]	-	6.56 ft [2.0 m]

DRAWING INDEX

A-1.00	Title Sheet
A-1.01	Site Plan
A-1.03	LUC Building Envelope
A-2.00	Foundation Plan
A-2.01	Main Floor Plan
A-2.02	Roof Plan
A-3.00	Building Sections
A-4.00	Elevations
A-9.00	Construction Assemblies
A-9.01	Rainscreen Details
A-10.00	Finish Schedule

Appendix B

GENERAL NOTES

- All construction to conform to part 9, BCBC 2018, residential (c) occupancy.
- Plans provided for design intent.
- Site plan based on survey by mpt professional landsurveyors.
- All plumbing fixtures to comply with municipality & BCBC Part 10 - energy and water efficiency.
- All kitchen and washroom exhaust to comply with municipality & BCBC part 9 requirements.
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- All int. Handrails to be min. 34" high.
- All ext. Guardrails to be min. 36" high [or 42" high where required by code].
- All ext. Handrails to be a min. 36" high [where req. by code].
- Smoke alarms & carbon monoxide detectors to meet can/ulc s531-02 & can/csa-6.19-01 req's, 120v hard wired ceiling.
- All metal fasteners to have isolators to prevent catalytic reaction to adjacent materials.
- All rainscreens to have concealed black non-PVC bug screens.
- Provide deterrent to edge for all landscape edges w/ fall greater than 18" to finished grade below.
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- All R.O. to be confirmed w/ supplier.
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- All internal rain water leaders to be surrounded with 2" insulation for acoustic dampening. Please ensure workability with wall assemblies and millwork.
- All building envelope details to meet the intent of details provided on sheet A-9.00.
- All door, window & skylight assemblies to comply w/ part 10 of the BCBC. Windows & glass doors to have max. U-value of 1.4 w/(k.m2). Skylights to have max. U-value of 2.4 w/(k.m2).
- 40% min. hardwired non-incand. & non-halogen light fixtures.
- All hot water tanks and piping to be fully insulated.
- All toilets to be dual flush [max 6L].
- Provide energy usage display meter.
- Gas fireplaces to have electronic ignitions & be direct-vented.
- Distributed HRV units to be provided throughout house in dropped ceiling spaces; quantity and exact locations to be specified by mechanical engineer.
- Building to be sprinklered [nfpa 13d standard].

As a result of services rendered

No.	DESCRIPTION	DATE	CHK.
1	Issued for IIP Submission	2022-04-05	PC
2	Issued for LUC Submission	2021-08-09	MK
3	Issued for Coordination	2021-05-17	MK
4	Issued for Neighbour Review	2020-09-30	MK
5	Issued for Coordination	2020-09-15	MK
6	Issued for Coordination	2020-07-28	MK

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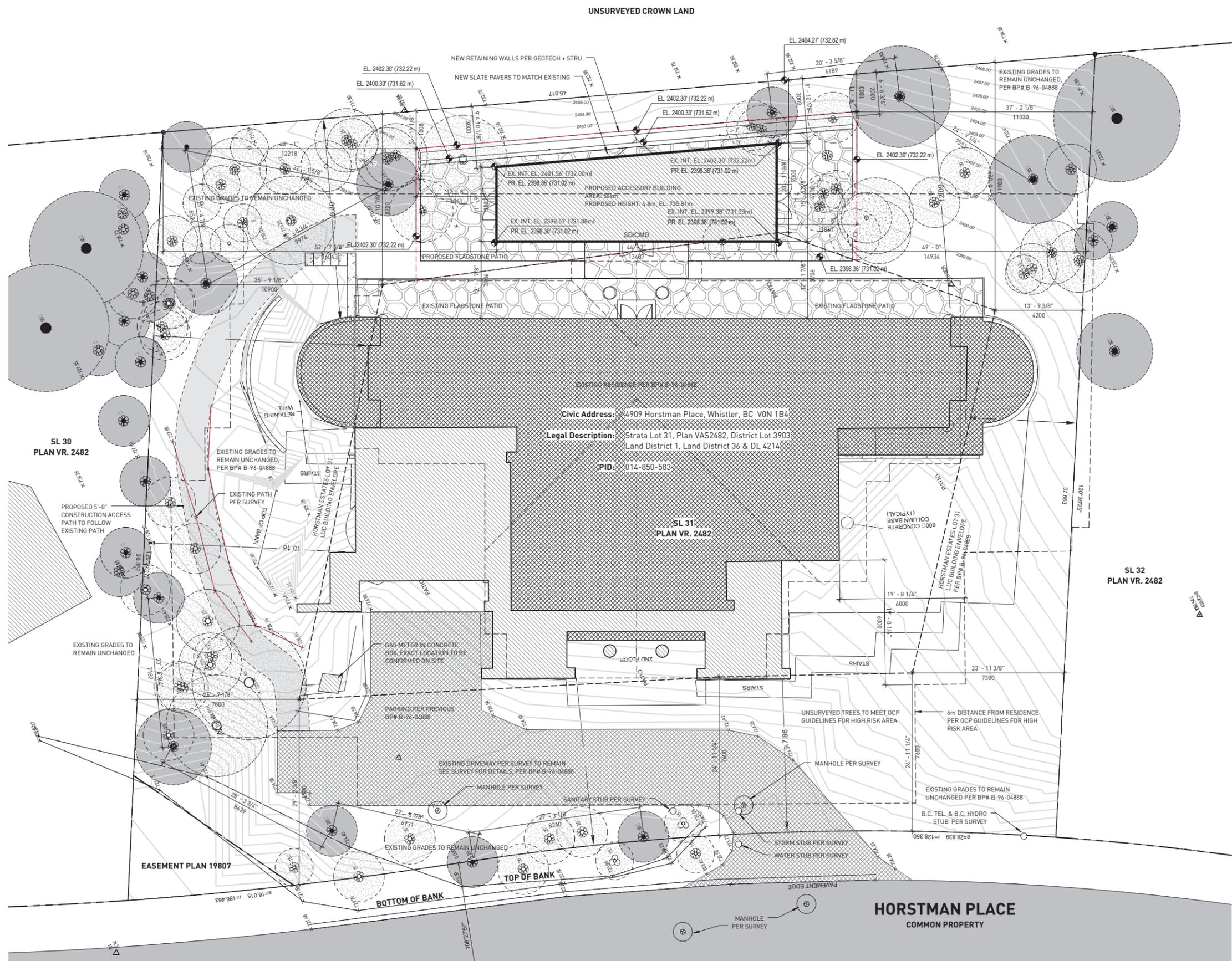
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STAMP	
SCALE 12" = 1'-0"	DRAWING DATE 05-Apr-2022 4:51:24 PM
PROJECT Accessory Building 4909 Horstman Place, Whistler, BC	
TITLE Title Sheet	
PROJECT NO. 1814	ISSUE NO. 6
DRAWING NUMBER A-1.00	



Civic Address: 4909 Horstman Place, Whistler, BC V0N 1B4
Legal Description: Strata Lot 31, Plan VAS2482, District Lot 3903, Land District 1, Land District 36 & DL 4214
PID: 014-850-583

SITE LEGEND

- EXISTING TREE TO BE RETAINED
- TREE TO BE REMOVED
- NEW TREE TO BE PLANTED
- NEW SHRUB TO BE PLANTED
- PROPOSED ELEVATION
- EXISTING ELEVATION PER SURVEY
- PROPERTY LINE
- SETBACK LINE
- TREE BARRIER
- BUILDING
- EXISTING HARD SURFACE
- STONE PATIO
- TREE BARRIER

NOTE: ARBORIST TO SUPERVISE ALL WORK WITHIN THE TREE PROTECTION. PROVIDE ADEQUATE NOTIFICATION TO FACILITATE SCHEDULING.

