

# WHISTLER

## AGENDA

**PUBLIC HEARING OF MUNICIPAL COUNCIL  
TUESDAY, JULY 17, 2012 STARTING AT 6:00 PM**

**In the Franz Wilhelmsen Theatre at Maurice Young Millennium Place  
4335 Blackcomb Way, Whistler, BC V0N 1B4**

The Public Hearing is convened pursuant to Section 890 of the Local Government Act R.S.B.C. 1996, c. 323 to allow the public to make representations to Council respecting matters contained in "Zoning Amendment Bylaw (2188 Nordic Drive) 1994, 2012" (the "proposed Bylaw").

Everyone present shall be given a reasonable opportunity to be heard or to present written submissions respecting matters contained in the proposed bylaw. No one will be discouraged or prevented from making their views known. However, it is important that remarks be restricted to matters contained in the proposed Bylaw.

When speaking, please commence your remarks by clearly stating your name and address.

Members of Council may, ask questions following presentations however, the function of Council at a Public Hearing is to listen rather than to debate the merits of the proposed Bylaw.

As stated in the Notice of Public Hearing,

Zoning Amendment  
Bylaw (2188 Nordic  
Drive) 1994, 2012

### **PURPOSE OF ZONING AMENDMENT BYLAW (2188 Nordic Drive) NO. 1994, 2012**

The purpose of Zoning Amendment Bylaw (2188 Nordic Drive) 1994, 2012 is to rezone the lands from RM24 (Residential Multiple Twenty-Four) to RM68 (Residential Multiple Sixty-Eight) in order to allow for conversion of the existing duplex on the site to a detached dwelling while still maintaining the uses currently permitted under the RM24 Zone. The new zoning would increase the allowable building size for a detached dwelling from 266 metres squared to 465 metres squared.

Explanation

Explanation by municipal staff concerning the proposed Bylaw.

Correspondence

Receipt of correspondence or items concerning the proposed Bylaw.

Submissions

Submissions by any persons concerning the proposed Bylaw.

### **ADJOURNMENT**



**THE RESORT MUNICIPALITY OF WHISTLER**

4325 Blackcomb Way  
Whistler, BC Canada V0N 1B4  
[www.whistler.ca](http://www.whistler.ca)

TEL 604 932 5535  
TF 1 866 932 5535  
FAX 604 932 8109

## **NOTICE OF PUBLIC HEARING**

### **ZONING AMENDMENT BYLAW (2188 Nordic Drive) NO. 1994, 2012**

Notice is hereby given in accordance with the *Local Government Act* RSBC, 1996, c.323 that the Council of the Resort Municipality of Whistler will hold a Public Hearing to consider representations regarding amendments to Whistler "Zoning and Parking Bylaw No. 303, 1983" (Zoning Bylaw) by means of "Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012" (the "proposed Bylaw") in the Franz Wilhelmsen Theatre at Maurice Young Millennium Place, 4335 Blackcomb Way, Whistler, British Columbia commencing at **6:00 p.m., Tuesday, July 17, 2012.**

**AT THE HEARING** the public will be allowed to make representations to Council or present written submissions respecting matters contained in the proposed Bylaw and will be afforded a reasonable opportunity to be heard.

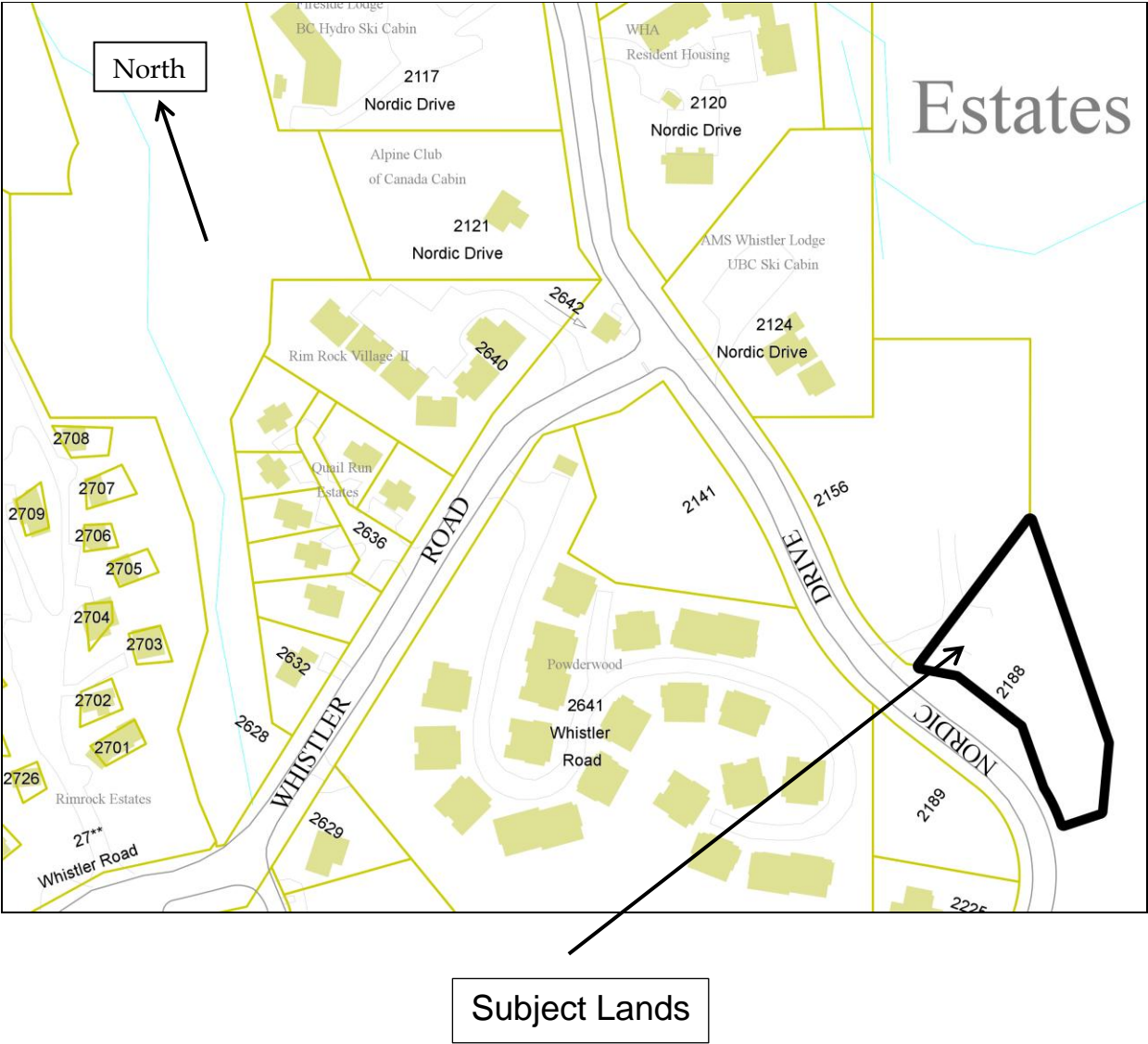
**SUBJECT LANDS:** The lands, which are the subject of the proposed Bylaw, are located at 2188 Nordic Drive ("the Lands"). More specifically these lands are described as Lot 2, District Lots 4979, 7179 and 7765, Plan LMP16203 as shown outlined in bold on the map attached.

**PURPOSE OF "ZONING AMENDMENT BYLAW (2188 Nordic Drive) NO. 1994, 2012":** In general terms, the purpose of the proposed Bylaw is to rezone the lands from RM24 (Residential Multiple Twenty-Four) to RM68 (Residential Multiple Sixty-Eight) in order to allow for conversion of the existing duplex on the site to a detached dwelling while still maintaining the uses currently permitted under the RM24 Zone. The new zoning would increase the allowable building size for a detached dwelling from 266 metres squared to 465 metres squared.

**AND FURTHER TAKE NOTICE** that a copy of the aforementioned "Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012" and related documents which have been or will be considered by the Council of the Resort Municipality of Whistler may be inspected at the Reception Desk of Municipal Hall of the Resort Municipality of Whistler located at 4325 Blackcomb Way, Whistler, British Columbia, between the hours of 8:00 a.m. and 4:30 p.m., from Monday to Friday only, from July 6, 2012 to July 17, 2012 (inclusive) (statutory holidays excluded).

Lonny Miller  
Corporate Officer

Subject Lands – 2188 Nordic Drive - Bylaw No. 1994, 2012



**RESORT MUNICIPALITY OF WHISTLER  
ZONING AMENDMENT BYLAW (2188 NORDIC DRIVE) NO. 1994, 2012**

**A BYLAW TO AMEND THE RESORT MUNICIPALITY OF WHISTLER  
ZONING AND PARKING BYLAW NO. 303, 1983.**

**WHEREAS** Council may, in a zoning bylaw pursuant to Sections 903, 904 and 906 of the *Local Government Act*, R.S.B.C. 1996, c.323, divide all or part of the area of the Municipality into zones, name each zone and establish the boundaries of the zone, regulate the use of land, buildings and structures within the zones, require the provision of parking spaces and loading spaces for uses, buildings and structures, and establish different density regulations for a zone, one applicable to the zone generally and the other to apply if conditions are met;

**NOW THEREFORE** the Municipal Council of the Resort Municipality of Whistler, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as "Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012"

2. Zoning and Parking Bylaw No. 303, 1983 is amended by:

(a) adding "RM68" to Section 7 under the heading, "R Zones" after "RM65" and adding under the heading, "Residential Zones", the following:

"Residential Multiple Sixty-Eight (Bylaw No. 1994, 2012)".

(b) amending Schedule "A" Zoning Map by changing the zoning designation of the lands described as Lot 2, District Lots 4979, 7179, and 7765, Plan LMP 16203 to RM68 (Residential Multiple Sixty-Eight) as shown in heavy black outline and identified on the plan annexed to this Bylaw as Schedule 1.

(c) adding to Section 12 in numerical order the RM68 Zone as annexed to this Bylaw as Schedule "2".

(d) by amending Section 23, Schedule "A", "Legend of Zones", by adding under the heading, "Residential Zones" the following in appropriate order:

"Multiple Sixty-Eight (RM68)".

Given first and second reading this 3<sup>rd</sup> day of July, 2012.

Pursuant to Section 890 of the *Local Government Act*, a Public Hearing was held this \_\_\_ day of \_\_\_\_\_, \_\_\_\_.

Given third reading this \_\_\_ day of \_\_\_\_\_, \_\_\_\_.

Approved by the Minister of Transportation and Infrastructure this \_\_\_ day of \_\_\_\_\_, \_\_\_\_.