LANDSCAPE NOTES

1. OWNER TO PROVIDE IRRIGATION TO ENSURE HEALTH OF NEWLY PLANTED SPECIES.
2. NEIGHBOURS TO BE CONSULTED ON NEW PLANTINGS TO ENSURE ADEQUATE HEIGHT AND DENSITY FOR PRIVACY.
3. PER WILDFIRE OCP GUIDELINE HIGH RISK AREAS SECTION (B); DEAD BRANCHES AND TWIGS SHOULD BE CLEARED WITHIN 20 METRES OF PRINCIPAL BUILDINGS. STANDING DEAD TREES WITH A CALIPER OF 17 CENTIMETRES OR MORE SHOULD BE TOPPED AT 3 METRES AND CLEARED OF ALL BRANCHES. WHERE DEAD BRANCHES ARE ATTACHED TO LOGS GREATER THAN 17 CENTIMETRES WIDE OR TREES THEY SHOULD BE TRIMMED TO THE TRUNK OF THE TREE OR LOG AND IN THE CASE OF TREES, TO A HEIGHT OF 2 METRES.
4. PER WILDFIRE OCP GUIDELINE HIGH RISK AREAS SECTION (E); THE USE OF BARK MULCH AND SIMILAR ORGANIC GROUND COVER IN LANDSCAPED AREAS WITHIN 10 METRES OF BUILDINGS IS DISCOURAGED.

GENERAL NOTES

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02. Plans provided for design intent.
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04. All plumbing fixtures to comply with municipality & BCBC Part 10 - energy and water efficiency.
05. All kitchen and washroom exhaust to comply with municipality & BCBC part 9 requirements.
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11. All metal fasteners to have isolators to prevent catalytic reaction to adjacent materials.
12. All rainscreens to have concealed black non-PVC bug screens.
13. Provide deterrent to edge for all landscape edges w/ fall greater than 18" to finished grade below.
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20. 40% min. hardwired non-incand. & non-halogen light fixtures.
21. All hot water tanks and piping to be fully insulated.
22. All toilets to be dual flush (max 6L).
23. Provide energy usage display meter.
24. Gas fireplaces to have electronic ignitions & be direct-vented.
25. Distributed HRV units to be provided throughout house in dropped ceiling spaces; quantity and exact locations to be specified by mechanical engineer.
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REVISION SCHEDULE

NO.	DESCRIPTION	DATE	CHK.
1	ISSUED FOR PERMITS RENDERED	2022-04-05	MC
2	ISSUED FOR LUC PERMIT	2021-12-21	MC
3	ISSUED FOR LUC SUBMISSION	2021-08-09	MC
4	ISSUED FOR COORDINATION	2021-05-17	MC
5	ISSUED FOR NEIGHBOUR REVIEW	2020-09-30	MC
6	ISSUED FOR COORDINATION	2020-09-15	MC
7	ISSUED FOR COORDINATION	2020-07-28	MC
8	REVISIONS	04/16	CMV

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STAMP	
SCALE 1/8" = 1'-0"	DRAWING DATE 25-Apr-2022 2:18:32 PM
PROJECT Accessory Building 4909 Horstman Place, Whistler, BC	
TITLE Site Plan	
PROJECT NO. 1814	ISSUE NO. 8
DRAWING NUMBER A-1.01	



GENERAL NOTES

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- NOTE:** By using this document the client agrees that the consultant's liability for services including negligence and omissions is strictly limited to the values of fees paid. The client agrees to indemnify and defend the consultant in the event of third party claims alleging negligence and or injury as a result of services rendered

NO	DESCRIPTION	DATE	CHK
1	Issued for BP Submission	2022-04-05	PC
1	Issued for LUC Prior to	2022-12-21	MR
			CHK

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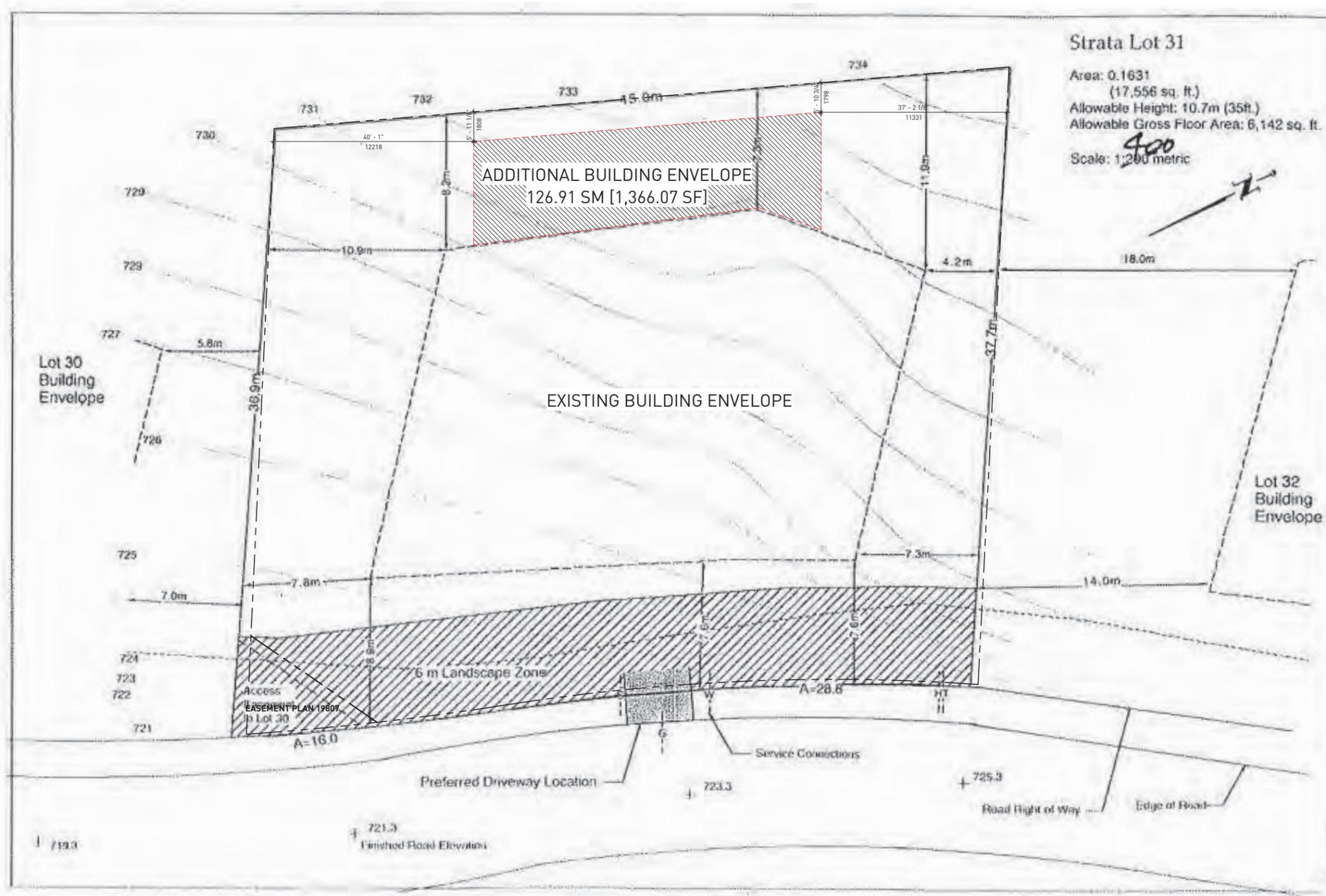
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SCALE	DRAWING DATE
As indicated	05-Apr-2022 4:51:30 PM
PROJECT	
Accessory Building	
4909 Horstman Place, Whistler, BC	
TITLE	
LUC Building Envelope	
PROJECT NO.	ISSUE NO.
1814	2
DRAWING NUMBER	
A-1.03	



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NO.	DESCRIPTION	DATE	CHK.
5	Issued for BP Submission	2022-04-05	PC
4	Issued for LUC Submission	2021-08-09	MK
3	Issued for Coordination	2021-05-19	MK
2	Issued for Coordination	2020-09-15	MK
1	Issued for Coordination	2020-07-28	MK

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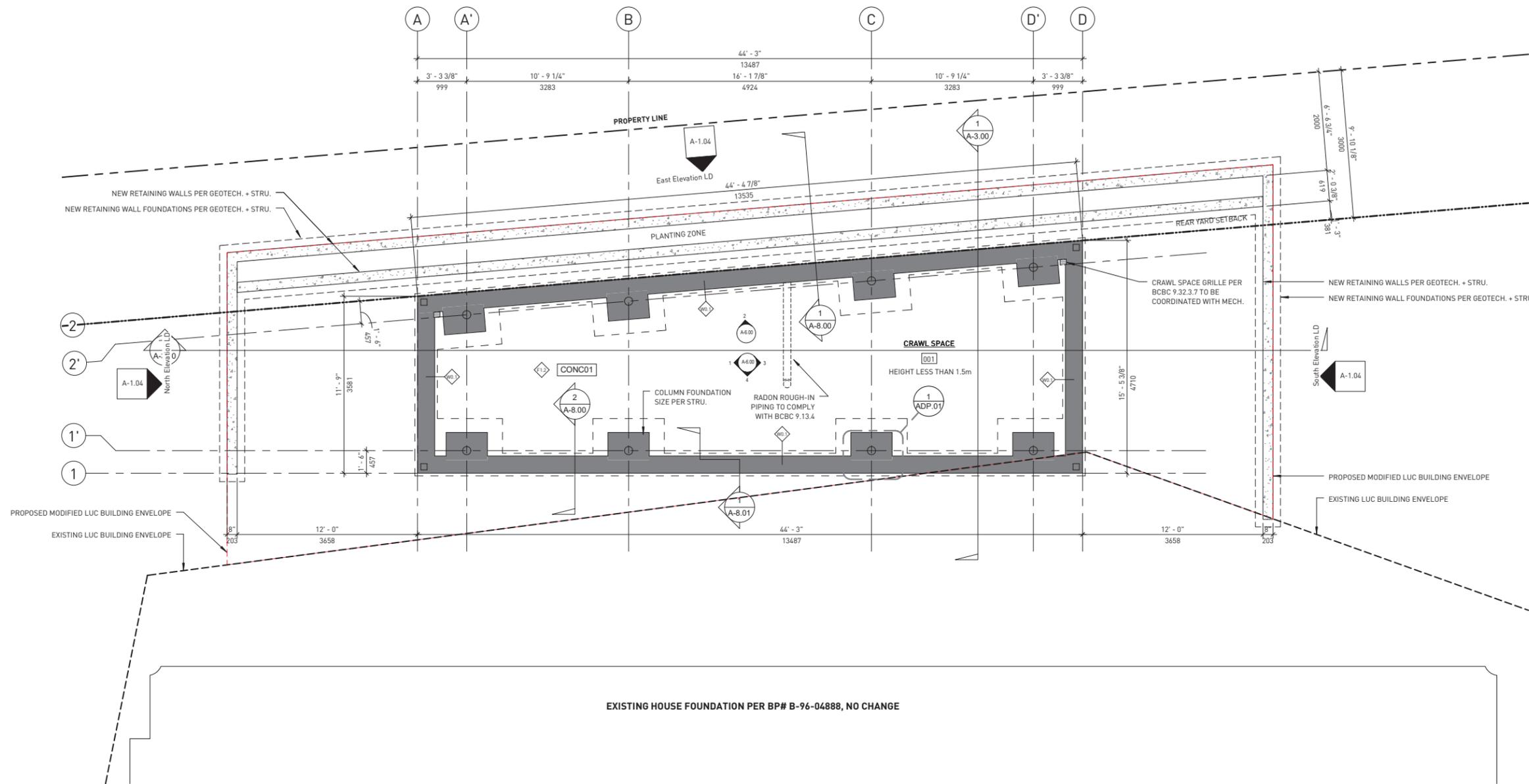
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STAMP	
SCALE 1/4" = 1'-0"	DRAWING DATE 05-Apr-2022 4:51:42 PM
PROJECT Accessory Building 4909 Horstman Place, Whistler, BC	
TITLE Foundation Plan	
PROJECT NO. 1814	ISSUE NO. 5
DRAWING NUMBER A-2.00	

KEYNOTE LEGEND

Key Value	Keynote Text
CONC01	CONCRETE 01



EXISTING HOUSE FOUNDATION PER BP# B-96-04888, NO CHANGE

BEARING PRESSURE - PER 5.5.1 FOUNDATION DESIGN OF GEOTECHNICAL REPORT
 1. SERVICEABILITY LIMIT STATE (SLS) BEARING PRESSURE OF 150kPa.
 2. FACTORED ULTIMATE LIMIT STATE (ULS) BEARING PRESSURE OF 300kPa.