Adopted by the Council this \_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Nancy Wilhelm-Morden,  
Mayor

\_\_\_\_\_  
Lonny Miller,  
Corporate Officer

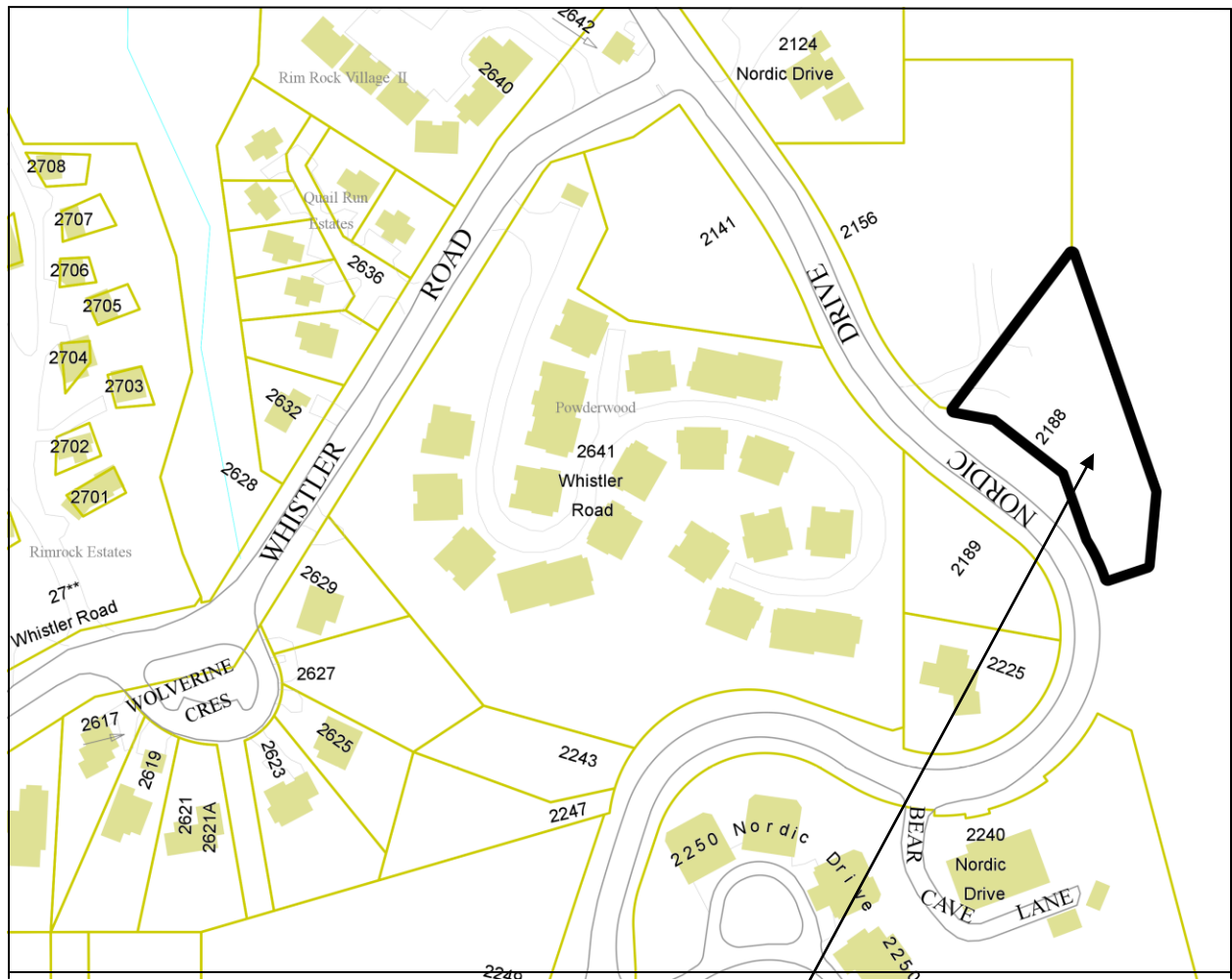
**Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012**

I HEREBY CERTIFY that this is a true  
copy of "Zoning Amendment Bylaw  
(2188 Nordic Drive) No. 1994, 2012"

---

Lonny Miller,  
Corporate Officer

SCHEDULE 1



"Subject Lands"

"Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012"

**SCHEDULE 2**

**RM68 Zone (Residential Multiple Sixty- Eight) (Bylaw No. 1994)**

**Intent**

The intent of this zone is to provide for low density, slope-responsive residential use.

68 In an RM68 Zone:

**Permitted Uses**

68.1 The following uses are permitted and all other uses are prohibited:

- (a) auxiliary buildings and auxiliary uses;
- (b) park and playground;
- (c) detached dwelling;
- (d) duplex dwelling; and
- (e) townhouse.

**Density**

68.2.1 The maximum permitted floor space ratio is 0.25.

68.2.2 Notwithstanding section 68.2.1, the maximum permitted gross floor area of a detached dwelling is 465 square metres.

68.2.3 Notwithstanding section 68.2.1, the maximum permitted gross floor area of a duplex dwelling is 511 square metres.

68.2.4 The maximum permitted floor area for auxiliary parking use of a detached dwelling contained in a principal or auxiliary building or structure is 90 square metres.

68.2.5 The maximum permitted floor area for auxiliary parking use of a duplex dwelling contained in a principal or auxiliary building or structure is 90 square metres per dwelling unit.

68.2.6 The maximum permitted floor area for auxiliary parking use of a townhouse dwelling contained in a principal or auxiliary building or structure is 40 square metres per dwelling unit.

**Height**

68.3.1 The maximum permitted height of a principal building is 10.7 metres.

68.3.2 The maximum permitted height of an auxiliary building is 5 metres.

**Parcel Size**

68.4.1 The minimum permitted parcel area is 0.34 hectares.

**Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012**

68.4.2 The minimum permitted frontage is 85 metres.

**Site Coverage**

68.5 The maximum permitted site coverage is 20%.

**Setbacks**

68.6.1 The minimum permitted setback from any parcel boundary is 7.6 metres.

68.6.2 The minimum permitted separation between principal use buildings is 6 metres.

**Off-Street Parking and Loading**

68.7 Off-street parking and loading shall be provided and maintained in accordance with regulations contained in Section 6 of this Bylaw.

**Other Regulations**

68.8.1 The minimum permitted gross floor area of a dwelling unit is 55 square metres.

68.8.2 The maximum permitted number of bedrooms in a dwelling unit is 4.

68.8.3 Auxiliary residential dwelling units are prohibited.





## REPORT | ADMINISTRATIVE REPORT TO COUNCIL

**PRESENTED:** June 19, 2012

**REPORT:** 12 - 069

**FROM:** Planning

**FILE:** RZ. 1056

**SUBJECT:** 2188 Nordic Drive Rezoning

### COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

**That** the recommendation of the General Manager of Resort Experience be endorsed.

### RECOMMENDATION

**That** Council consider giving first and second readings to “Zoning Amendment Bylaw (2188 Nordic Drive) 1994, 2012”;

**That** Council authorize the Corporate Officer to schedule a Public Hearing regarding “Zoning Amendment Bylaw (2188 Nordic Drive) 1994, 2012”, and to advertise for same in a local newspaper; and further

**That** Council direct staff to advise the applicant that before consideration of adoption of “Zoning Amendment Bylaw (2188 Nordic Drive) 1994 2012”, the following matters are to be completed to the satisfaction of the General Manager of Resort Experience:

1. Discharge of the existing covenant registered on title as BH130715;
2. Registration of a new covenant reflecting the revised development scheme; and
3. Receipt of an Initial Environmental Review for the site.

**That** Council authorize the Mayor and Corporate Officer to sign the legal documents associated with the prior adoption conditions stipulated by Council.

### REFERENCES

Owner: Tracy Alexandra Whiting

Location: 2188 Nordic Drive

Legal Description: PID: 018-723-942

Lot 2, Plan LMP 16203

District Lots 4979, 7179, & 7765

Current Zoning: RM 24 (Residential Multiple Twenty-Four)

Proposed Zoning: RM68 (Residential Multiple Sixty- Eight)

Appendices:     “A” Location Plan  
                    “B” Plans of Existing Development  
                    “C” Proposed RM68 Zone  
                    “D” Council Policy G- 21  
                    “E” Zoning Context Plan

## **PURPOSE OF REPORT**

This report presents Rezoning Application No. RZ. 1056, an application to change the zoning at 2188 Nordic Drive from RM 24 (Residential Multiple Twenty-Four) to RM68 (Residential Multiple Sixty- Eight) in order to allow for conversion of an existing duplex dwelling to a detached dwelling.

## **DISCUSSION**

### **Background**

The subject parcel is located on the northeast side of Nordic Drive a short distance beyond the intersection with Whistler Road and immediately adjacent to the existing tennis courts. The lands were zoned RM24 (Residential Multiple Twenty-Four) by way of Zoning Amendment Bylaw No. 1011, 1994.

The building at 2188 Nordic Drive was developed as an over/ under duplex under Building Permit No. BP 1356 issued in August 2007. RMOW records show that this duplex has a total gross floor area of 399.5 m<sup>2</sup> (upper unit: 242.5 m<sup>2</sup>, lower unit: 157 m<sup>2</sup>). The existing RM24 Zone does not limit the gross floor of duplex dwellings specifically, but does restrict floor space ratio to 0.25, allowing a maximum of 855 m<sup>2</sup> of gross floor area on the site.

### **Current Application**

The applicant wishes to use the existing building as a single family detached dwelling and proposes to connect the two existing units by way of an internal stair. The RM24 zone applies to three different properties in the area. These parcels vary in size from 2.6 hectares to 0.34 hectares, with the subject parcel being the smallest. The RM24 zoning was designed to provide for multiple dwelling types on each RM24 parcel and limits the number of single family dwellings per parcel to 18 percent. The RM 24 Zone further limits the size of detached dwellings to 266 m<sup>2</sup>.

Given the limited size of the subject parcel, it is unable to achieve both a single family residence and other dwellings. Therefore the proposal is unable to meet the existing zoning and a new zone is proposed.

The new RM68 Zone is specifically designed for this one parcel. This new zone would continue to allow the uses anticipated by the original zone, but would change the restrictions on single family homes to allow for one detached dwelling on the lands up to a maximum gross floor area of 465 m<sup>2</sup>. This is consistent with other zones in the RMOW and also in terms of neighbourhood context, as both parcels across the street are zoned for 465 m<sup>2</sup> detached dwellings.

Table 1 provides a comparison of the existing and proposed zoning, and the applicability to the existing building.

**Table 1: Comparison of Current & Proposed Zoning**

	RM 24 Zone (current zone)		RM 68 Zone (proposed zone)		Existing On-Site Condition
Use:	<ul style="list-style-type: none"><li>• Detached dwelling</li><li>• Duplex dwelling</li><li>• Townhouse</li><li>• Indoor/ outdoor recreation</li><li>• Park &amp; Playground</li><li>• Auxiliary uses</li></ul>		<ul style="list-style-type: none"><li>• Detached dwelling</li><li>• Duplex dwelling</li><li>• Townhouse</li><li>• Park &amp; Playground</li><li>• Auxiliary uses</li></ul>		Duplex
Density:	FSR: 0.25		FSR: 0.25		0.12
	Detached Dwelling:	266 m2.	Detached Dwelling	465 m2.	399 m2
	Duplex Dwelling:	0.25 FSR	Duplex Dwelling	511 m2.	
Minimum Parcel Size:	1,500 m2		0.34 hectares		0.342 ha
Minimum Frontage:	20 metres		85 metres		87.4 metres
Maximum Building Height:	10.7 metres		10.7		9.4 metres
Site Coverage:	20%		20 %		7%
Setbacks:	7.6 metres from any parcel boundary		7.6 metres from any parcel boundary		Front: 7.6 m Sides: 7.6 m Rear: 5 m*
Parking Requirement:	5 stalls for duplex		5 stalls for duplex		5 stalls
	4 stalls for detached dwelling		4 stalls for detached dwelling		
Maximum Garage Size:	No restriction		Townhouse:	40 m2	85 m2
			Duplex:	90 m2	
			Detached Dwelling:	90 m2	

\*Rear setback was varied by Development Variance Permit Application No. 908.1, as approved by Council on July 3rd 2007.

## WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Built Environment	Building design, construction and operation is characterized by efficiency, durability and flexibility for changing and long term uses.	Under RZ. 1056, the existing duplex could be converted to a detached dwelling.
“	The built environment is attractive and vibrant, reflecting the resort community's character, protecting viewscales and evoking a dynamic sense of place.	The existing building design is consistent with the surrounding dwellings, and the general character of dwellings in the valley.
“	Continuous Encroachment on nature is avoided.	The building footprint is not changing at this time. An environmental review will be required so any sensitive areas can be protected through the rezoning process. Any future changes would require Development Permit review.
Natural Areas	A policy of no net habitat loss is followed, and no further loss is preferred.	As above

W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
All	None	There is no plan to modify the existing dwelling at this time.

## OTHER POLICY CONSIDERATIONS

### Official Community Plan:

2188 Nordic Drive lies within Development Permit Area No. 12, Whistler Heights, per Whistler's Official Community Plan and is designated as:

1. An area for the protection of development from hazardous conditions.
2. An area for the protection of the natural environment.
3. An area for the establishment of objectives and provision of guidelines for the form and character of development.

There is currently no new development proposed with this application, so a hazard report is not applicable. RMOW records show that a geotechnical report was submitted as a part of Building Permit 1356 in 2007 addressing subgrade preparation, retaining walls, drainage, and rock-fall hazard.

Per the mandatory requirements on the OCP for all rezonings, the applicant will need to provide an Environmental Review identifying any sensitive lands that may need protection by way of covenant. Staff note that impacts to surrounding vegetation should be minimal as the building footprint is not changing. Any redevelopment will require Development Permit review.

The existing building generally conforms with the guidelines for form and character in DP Area 12. As noted, any future redevelopment would require Development Permit review.

### **Development Rights By Covenant**

Prior to the development of Taluswood, a 'Scorched Earth' Covenant was registered on title setting overall limits on development on all of the Taluswood lands. Specifically, the bed unit allocation was set at 1006 bed units (BU's), the number of Dwelling Units was 248 and the maximum aggregate Gross Floor Area was set at 33,350 m<sup>2</sup>. As each parcel was subsequently subdivided and developed this covenant was discharged and replaced with site specific covenants reflecting the actual on-site development, and these values were drawn down from the overall maximum set out in the original covenant. At that time 2188 Nordic Drive was known as Taluswood Parcel "D".

Through this process the development allocation for 2188 Nordic Drive was established at 24 BU's, 400 m<sup>2</sup> of gross floor area and 6 dwelling units. The developer chose to construct a duplex of 399.5 m<sup>2</sup>.

The proposed zoning would allow an increase in the buildable area for the detached dwelling of 65 m<sup>2</sup>. This is consistent with standard RS1 zoning for detached dwellings with parcel areas exceeding 928.6 m<sup>2</sup>; the area of the subject parcel is much larger than this at 3,420 m<sup>2</sup>. The development covenant is proposed to be modified to reflect this increase in permitted gross floor area.

The conversion of the existing duplex into a detached dwelling would change the bed unit allocation from 12 to 6, which is consistent with the maximum allocation of 24 bed units under the development covenant. As per Council's Residual Bed Units & Growth Management Policy G – 21, the unutilized allocation of 18 BU's would remain assigned to the parcel and not be available for transfer to any other parcel. The new RM 68 zone provides for redevelopment of the site for multiple dwelling units and potential utilization of all 24 allocated BU's.

### **BUDGET CONSIDERATIONS**

There are no significant budget implications associated with this proposal. Rezoning application fees provide for recovery of costs associated with processing this application. Should a future owner decide to redevelop this site to maximize its potential, Development Permit and Building Permit fees will be applicable.

### **COMMUNITY ENGAGEMENT AND CONSULTATION**

A sign describing Rezoning Application RZ .1056 was posted in March of this year. At the time of writing of this report, no responses have been received. Per the requirements of the Local Government Act, the zoning amendment bylaw will require four readings at Council's open meeting, including a public hearing.

### **SUMMARY**

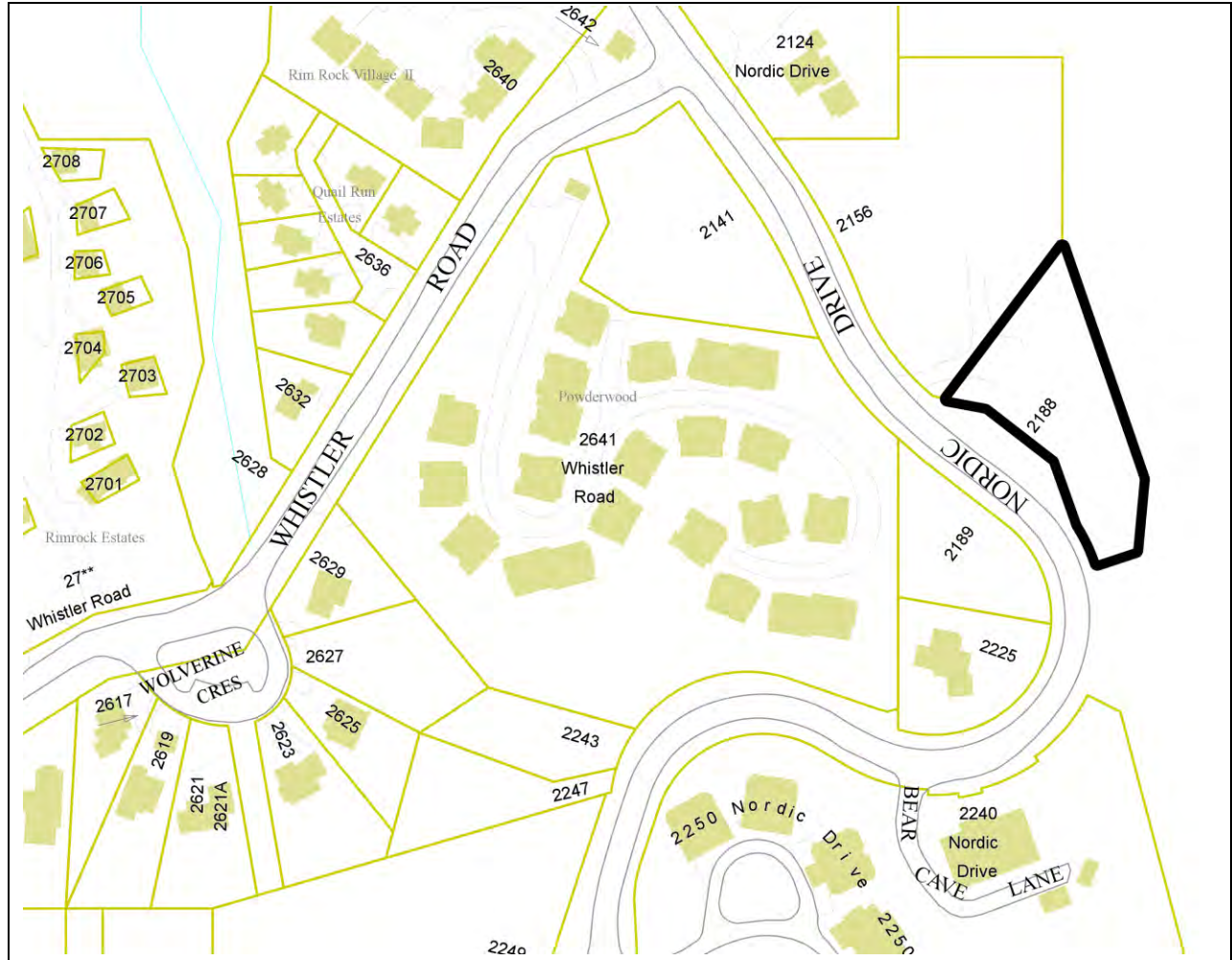
RZ. 1056 proposes to rezone the lands at 2188 Nordic Drive to allow conversion of the existing duplex to a detached dwelling. The new RM 68 zone would be consistent with Council's Residual Bed Units & Growth Management Policy G – 21 by maintaining the potential to redevelop the site at a future date utilizing all 24 bed units associated with this parcel.

Respectfully submitted,

Roman Licko  
PLANNING TECHNICIAN  
for  
Jan Jansen  
GENERAL MANAGER OF RESORT EXPERIENCE

**RZ. 1056, 2188 Nordic Drive**

**Location Plan**





Revisions:	Date:
ISSUED FOR REVIEW	02.22.2007
ISSUED FOR D.P.	03.20.2007
ISSUED FOR BUILDING PERMIT	06.25.2007

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Brigitte Loranger  
Architecture & Planning Ltd.

7310 Toni Sailer Lane, Whistler, B.C. V0N 1B7  
Tel: 604. 932-4426 Fax: 604. 932-4613

Project Title:  
Taluswood Lot 2  
2188 Nordic Drive  
Whistler, BC

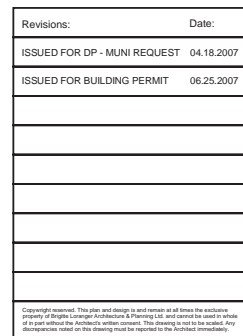
Project No: 2703 Date: Feb 22, 2007  
Drawn: BL, RCh-E Scale: 1:200

Drawing Title:  
Site Plan

Drawing No:  
A1.1

LEGAL DESCRIPTION:  
LOT 2, D.L. 4979, 7179 AND 7765, PLAN LMP 16203  
2006 British Columbia Building Code  
Part 9, Occupancy "C"  
Drawing Based on a survey by:  
Doug Bush Survey Services Ltd.  
Dated November 30, 2001  
Job # J01164