GENERAL NOTES

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REVISION SCHEDULE

NO.	DESCRIPTION	DATE	CHK.
1	ISSUED FOR PERMIT	2022-04-08	PC
2	ISSUED FOR LUC SUBMISSION	2021-08-09	MK
3	ISSUED FOR COORDINATION	2021-05-19	MK
4	ISSUED FOR NEIGHBOUR REVIEW	2020-09-28	MK
5	ISSUED FOR COORDINATION	2020-09-15	MK
6	ISSUED FOR COORDINATION	2020-08-10	MK
7	ISSUED FOR COORDINATION	2020-07-28	MK
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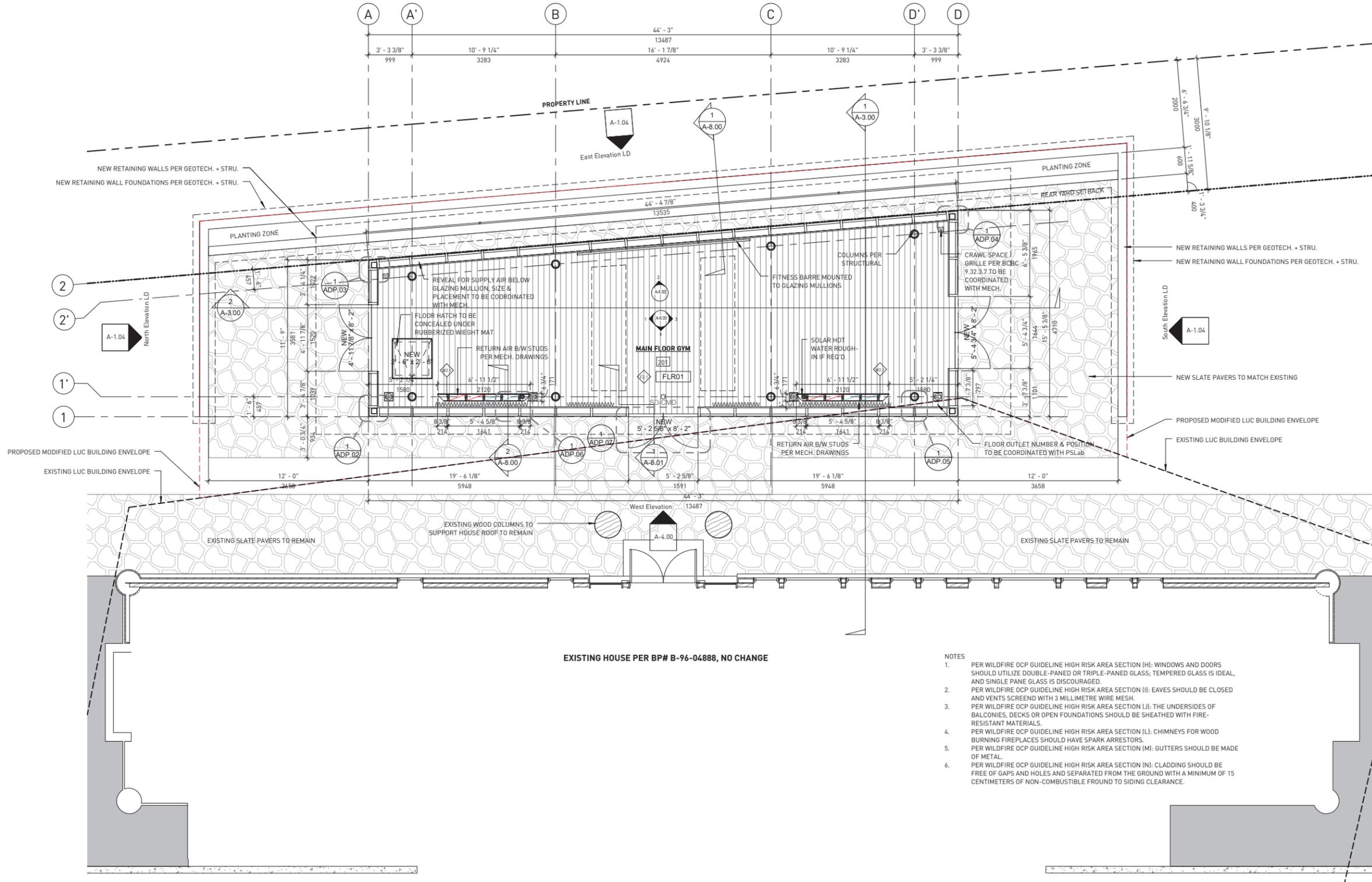
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STAMP	
SCALE	DRAWING DATE
1/4" = 1'-0"	05-Apr-2022 4:51:44 PM
PROJECT	
Accessory Building 4909 Horstman Place, Whistler, BC	
TITLE	
Main Floor Plan	
PROJECT NO.	ISSUE NO.
1814	7
DRAWING NUMBER	
A-2.01	

KEYNOTE LEGEND

Key Value	Keynote Text
FLR01	FLOOR FINISH 01



- NOTES**
- PER WILDFIRE OCP GUIDELINE HIGH RISK AREA SECTION (H): WINDOWS AND DOORS SHOULD UTILIZE DOUBLE-PANED OR TRIPLE-PANED GLASS; TEMPERED GLASS IS IDEAL, AND SINGLE PANE GLASS IS DISCOURAGED.
 - PER WILDFIRE OCP GUIDELINE HIGH RISK AREA SECTION (I): EAVES SHOULD BE CLOSED AND VENTS SCREENED WITH 3 MILLIMETRE WIRE MESH.
 - PER WILDFIRE OCP GUIDELINE HIGH RISK AREA SECTION (J): THE UNDERSIDES OF BALCONIES, DECKS OR OPEN FOUNDATIONS SHOULD BE SHEATHED WITH FIRE-RESISTANT MATERIALS.
 - PER WILDFIRE OCP GUIDELINE HIGH RISK AREA SECTION (L): CHIMNEYS FOR WOOD BURNING FIREPLACES SHOULD HAVE SPARK ARRESTORS.
 - PER WILDFIRE OCP GUIDELINE HIGH RISK AREA SECTION (M): GUTTERS SHOULD BE MADE OF METAL.
 - PER WILDFIRE OCP GUIDELINE HIGH RISK AREA SECTION (N): CLADDING SHOULD BE FREE OF GAPS AND HOLES AND SEPARATED FROM THE GROUND WITH A MINIMUM OF 15 CENTIMETERS OF NON-COMBUSTIBLE FROUND TO SIDING CLEARANCE.



GENERAL NOTES

- All construction to conform to part 9, BCBC 2018, residential (c) occupancy.
- Plans provided for design intent.
- Site plan based on survey by mpt professional landscapers.
- All plumbing fixtures to comply with municipality & BCBC Part 10 - energy and water efficiency.
- All kitchen and washroom exhaust to comply with municipality & BCBC part 9 requirements.
- All int. Guardrails to be min. 36" high.
- All int. Handrails to be min. 34" high.
- All ext. Guardrails to be min. 36" high [or 42" high where required by code].
- All ext. Handrails to be a min. 36" high [where req. by code].
- Smoke alarms & carbon monoxide detectors to meet can/ulc s531-02 & can/csa-6.19-01 req's, 120v hard wired ceiling.
- All metal fasteners to have isolators to prevent catalytic reaction to adjacent materials.
- All rainscreens to have concealed black non-PVC bug screens.
- Provide deterrent to edge for all landscape edges w/ fall greater than 18" to finished grade below.
- Site to confirm all existing dimensions.
- All R.O. to be confirmed w/ supplier.
- All wall, roof and floor assemblies to be read in conjunction with approved building permit drawings & details.
- All internal rain water leaders to be surrounded with 2" insulation for acoustic dampening. Please ensure workability with wall assemblies and millwork.
- All building envelope details to meet the intent of details provided on sheet A-9.00.
- All door, window & skylight assemblies to comply w/ part 10 of the BCBC. Windows & glass doors to have max. U-value of 1.4 w/(k.m2). Skylights to have max. U-value of 2.4 w/(k.m2).
- 40% min. hardwired non-incand. & non-halogen light fixtures.
- All hot water tanks and piping to be fully insulated.
- All toilets to be dual flush [max 6L].
- Provide energy usage display meter.
- Gas fireplaces to have electronic ignitions & be direct-vented.
- Distributed HRV units to be provided throughout house in dropped ceiling spaces; quantity and exact locations to be specified by mechanical engineer.
- Building to be sprinklered [nfpa 13a standard].

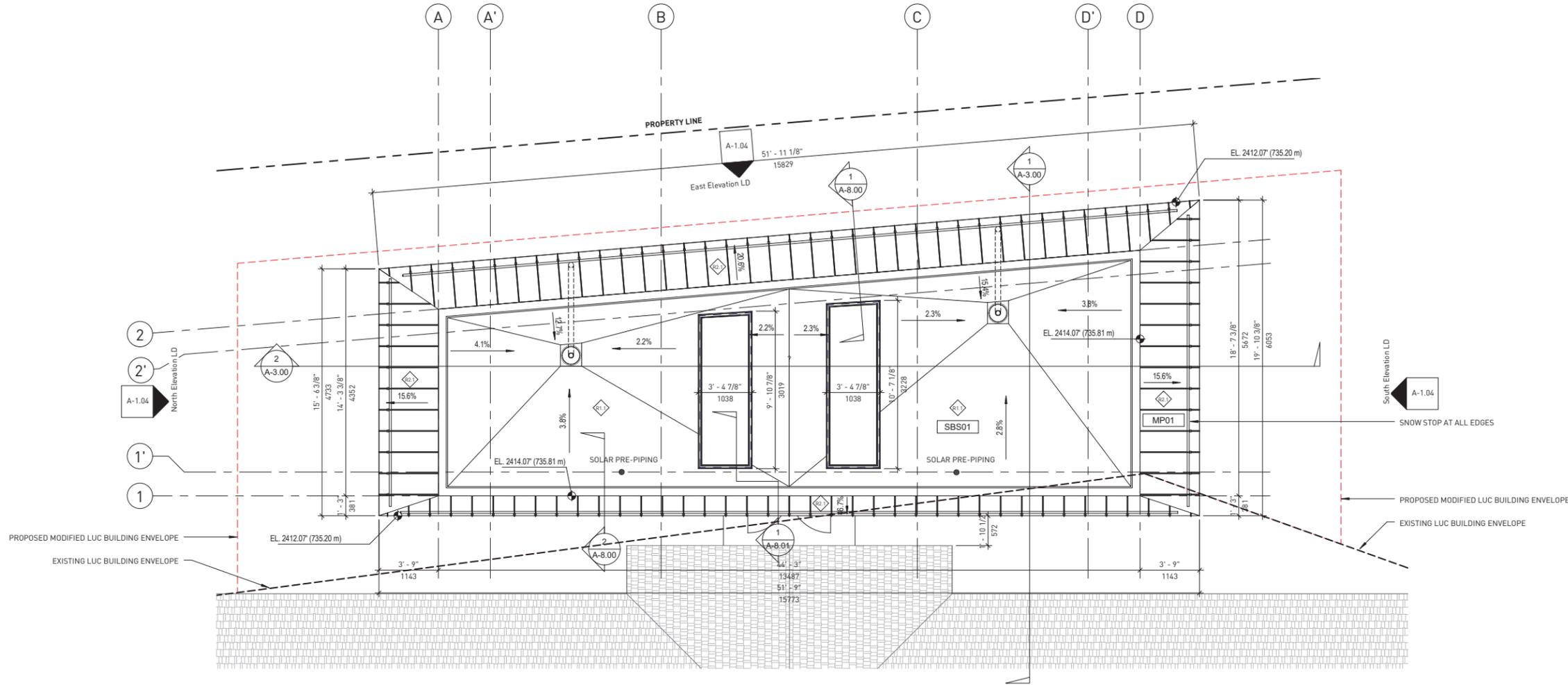
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NO.	DESCRIPTION	DATE	BY
5	Issued for BP Submission	2022-04-05	PC
4	Issued for LUC Submission	2021-08-09	MK
3	Issued for Coordination	2021-05-19	MK
2	Issued for Coordination	2020-08-10	MK
1	Issued for Coordination	2020-07-28	MK
REV.	DESCRIPTION	DATE	BY

KEYNOTE LEGEND

Key Value	Keynote Text
MP01	METAL PANEL 1
SBS01	2 PLY TORCH-ON MEMBRANE

NOTE: PER BCBC 9.26.2.1 MATERIAL STANDARDS



EXISTING HOUSE ROOF PER BP# B-96-04888, NO CHANGE

- NOTES**
- PER WILDFIRE OCP GUIDELINE HIGH RISK AREA SECTION (H): WINDOWS AND DOORS SHOULD UTILIZE DOUBLE-PANED OR TRIPLE-PANED GLASS; TEMPERED GLASS IS IDEAL, AND SINGLE PANE GLASS IS DISCOURAGED.
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STAMP	
SCALE 1/4" = 1'-0"	DRAWING DATE 05-Apr-2022 4:51:44 PM
PROJECT Accessory Building 4909 Horstman Place, Whistler, BC	
TITLE Roof Plan	
PROJECT NO. 1814	ISSUE NO. 5
DRAWING NUMBER A-2.02	



GENERAL NOTES

01. All construction to conform to part 9, BCBC 2018, residential (c) occupancy.
02. Plans provided for design intent.
03. Site plan based on survey by mpt professional landsurveyors.
04. All plumbing fixtures to comply with municipality & BCBC Part 10 - energy and water efficiency.
05. All kitchen and washroom exhaust to comply with municipality & BCBC part 9 requirements.
06. All int. Guardrails to be min. 36" high.
07. All int. Handrails to be min. 34" high.
08. All ext. Guardrails to be min. 36" high [or 42" high where required by code].
09. All ext. Handrails to be a min. 36" high [where req. by code].
10. Smoke alarms & carbon monoxide detectors to meet can/ulc s531-02 & can/csa-6.19-01 req's, 120v hard wired ceiling.
11. All metal fasteners to have isolators to prevent catalytic reaction to adjacent materials.
12. All rainscreens to have concealed black non-PVC bug screens.
13. Provide deterrent to edge for all landscape edges w/ fall greater than 18" to finished grade below.
14. Site to confirm all existing dimensions.
15. All R.O. to be confirmed w/ supplier.
16. All wall, roof and floor assemblies to be read in conjunction with approved building permit drawings & details.
17. All internal rain water leaders to be surrounded with 2" insulation for acoustic dampening. Please ensure workability with wall assemblies and millwork.
18. All building envelope details to meet the intent of details provided on sheet A-9.00.
19. All door, window & skylight assemblies to comply w/ part 10 of the BCBC. Windows & glass doors to have max. U-value of 1.4 w/(k.m2). Skylights to have max. U-value of 2.4 w/(k.m2).
20. 40% min. hardwired non-incand. & non-halogen light fixtures.
21. All hot water tanks and piping to be fully insulated.
22. All toilets to be dual flush [max 6L].
23. Provide energy usage display meter.
24. Gas fireplaces to have electronic ignitions & be direct-vented.
25. Distributed HRV units to be provided throughout house in dropped ceiling spaces; quantity and exact locations to be specified by mechanical engineer.
26. Building to be sprinklered [nfsa 13d standard].