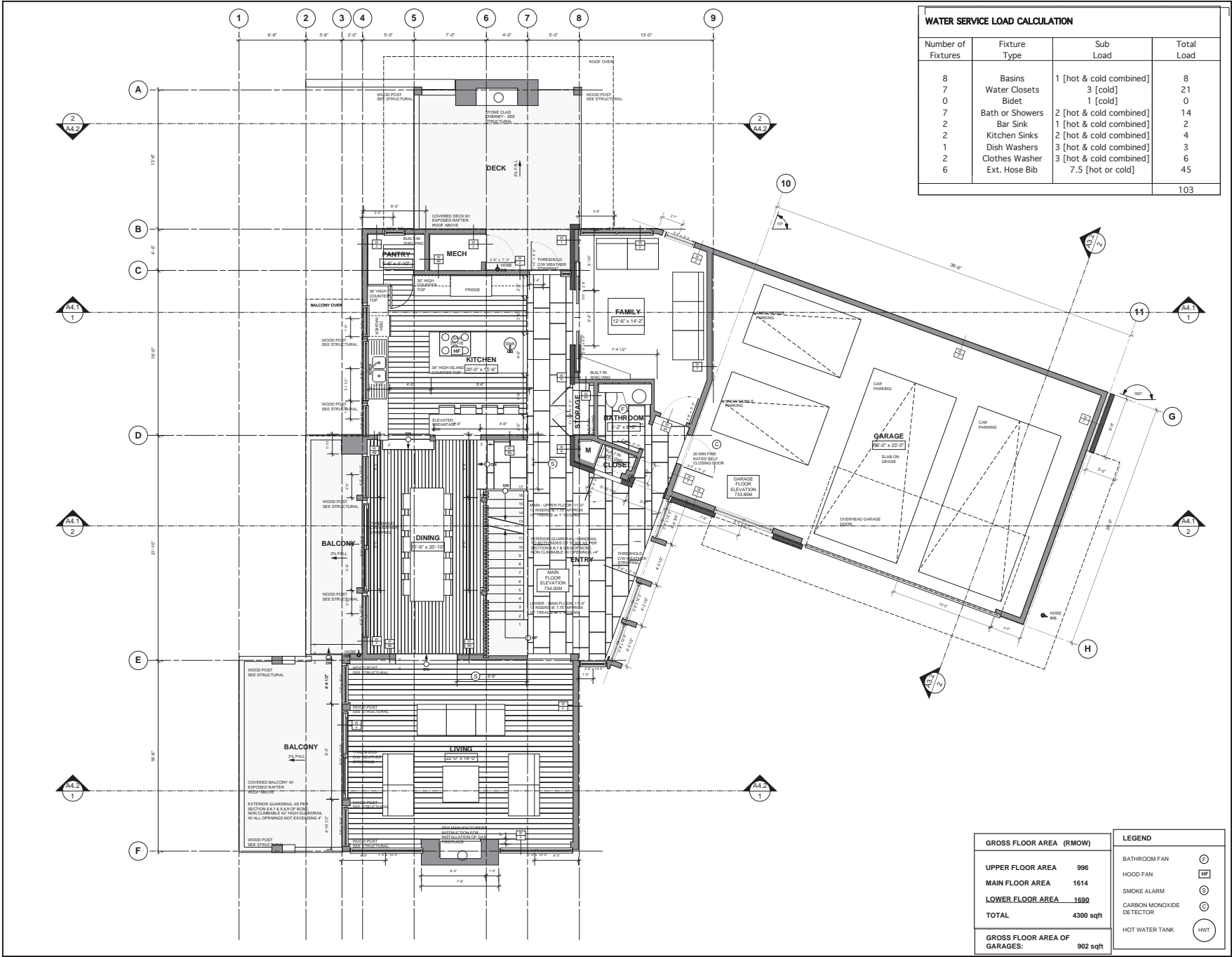




Project Title:  
**Lot 2 Taluswood**  
2188 Nordic Drive  
Whistler, BC

Drawing Title:  
Lower Floor Plan

Drawing No:  
A1.1



WATER SERVICE LOAD CALCULATION			
Number of Fixtures	Fixture Type	Sub Load	Total Load
8	Basins	1 [hot & cold combined]	8
7	Water Closets	3 [cold]	21
0	Bidet	1 [cold]	0
7	Bath or Showers	2 [hot & cold combined]	14
2	Bar Sink	1 [hot & cold combined]	2
2	Kitchen Sinks	2 [hot & cold combined]	4
1	Dish Washers	3 [hot & cold combined]	3
2	Clothes Washer	3 [hot & cold combined]	6
6	Ext. Hose Bib	7.5 [hot or cold]	45
			103

Revisions:	Date:
ISSUED FOR DP - MUNI REQUEST	04.18.2007
ISSUED FOR BUILDING PERMIT	06.25.2007
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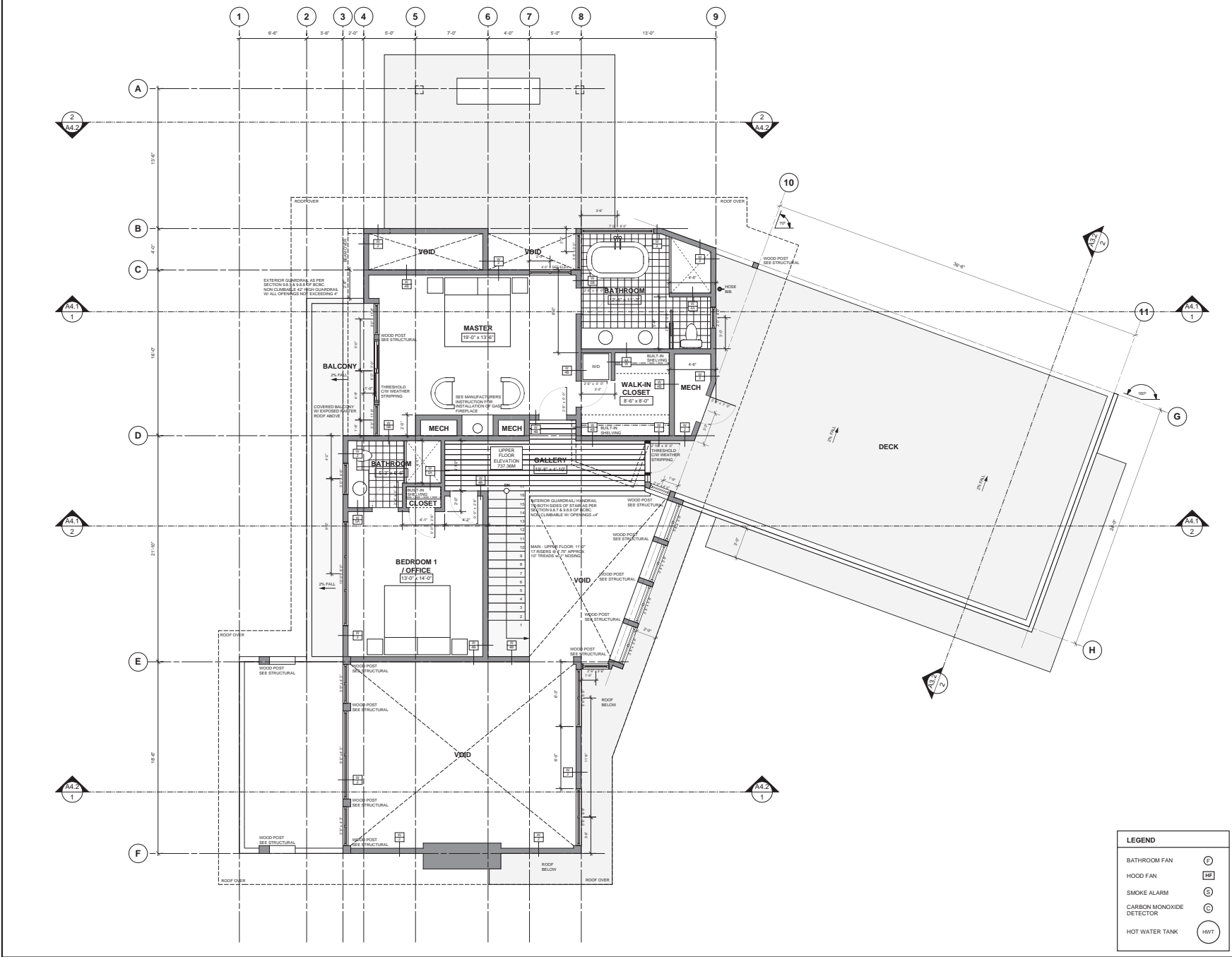
Project Title:  
Lot 2 Taluswood  
2188 Nordic Drive  
Whistler, BC

Project No: 2703 Date: March 13/2007  
Drawn: ROH-E Scale: 1/4" = 1'-0"

Drawing Title:  
Main Floor Plan

Drawing No:  
A2.2

GROSS FLOOR AREA (RMOW)	LEGEND
UPPER FLOOR AREA 996	BATHROOM FAN (F)
MAIN FLOOR AREA 1614	HOOD FAN (HF)
LOWER FLOOR AREA 1690	SMOKE ALARM (S)
TOTAL 4300 sqft	CARBON MONOXIDE DETECTOR (C)
GROSS FLOOR AREA OF GARAGES: 902 sqft	HOT WATER TANK (HWT)



LEGEND	
BATHROOM FAN	Ⓐ
HOOD FAN	HF
SMOKE ALARM	Ⓢ
CARBON MONOXIDE DETECTOR	Ⓒ
HOT WATER TANK	HWT

Revisions:	Date:
ISSUED FOR DP - MUNI REQUEST	04.18.2007
ISSUED FOR BUILDING PERMIT	06.25.2007
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 Tel: 604. 932-4426 Fax: 604. 932-4613

Project Title:  
 Lot 2 Taluswood  
 2188 Nordic Drive  
 Whistler, BC

Project No: 2703	Date: March 13/2007
Drawn: ROH-E	Scale: 1/4" = 1'-0"

Drawing Title:  
 Upper Floor Plan

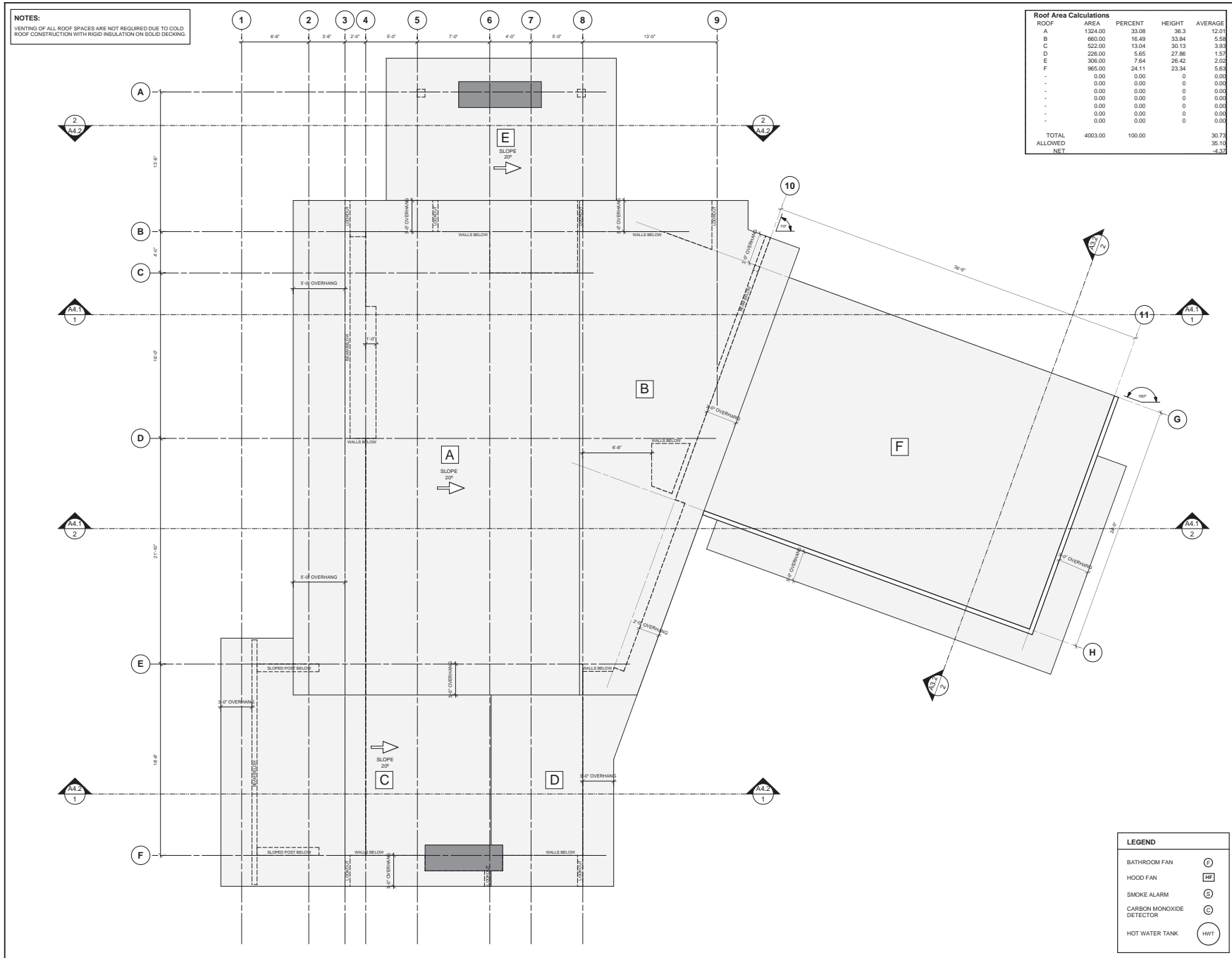
Drawing No:  
 A2.3

**NOTES:**  
 A  
 VENTING OF ALL ROOF SPACES ARE NOT REQUIRED DUE TO COLD  
 ROOF CONSTRUCTION WITH RIGID INSULATION ON SOLID DECKING.

Roof Area Calculations				
ROOF	AREA	PERCENT	HEIGHT	AVERAGE
A	1324.00	33.08	36.3	12.01
B	860.00	16.49	33.84	5.58
C	522.00	13.04	30.13	3.93
D	226.00	5.85	27.86	1.57
E	306.00	7.64	26.42	2.02
F	965.00	24.11	23.34	5.63
-	0.00	0.00	0	0.00
-	0.00	0.00	0	0.00
-	0.00	0.00	0	0.00
-	0.00	0.00	0	0.00
-	0.00	0.00	0	0.00
-	0.00	0.00	0	0.00
TOTAL	4003.00	100.00		30.73
ALLOWED				36.14
NET				-4.47

Revisions:	Date:
ISSUED FOR DP - MUNI REQUEST	04.18.2007
ISSUED FOR BUILDING PERMIT	06.25.2007

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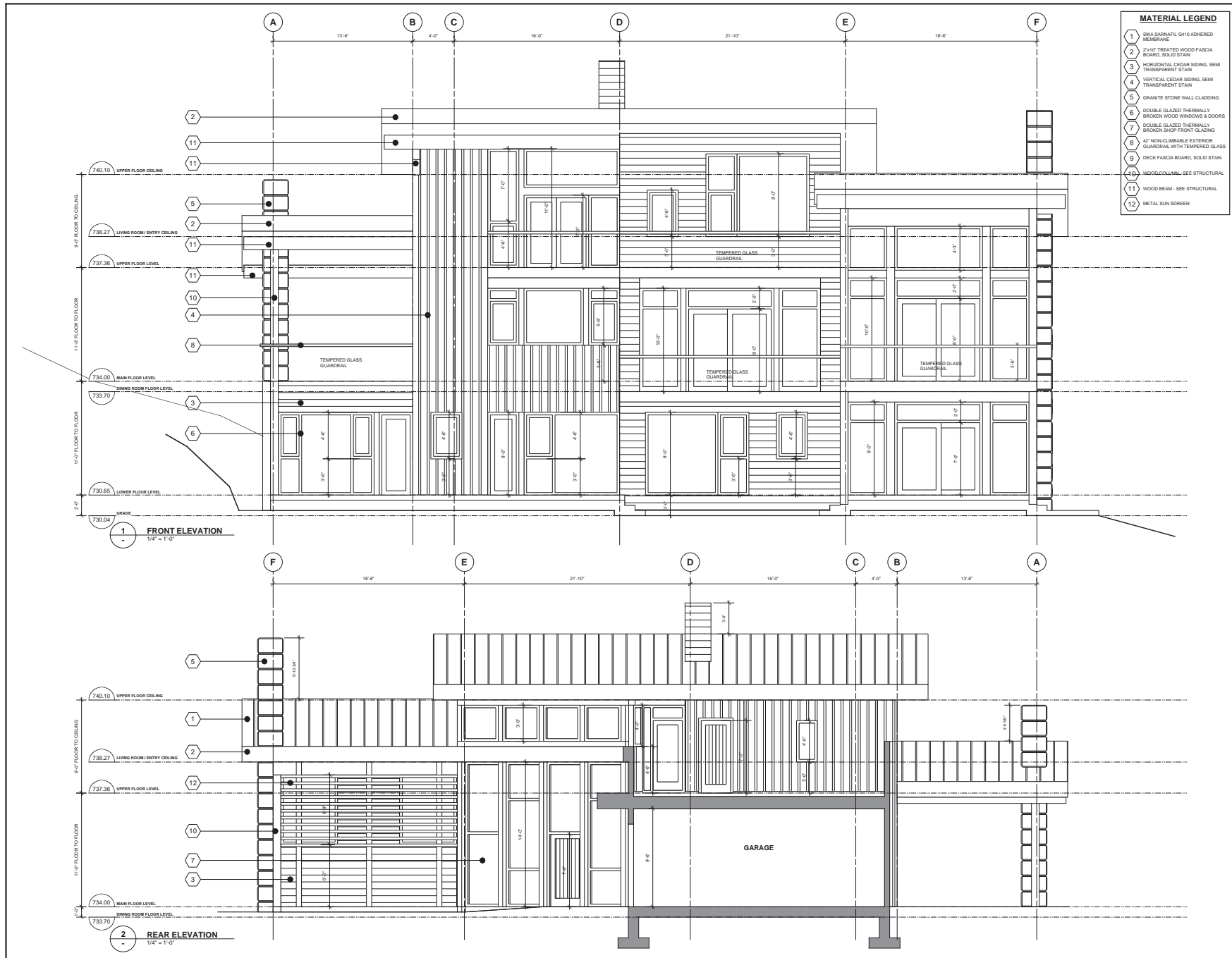
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Project Title:  
**Lot 2 Taluswood**  
 2188 Nordic Drive  
 Whistler, BC

Project No: 2703 Date: March 13/2007  
 Drawn: ROH-E Scale: 1/4" = 1'-0"

Drawing Title:  
**Roof Plan**

Drawing No:  
**A2.4**



Revisions:	Date:
ISSUED FOR DP - MUNI REQUEST	04.18.2007
ISSUED FOR BUILDING PERMIT	06.25.2007

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**Brigitte Loranger**  
Architecture & Planning Ltd.

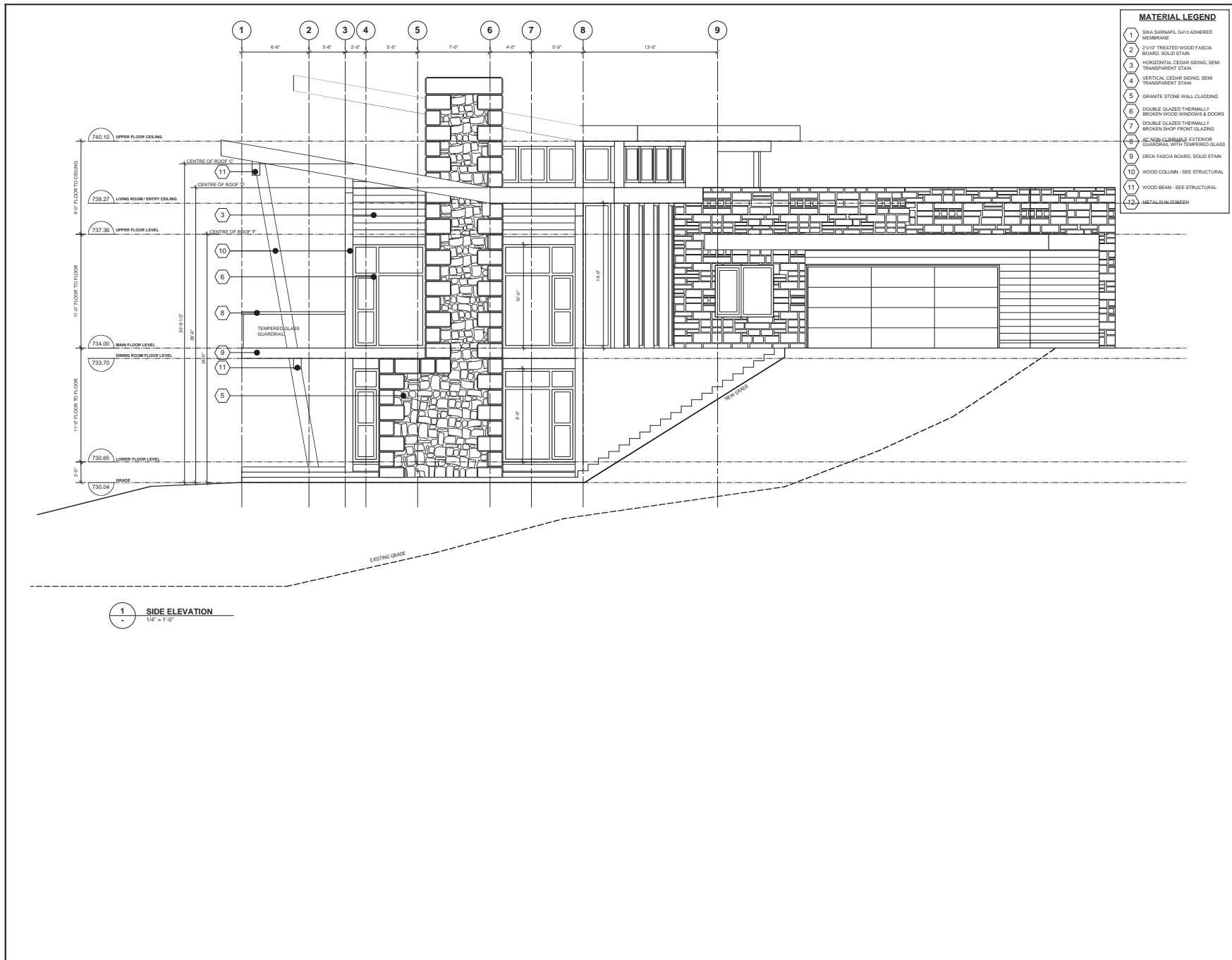
7310 Toni Sailer Lane, Whistler, B.C. V0N 1B7  
Tel: 604. 932-4426 Fax: 604. 932-4613