NOTE: By using this document the client agrees that the consultant's liability for services including negligence and omissions is strictly limited to the values of fees paid. The client agrees to indemnify and defend the consultant in the event of third party claims alleging negligence and or injury as a result of services rendered

NO.	DESCRIPTION	DATE	BY
5	Issued for BP Submission	2022-04-05	PC
4	Issued for LDC Submission	2021-08-09	MK
3	Issued for Coordination	2021-05-19	MK
2	Issued for Coordination	2020-09-15	MK
1	Issued for Coordination	2020-07-28	MK

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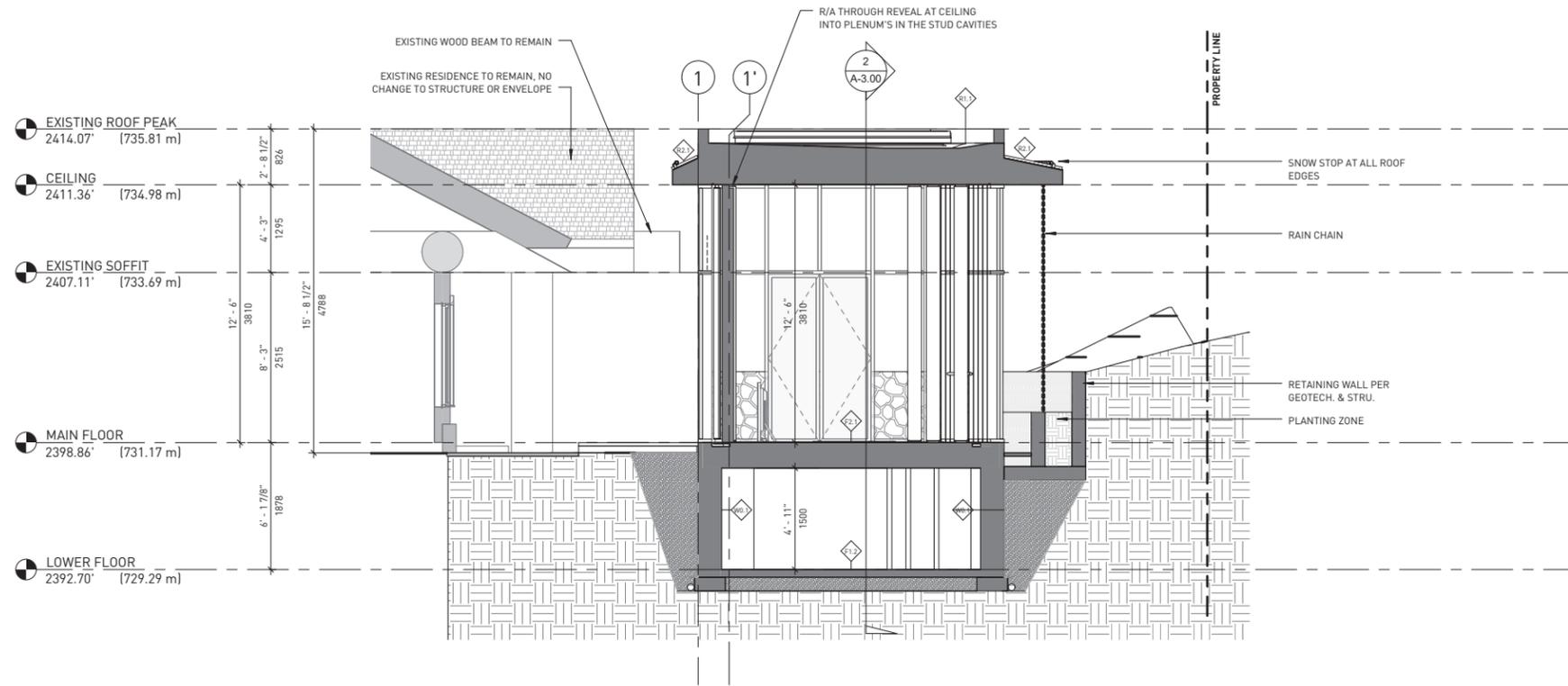
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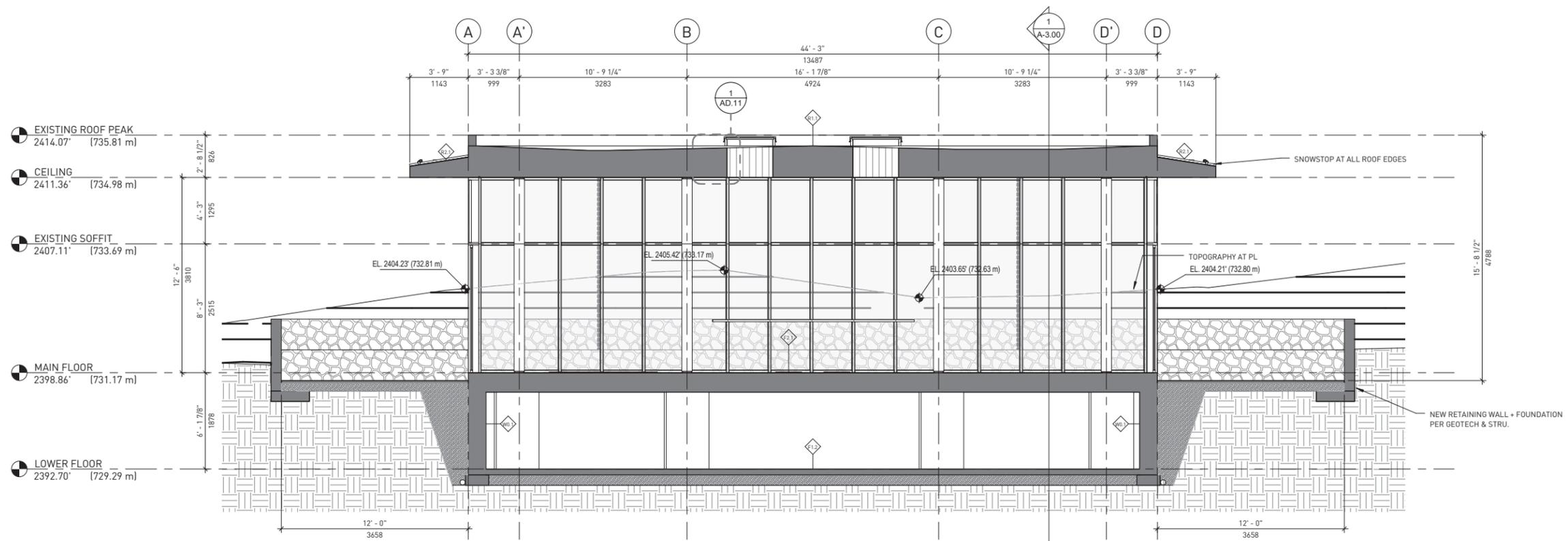
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STAMP	
SCALE 1/4" = 1'-0"	DRAWING DATE 05-Apr-2022 4:51:48 PM
PROJECT Accessory Building 4909 Horstman Place, Whistler, BC	
TITLE Building Sections	
PROJECT NO. 1814	ISSUE NO. 5
DRAWING NUMBER A-3.00	



1 Transverse Section
 A-3.00 1/4" = 1'-0"



2 Longitudinal Section
 A-3.00 1/4" = 1'-0"

NOTE: ASSEMBLIES AND OPENINGS COMPLIANCE WITH RMOW ENERGY STEP CODE PER PRE-CONSTRUCTION COMPLIANCE REPORT.