Project Title:  
**Lot 2 Taluswood**  
2188 Nordic Drive  
Whistler, BC

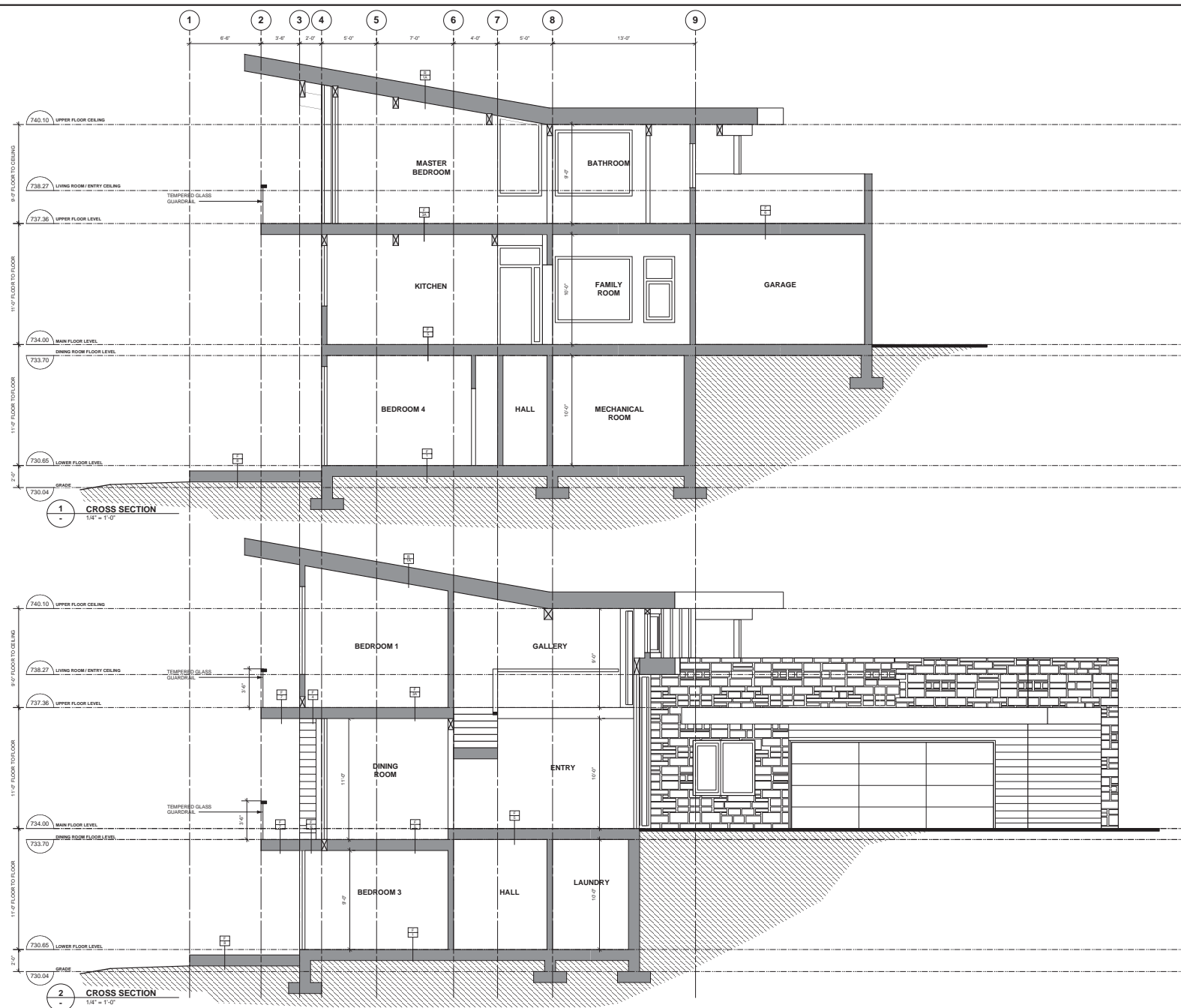
Project No: 2703 Date: March 13/2007  
Drawn: ROH-E Scale: 1/4" = 1'-0"

Drawing Title:  
**Elevations**

Drawing No:  
**A3.1**



Revisions:	Date:
ISSUED FOR DP - MUNI REQUEST	04.18.2007
ISSUED FOR BUILDING PERMIT	06.25.2007
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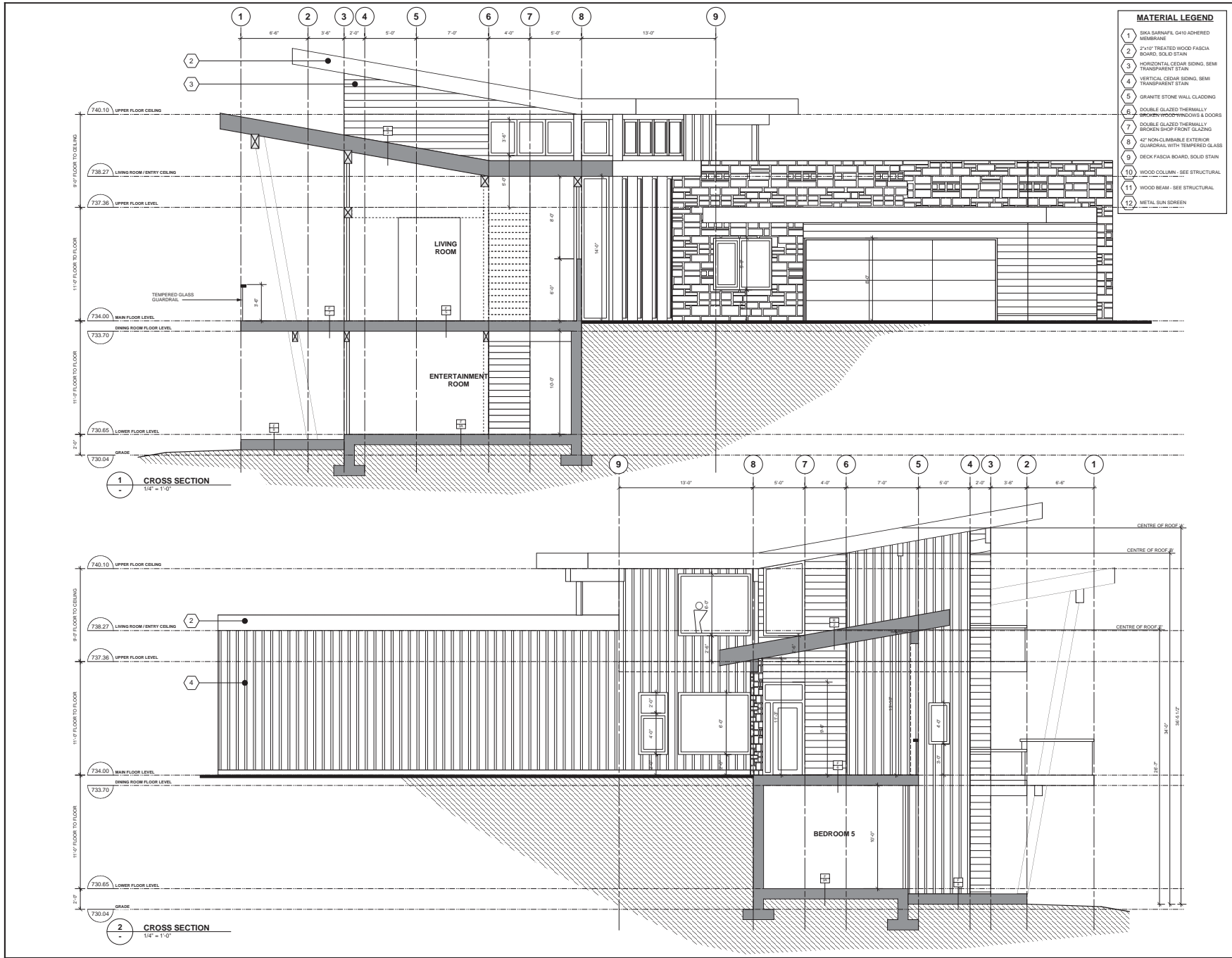
Brigitte Loranger  
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 7310 Toni Sailer Lane, Whistler, B.C. V0N 1B7  
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Project Title:  
 Lot 2 Taluswood  
 2188 Nordic Drive  
 Whistler, BC

Project No: 2703	Date: March 13/2007
Drawn: ROH-E	Scale: 1/4" = 1'-0"

Drawing Title:  
 Cross Sections

Drawing No:  
 A4.1



Revisions:	Date:
ISSUED FOR DP - MUNI REQUEST	04.18.2007
ISSUED FOR BUILDING PERMIT	06.25.2007

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Project Title:  
Lot 2 Taluswood  
2188 Nordic Drive  
Whistler, BC

Project No: 2703 Date: March 13/2007  
Drawn: ROH-E Scale: 1/4" = 1'-0"

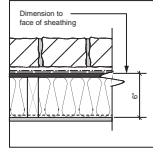
Drawing Title:  
Cross Sections

Drawing No:  
A4.2



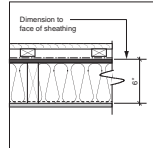
## Wall Assemblies

1" = 1'-0"



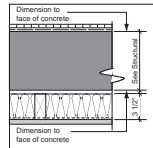
**W 1** Exterior Stud Wall - Stone Cladding

- 4" Stone w/ stainless steel wire ties @ 36"
- 1" Continuous air space with mortar net at base of cavity with weep holes at 24" o.c.
- 2 Layers 30 min. sheathing paper
- Peel and stick membrane flashing 12" up wall face down to exterior of foundation wall underside stone
- 1/2" Ext grade ply sheathing vented top & bottom
- 2"x6" Wood studs @ 16" o.c.
- R20 Batt insulation in wall cavity
- 6 Mil poly vapour barrier
- 1/2" GWB or 1/2" Cementitious board at bathroom locations



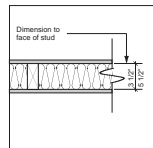
**W 2** Exterior Wall Cedar Siding - 6" Stud

- Cedar siding (See Elevations)
- Pressure treated 1/2" strapping rain screen or 3/4" external grade plywood strips
- 2 Layers 30 min. sheathing paper
- 1/2" Ext grade ply sheathing vented top & bottom
- 2"x6" Wood studs @ 16" o.c.
- R20 Batt insulation in wall cavity
- 6 Mil poly vapour barrier
- 1/2" GWB or 1/2" Cementitious board at bathroom locations
- Ceramic tile stone at bath shower locations



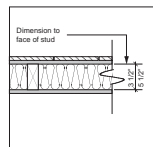
**W 3** Foundation Wall w/ 4" Stud Wall

- 1/2" Drainage mat on
- 2 ply rubberized modified asphalt SBS membrane
- Concrete Wall (See Structural)
- 1/2" Continuous air space
- 2"x4" Wood studs @ 16" o.c.
- R20 Batt insulation in wall cavity
- 6 Mil poly vapour barrier
- 1/2" GWB or 1/2" Cementitious board at bathroom locations
- Ceramic tile stone at bath shower locations



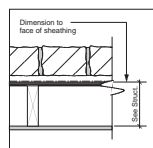
**W 4A** Typical Interior Wall - 4" Stud

- 2"x4" Wood studs @ 16" o.c.
- 3 1/2" Sound absorptive material
- 1/2" GWB on both sides



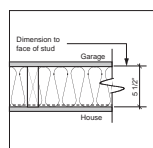
**W 5A** Interior Stud Wall - Shower Enclosure

- Ceramic tile / stone on
- 1/2" Cementitious board
- 2"x4" Wood studs @ 16" o.c.
- 3 1/2" Sound absorptive material
- 1/2" GWB



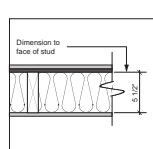
**W 6** Interior Stud Wall - Stone Cladding

- 4" Stone w/ stainless steel wire ties @ 36"
- 1" Continuous air space with mortar net at base of cavity
- 2 Layers 30 min. sheathing paper
- 1/2" Ply sheathing vented top & bottom
- 2"x6" Wood studs @ 16" o.c.
- 1/2" GWB or 1/2" Cementitious board at bathroom locations



**W 7** Interior Wall - To Garage

- 5/8" Type X GWB on
- 2"x6" Wood studs @ 16" o.c.
- R20 Batt insulation in wall cavity
- 6 Mil poly vapour barrier on warm side
- 5/8" Type X GWB

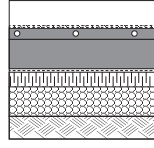


**W 8** Shear Wall - See Structural

- 1/2" GWB on
- Ply sheathing (See Structural)
- 2"x6" Wood studs @ 16" o.c.
- 3 1/2" Min. sound absorptive material
- 1/2" GWB

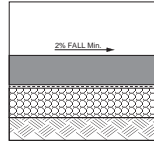
## Floor Assemblies

1" = 1'-0"



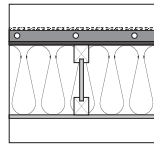
**F 1** Slab On Grade

- Floor finish
- 1 1/2" Concrete topping W/ radiant heat tubing
- Concrete slab (See Structural)
- 6 Mil poly vapour barrier
- Compact gravel (See Geotech)
- Suitable bearing ground or structural fill



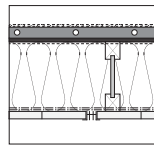
**F 2** Slab On Grade - Garage

- Sealed concrete slab 2% slope min. (See Structural)
- 6 Mil poly vapour barrier
- Compact gravel (See Geotech)
- Suitable bearing ground or structural fill



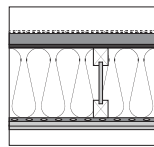
**F 3A** Interior Floor w/ Sound Insulation

- Floor finish
- 1 1/2" Concrete topping W/ radiant heat tubing
- T&G Plywood sheathing glued & screwed (See Structural)
- Sound absorptive material in floor cavity
- T/I Floor Joists (See Structural)
- 1/2" GWB



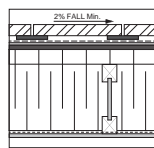
**F 4** Interior Floor Over Exterior Space

- Floor finish
- 1 1/2" Concrete topping W/ radiant heat tubing
- T&G Plywood sheathing glued & screwed (See Structural)
- 6 Mil poly vapour barrier
- T/I Floor Joists (See Structural)
- R28 Batt insulation in floor cavity
- 2 Layers 30min. sheathing paper
- 1"x6" Wood soffit with continuous screened venting



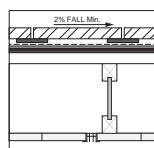
**F 5** Rated Floor Over Suite - 45min, STC 60

- Floor finish
- 1 1/2" Concrete topping
- T&G Plywood sheathing glued & screwed (See Structural)
- T/I Floor Joists (See Structural)
- Sound absorptive material in floor cavity
- Resilient metal channels @ 8" o.c.
- 2 Layers 1/2" Type X GWB



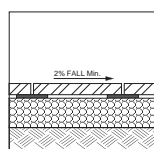
**F 6** Deck / Roof Over Interior Space

- 2 1/2" Paving tile on plastic slims
- Roofing membrane CW separating membrane over
- Exterior grade plywood sheathing glued & screwed or T&G decking (See Structural)
- 2"x4" Strapping
- T/I Floor Joists (See Structural)
- Sloped deck to drain either by sloping joists or strapping 2% min. fall (See Structural)
- Rigid insulation to fill entire cavity
- 6 Mil UV resistant poly continuous vapour barrier
- 1/2" GWB



**F 7** Typical Waterproof Deck

- 2 1/2" Paving tile on plastic slims
- Roofing membrane CW separating membrane over
- Exterior grade plywood sheathing glued & screwed or T&G decking (See Structural)
- 2"x4" Strapping - vented (See Structural)
- T/I Floor joists - vented (See Structural)
- Sloped deck to drain either by sloping joists or strapping 2% min. fall (See Structural)
- 1"x6" Wood soffit with continuous screened venting

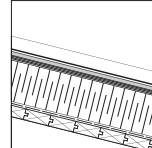


**F 8** Patio at Grade

- 2 1/2" Paving tile on sand bed
- Compact gravel @ 2% slope min. (See Geotech)
- Suitable bearing ground or structural fill

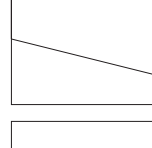
## Roof Assemblies

1" = 1'-0"



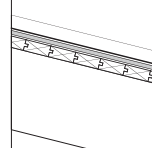
**R 1A** Roof - Exposed Rafter

- Floor finish
- Sika Samafi G410 adhered roof membrane CW
- Decor profiles @ 25" c/c
- 1/2" Densdeck prime board or equivalent
- Exterior grade ply deck
- 1/2" ISO rigid insulation
- 6" High metal 2" Cuts w/
- R28 Styrofoam SM Rigid insulation or equivalent to underside of ply deck
- Peel & Stick Waterproof membrane over whole roof & 3'-0" up sidewalls, dormers & chimneys
- T&G Roof decking (See structural)
- Exposed Wood Rafters (See structural)



**R 1B** Roof - Exposed Rafter Soffit

- Same as above but w/o insulation



**R 2** Roof - Exposed Rafter

- Sika Samafi G410 adhered roof membrane CW
- Decor profiles @ 25" c/c
- 1/2" Densdeck prime board or equivalent
- T&G Roof decking (See structural)
- Exposed Wood Rafters (See structural)

Revisions:	Date:
ISSUED FOR BUILDING PERMIT	JUN 25, 2007

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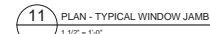
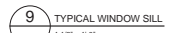
7310 Toni Sailer Lane, Whistler, B.C. V0N 1B7  
Tel: 604. 932-4426 Fax: 604. 932-4613

Project Title:
Lot 2 Taluswood 3855 Sunridge Court Whistler, BC.

Project No: 2703	Date: March 13/2007
Drawn: ROH-E	Scale: -

Drawing Title:
Assemblies

Drawing No:
A4.3



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Tel: 604, 932-4426 Fax: 604, 932-4613

A4.4

## **Schedule 2**

### **RM68 Zone (Residential Multiple Sixty- Eight) (Bylaw No. 1994)**

#### **Intent**

The intent of this zone is to provide for low density, slope-responsive residential use.

68 In an RM68 Zone:

#### **Permitted Uses**

68.1 The following uses are permitted and all other uses are prohibited:

- (a) auxiliary buildings and auxiliary uses;
- (b) park and playground;
- (c) detached dwelling;
- (d) duplex dwelling; and
- (e) townhouse.

#### **Density**

68.2.1 The maximum permitted floor space ratio is 0.25.

68.2.2 Notwithstanding section 68.2.1, the maximum permitted gross floor area of a detached dwelling is 465 square metres.

68.2.3 Notwithstanding section 68.2.1, the maximum permitted gross floor area of a duplex dwelling is 511 square metres.

68.2.4 The maximum permitted floor area for auxiliary parking use of a detached dwelling contained in a principal or auxiliary building or structure is 90 square metres.

68.2.5 The maximum permitted floor area for auxiliary parking use of a duplex dwelling contained in a principal or auxiliary building or structure is 90 square metres per dwelling unit.

68.2.6 The maximum permitted floor area for auxiliary parking use of a townhouse dwelling contained in a principal or auxiliary building or structure is 40 square metres per dwelling unit.

### **Height**

68.3.1 The maximum permitted height of a principal building is 10.7 metres.

68.3.2 The maximum permitted height of an auxiliary building is 5 metres.

### **Parcel Size**

68.4.1 The minimum permitted parcel area is 0.34 hectares.

68.4.2 The minimum permitted frontage is 85 metres.

### **Site Coverage**

68.5 The maximum permitted site coverage is 20%.

### **Setbacks**

68.6.1 The minimum permitted setback from any parcel boundary is 7.6 metres.

68.6.2 The minimum permitted separation between principal use buildings is 6 metres.

### **Off-Street Parking and Loading**

68.7 Off-street parking and loading shall be provided and maintained in accordance with regulations contained in Section 6 of this Bylaw.

### **Other Regulations**

68.8.1 The minimum permitted gross floor area of a dwelling unit is 55 square metres.

68.8.2 The maximum permitted number of bedrooms in a dwelling unit is 4.

68.8.3 Auxiliary residential dwelling units are prohibited.



## COUNCIL POLICY

POLICY NUMBER:	G-21	DATE OF RESOLUTION:	AUGUST 2, 2005
		REVISED ON:	JUNE 5, 2007

### RESIDUAL BED UNITS & GROWTH MANAGEMENT

#### 1. SCOPE OF POLICY

The following Council Policy establishes a framework for the treatment of residual bed units and consideration of future development applications relative to Whistler's growth management policies and approved development capacity. Residual bed units represent bed units<sup>1</sup> that have been allocated within the municipality's 1993 OCP approved development capacity but have not been utilized.

This policy applies to the municipality's existing inventory of residual bed units associated with Council-recognized Whistler Mountain and Blackcomb Mountain bed units, Crown bed units, as well as bed units allocated to properties developed by the Whistler Housing Authority, and those designated as municipal parkland but zoned to permit residential use. The policy also specifically addresses future potential residual bed units that may result from requested and approved changes to the zoning of a property.

#### 2. OBJECTIVES

This Council Policy contains residual bed unit policy recommendations, which are framed by a series of accompanying growth management policies. The residual bed unit policy recommendations are intended to provide clarity around the status, treatment and use of existing residual bed units and to guide the consideration of future development applications within the context of the resort municipality's current OCP/CDP growth management framework, which will be reviewed and updated as part of the comprehensive OCP update to be undertaken in 2005/06. As an interim response, the growth management policy recommendations under this Council Policy will provide direction for Council, staff and applicants concerning the approval of additional development capacity based on the prioritization of projects that provide the greatest benefit to the resort community.