GENERAL NOTES

- All construction to conform to part 9, BCBC 2018, residential (c) occupancy.
- Plans provided for design intent.
- Site plan based on survey by mpt professional landsurveyors.
- All plumbing fixtures to comply with municipality & BCBC Part 10 - energy and water efficiency.
- All kitchen and washroom exhaust to comply with municipality & BCBC part 9 requirements.
- All int. Guardrails to be min. 36" high.
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NO.	DESCRIPTION	DATE	CHK.
1	Issued for RFP Submission	2022-04-05	PC
2	Issued for LUC Submission	2021-08-09	MK
3	Issued for Coordination	2021-05-17	MK
4	Issued for Neighbour Review	2020-09-30	MK
5	Issued for Coordination	2020-09-15	MK
6	Issued for Coordination	2020-07-28	MK
7	Issued for Coordination	2020-07-28	MK

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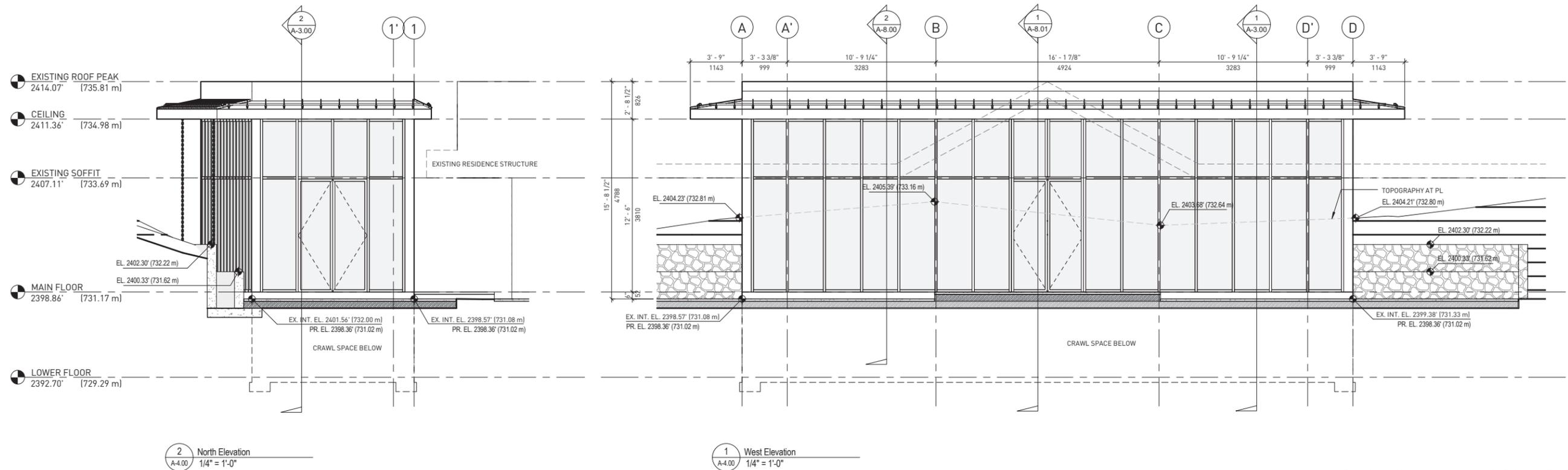
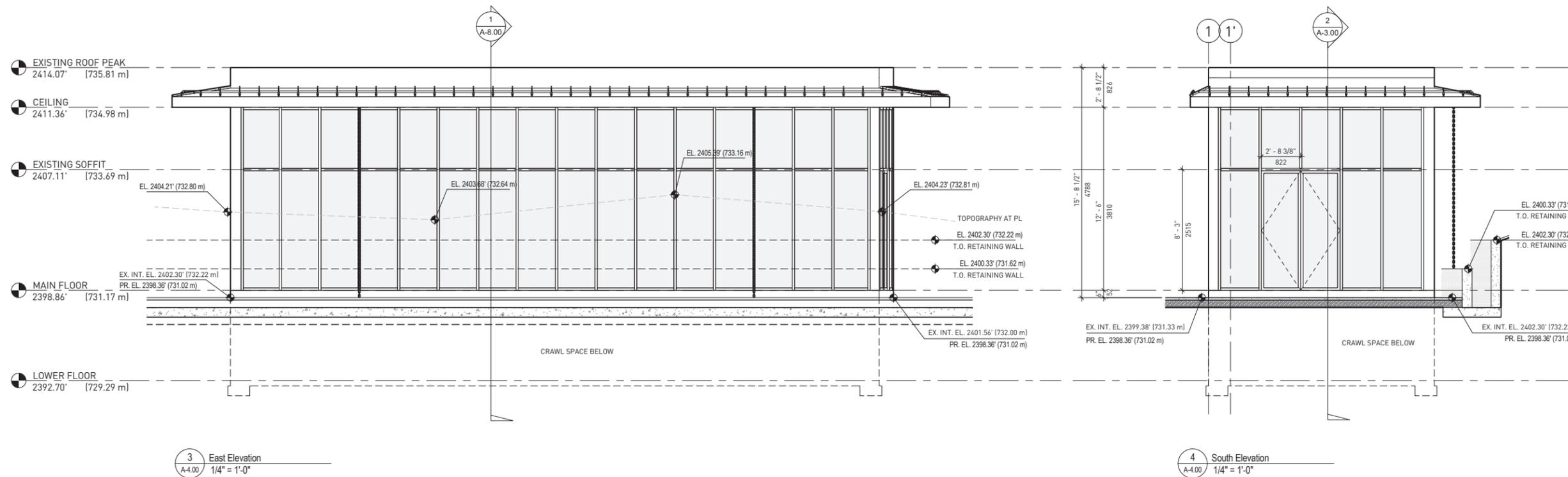
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STAMP	
SCALE 1/4" = 1'-0"	DRAWING DATE 05-Apr-2022 4:51:51 PM
PROJECT Accessory Building 4909 Horstman Place, Whistler, BC	
TITLE Elevations	
PROJECT NO. 1814	ISSUE NO. 6
DRAWING NUMBER A-4.00	



NOTE: WINDOW, DOOR AND SKYLIGHT COMPLIANCE WITH RMOW ENERGY STEP CODE PER PRE-CONSTRUCTION COMPLIANCE REPORT.

GENERAL NOTES

- All construction to conform to part 9, BCBC 2018, residential (c) occupancy.
 - Plans provided for design intent.
 - Site plan based on survey by mpt professional landurveyors.
 - All plumbing fixtures to comply with municipality & BCBC Part 10 - energy and water efficiency.
 - All kitchen and washroom exhaust to comply with municipality & BCBC part 9 requirements.
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 - All hot water tanks and piping to be fully insulated.
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0	Issued for BP Submission	2022-04-05	PC
1	Issued for LUC Submission	2021-08-09	MK
NO.	DESCRIPTION	DATE	BY
REVISION SCHEDULE			

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STAMP	
SCALE 12" = 1'-0"	DRAWING DATE 05-Apr-2022 4:51:54 PM
PROJECT Accessory Building 4909 Horstman Place, Whistler, BC	
TITLE Finish Schedule	
PROJECT NO. 1814	ISSUE NO. 2
DRAWING NUMBER A-10.00	

LIST OF SYMBOLS:

- 03.05 C.I.P. CONCRETE
- 06.01 MILLWORK
- 06.09 PLASTIC LAMINATE
- 07.01 METAL CLADDING
- 07.09 WOOD CLADDING
- 08.01 GLASS
- 08.02 TRIPLE GLAZED PANE W/ METAL FRAME
- 08.03 METAL DOORS AND FRAMES
- 08.04 WOOD DOORS AND FRAMES
- 08.05 SLIDING GLASS DOORS
- 08.06 POCKET WOOD DOORS
- 08.07 OVERHEAD COILING DOOR
- 08.08 GLAZED ALUMINUM CURTAIN WALLS
- 08.09 GLAZED ALUMINUM STOREFRONT
- 08.10 PUNCH WINDOWS
- 08.11 DOOR HARDWARE
- 08.12 GLAZING
- 08.13 LOUVERS AND VENTS
- 08.14 HOLLOW METAL DOORS
- 08.15 HOLLOW METAL DOORS INSULATED
- 08.16 PRESSED STEEL FRAME
- 08.17 FRAMELESS
- 08.18 SOLID CORE WOOD DOOR
- 08.19 WOOD FRAMES
- 08.20 ALUMINUM FRAMES
- 08.21 GLASS DOOR IN METAL FRAMES
- 08.22 WOOD DOORS
- 09.02 HARDWOOD FLOORING
- 09.05 GWB
- 09.06 STONE TILE
- 09.07 FLOOR TILES
- 09.08 STUCCO
- 09.09 WALL TILES
- 09.10 CARPET
- 09.11 CLEAR SEAL
- 09.12 EXTERIOR PAINT
- 09.13 STONE
- 09.14 INTERIOR PAINT
- 09.15 VINYL WALL COVERING
- 09.16 WOOD BASE
- 09.17 RUBBER COVE BASE
- 09.18 TILE BASE
- 09.19 STONE SLAB COUNTERTOP
- 09.20 ANODIZED
- 09.21 TEMPERED
- 09.22 MEDIUM DENSITY FIBREBOARD (MDF)
- 10.03 TOILET TISSUE DISPENSER
- 10.04 SOAP DISPENSER
- 10.05 MIRROR
- 10.06 COAT HOOK
- 10.07 SHOWER BASE
- 10.08 SHOWER PARTITION SYSTEM
- 10.09 BENCH
- 10.10 RECESSED SOAP DISH

INTERIOR FINISH NOTES:

- TILE SETTER TO PROVIDE APPLICABLE TRANSITION STRIPS AT TILE FLOORING TRANSITIONS TO SUIT. ARCHITECT'S APPROVAL REQUIRED.
- FOR STAIR NOSING, SEE STAIR DETAILS.
- USE ANTI-FRACTURE MEMBRANE.
- GROUT JOINTS TO BE 1/16" - 1/8"
- TILE LAYOUT AS PER PLANS AND ELEVATIONS. TILE SETTER TO ENSURE ON SITE ALL LAYOUTS SHALL AVOID SMALL CUT TILES
- ALLOW TIMELY DELIVERY FOR FLOORING PRODUCTS, ETC. ALTERNATES DUE TO LATE ORDERING WILL NOT BE ACCEPTED. CONTRACTOR TO AIR FREIGHT LATE ORDERS AT THEIR OWN COST.
- ALL COMPOSITE WOOD AND AGRIFIBER PRODUCTS, INCLUDING CORE MATERIALS, MUST CONTAIN NO ADDED UREA-FORMALDEHYDE RESINS. LAMINATE ADHESIVES USED TO FABRICATE ON-SITE AND SHOP APPLIED ASSEMBLIES CONTAINING THESE LAMINATE ADHESIVES MUST CONTAIN NO UREA-FORMALDEHYDE. MILLWORK CONTRACTOR TO PROVIDE MANUFACTURERS PRODUCT INFORMATION FOR CORE AND LAMINATE ADHESIVE PRODUCTS USED, HIGHLIGHTING STATEMENTS THAT THEY CONTAIN NO ADDED UREA-FORMALDEHYDE.
- BACKING TO BE BLACK
- FOR INTERIOR OF MILLWORK FINISH, SEE MILLWORK DRAWINGS.
- GROMMETS TO BE BLACK
- OUTLETS AND COVERPLATES ON ALL MILLWORK TO BE BLACK UNLESS OTHERWISE NOTED
- OUTLETS AND COVERPLATES ON GWB WALLS TO BE WHITE UNLESS OTHERWISE NOTED
- BLOCKING TO BE PAINTED BLACK UNLESS OTHERWISE NOTED
- PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
- ALL MILLWORK TO BE SITE MEASURED AND DIMENSIONS VERIFIED PRIOR TO FABRICATION
- ANY AND ALL DISCREPANCIES BETWEEN DRAWINGS AND SITE TO BE VERIFIED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH WORK
- ALL ELECTRICAL WIRING WITHIN MILLWORK TO BE CONCEALED WITHIN MILLWORK UNLESS OTHERWISE NOTED
- CONFIRM ALL APPLIANCE SPECIFICATIONS PRIOR TO FABRICATION OF MILLWORK TO ENSURE PROPER CLEARANCES ARE PROVIDED
- REFER TO WASHROOM DETAIL PLANS FOR ACCESSORY LOCATION. SYMBOLS/TAGS ON LEGEND CORRESPONDS WITH ACCESSORY SYMBOL ON PLANS.
- CONTRACTOR TO PROVIDE PLY. BACKING IN WALL DURING FRAMING AS REQUIRED FOR WASHROOM ACCESSORIES / PLUMBING FIXTURES/VANITIES.
- ALL ACCESSORIES TO CONFORM TO HEIGHT REQUIREMENTS OF THE BCBC
- REFER TO FLOOR PLANS FOR FLOOR DRAIN LOCATIONS.
- ALL TILE SET-OUT POINTS LOCATED ON PLANS AND ELEVATIONS TO BE CONFIRMED ON SITE BY TILE INSTALLER PRIOR TO COMMENCEMENT OF WORK TO AVOID ANY AND ALL AREAS OF SMALL CUT TILES

ROOM FINISH SCHEDULE														
Name	Floor		East Wall		North Wall		South Wall		West Wall		Ceiling		Height	Comments
	Material	Finish	Material	Finish	Material	Finish	Material	Finish	Material	Finish	Material	Finish		
LOWER FLOOR														
CRAWL SPACE	03.05		09.05		09.05		09.05		09.05		-	-	4' - 11"	
MAIN FLOOR														
MAIN FLOOR GYM	9.02		8.08		8.08		8.08		8.08		9.02		12' - 6"	



MATERIAL: PATINATED COPPER
 COLOR: CONTINENTAL BRONZE
 APPLICATION: SLOPED ROOF STANDING SEAM, FLASHINGS



MATERIAL: SBS MEMBRANE
 COLOR: GREY
 APPLICATION: FLAT ROOF - NOT VISIBLE



MATERIAL: WALNUT HARDWOOD
 COLOR: NATURAL OIL
 APPLICATION: FLOORING, CEILING



MATERIAL: WOODGRAIN PAINTED ALUMINUM
 COLOR: CERESNIA C1P7
 APPLICATION: GLAZING MULLIONS, SOFFIT



MATERIAL: EXISTING SLATE PAVERS
 COLOR: PER EXISTING
 APPLICATION: NEW PAVERS TO MATCH EXISTING



MATERIAL: EXISTING ROCK RETAINING WALL
 COLOR: PER EXISTING
 APPLICATION: NEW RETAINING WALLS TO MATCH EXISTING