#### 3. GUIDING PRINCIPLES

It is recognized that the resort community is reaching build out of its remaining approved development capacity. While there is a strong growth management desire to stay within this capacity, at the same time, the resort community has established priorities to achieve

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<sup>1</sup> As defined by Whistler's *Official Community Plan* (OCP), a bed unit means a *measure of development* intended to reflect servicing and facility requirements for one person, calculated according to accommodation type.

needed resident housing and other community amenities that are not currently provided for within the existing approved development capacity. Development of this Council Policy has therefore been informed by the need to establish a policy response that is aligned with and reinforces the resort municipality's existing growth management policies under the 1993 OCP, while reconciling the resort community's future development priorities and actions under *Whistler 2020*.

Policies for the treatment and consideration of residual bed units and future development applications are fundamentally guided by:

- a. Whistler's 1993 OCP/CDP growth management policies;
- b. *Whistler 2020* priorities, strategies and actions that will inform future amendments to the OCP; and,
- c. Previous Council approvals and resolutions.

#### 4. PROCEDURES

The following procedures apply to the treatment and future consideration of OCP amendments, rezonings and development approvals:

- (1) The use and development of any given property within the municipality is governed by its zoning and any further land use regulations, restrictive covenants or other development controls that may specifically apply to the property. Bed unit allocations for a property, tracked within the municipality's Accommodation Land Use Inventory, are simply an estimate of the actual or potential development capacity of the property; they do not constitute enforceable or transferable property rights.
- (2) Create and maintain a separate accounting of bed units that have previously been allocated within the approved development capacity of the municipality, but have not and will not be utilized – refer to these bed units as "Surplus Bed Units Available for Reallocation".
- (3) Add the six WHA bed units to the initial inventory of "Surplus Bed Units Available for Reallocation".
- (4) Add the ten municipal Alpha Creek wetlands bed units to the inventory of "Surplus Bed Units Available for Reallocation".
- (5) Rezone all municipal parkland properties that currently have zoning that permits accommodation use to an appropriate park zone. Remove the permitted accommodation use and allocate the corresponding number of bed units to the inventory of "Surplus Bed Units Available for Reallocation", estimated at 78 bed units.
- (6) Additions to the "Surplus Bed Units Available for Reallocation" may only occur when there is a decrease in the number of bed units allocated to a property as a result of a rezoning.
- (7) Property owners seeking rezonings are not entitled to a density transfer or transfer of the existing estimated bed unit allocation to alternate sites except as may be approved by Council at its sole discretion as part of the rezoning proposal.

- (8) Any future OCP amendments or rezoning proposals that seek to add to the development capacity of the municipality shall be evaluated based on existing criteria specified by the municipality's Official Community Plan, and future criteria that will be informed by *Whistler 2020*.
- (9) The inventory of "Surplus Bed Units Available for Reallocation" shall be considered as part of the review of any future rezoning proposal that requires market bed units that did not previously exist within the municipality's existing approved development capacity. However, *approval of any such proposals shall not be dependant upon the availability of any remaining positive inventory of "Surplus Bed Units Available for Reallocation"*.
- (10) Subtractions from the inventory of "Surplus Bed Units Available for Reallocation" shall occur when new market bed units are allocated to an approved rezoning that did not previously have existing approved development capacity.
- (11) A total of ~~146~~ ~~64~~ bed units currently remains within the Whistler Mountain approved bed unit allocation, and are available for future development subject to rezoning and all applicable municipal approvals.

Amended on:  
June 5, 2007

**That 82 bed units in Intrawest's 146 bed unit inventory arising from lot 5 only be available to Intrawest subject to satisfactory participation by Intrawest in affordable housing at the Whistler Athlete Village and the resolution of affordable housing at Cedar Glen.**

- (12) A total of 214 bed units currently remains within the inventory of undeveloped bed units for Taluswood, with 190 bed units assigned to Parcel "M" (At Nature's Door) and 24 assigned to Parcel "D". These bed units shall be available for any future redevelopment of these parcels and shall not be available for transfer to any other parcel.
- (13) A total of 151 bed units currently remains within the inventory of undeveloped bed units for Blackcomb Lot "5" (Four Seasons Residences). These bed units shall be available for any future redevelopment of these parcels and shall not be available for transfer to any other parcel.
- (14) A total of 228 bed units units currently remains within the approved and recognized Crown bed unit allocation, and are available for future development subject to rezoning and all applicable municipal approvals.

Growth Management Policy Recommendation:

- (15) A formal annual review process shall be reinstituted and adhered to in order to establish the municipality's development priorities. This process will involve a review of community needs based on annual monitoring and the prioritization of development projects to focus the municipality's resources on development that achieves the greatest potential benefit to the resort community:

“Any proposals that add to the development capacity of the resort community shall be reviewed and considered by Council for approval on a priority basis, determined annually. Priority shall be established based on the degree to which the proposal achieves the policies of the OCP and *Whistler 2020* and satisfies the development needs of the community as identified by the municipality’s annual resort monitoring and community consultation program.”

Certified Correct:

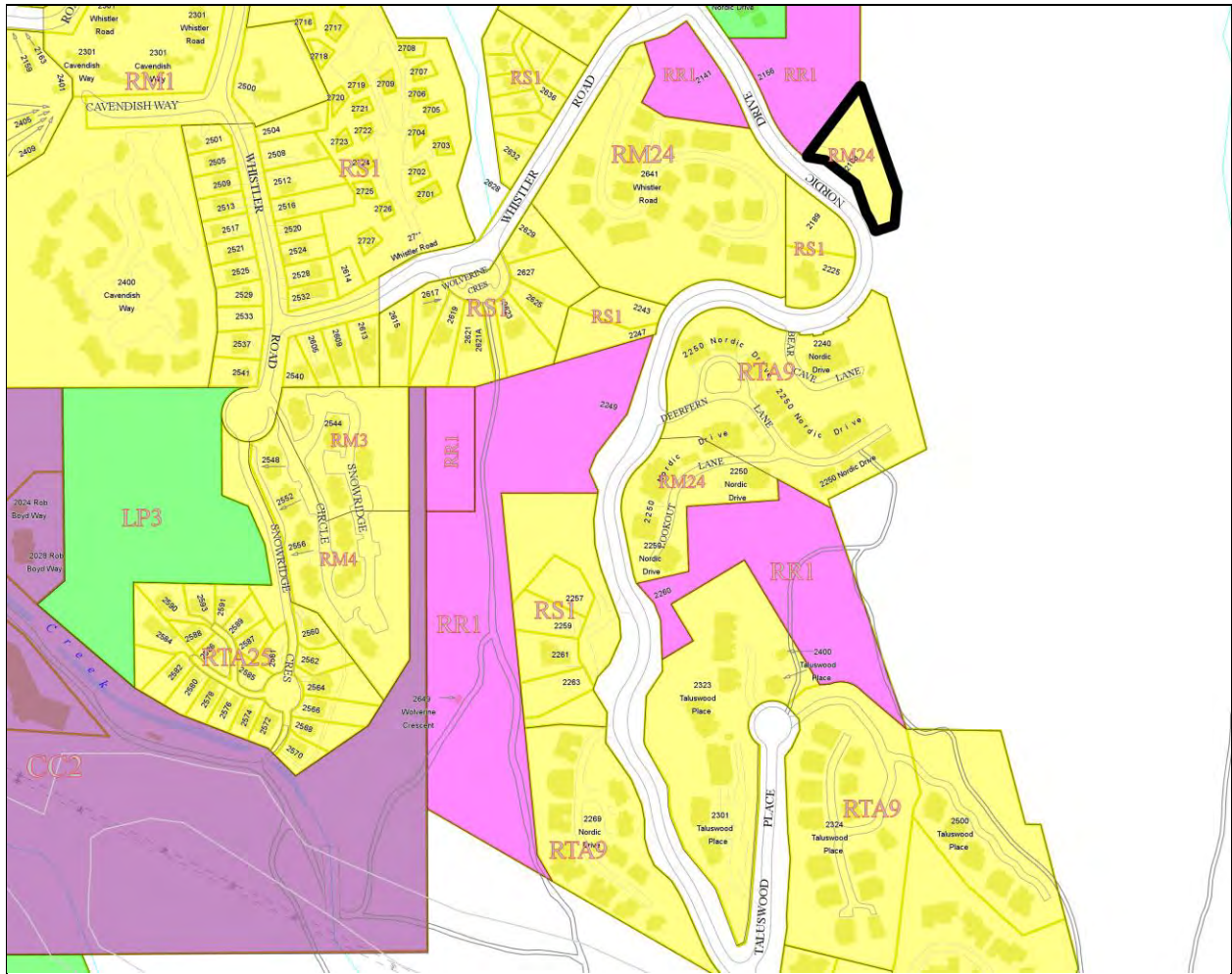
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Shannon Story, Manager of Legislative Services



RZ. 1056, 2188 Nordic Drive

Zoning Context Plan



RESORT MUNICIPALITY OF WHISTLER  
ZONING AMENDMENT BYLAW  
(2188 NORDIC DRIVE) NO. 1994, 2012

A BYLAW TO AMEND THE RESORT MUNICIPALITY OF WHISTLER  
ZONING AND PARKING BYLAW NO. 303, 1983.

**WHEREAS** Council may, in a zoning bylaw pursuant to Sections 903, 904 and 906 of the *Local Government Act*, R.S.B.C. 1996, c.323, divide all or part of the area of the Municipality into zones, name each zone and establish the boundaries of the zone, regulate the use of land, buildings and structures within the zones, require the provision of parking spaces and loading spaces for uses, buildings and structures, and establish different density regulations for a zone, one applicable to the zone generally and the other to apply if conditions are met;

**NOW THEREFORE** the Municipal Council of the Resort Municipality of Whistler, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as “Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012”
2. Zoning and Parking Bylaw No. 303, 1983 is amended by:
  - (a) adding “RM68” to Section 7 under the heading, “R Zones” after “RM65” and adding under the heading, “Residential Zones”, the following:

“Residential Multiple Sixty-Eight (Bylaw No. 1994, 2012)”.
  - (b) amending Schedule “A” Zoning Map by changing the zoning designation of the lands described as Lot 2, District Lots 4979, 7179, and 7765, Plan LMP 16203 to RM68 (Residential Multiple Sixty-Eight) as shown in heavy black outline and identified on the plan annexed to this Bylaw as Schedule 1.
  - (c) adding to Section 12 in numerical order the RM68 Zone as annexed to this Bylaw as Schedule “2”.
  - (d) by amending Section 23, Schedule “A”, “Legend of Zones”, by adding under the heading, “Residential Zones” the following in appropriate order:

“Multiple Sixty-Eight (RM68)”.

Given first and second reading    day of    , 2012.

Pursuant to Section 890 of the *Local Government Act*, a Public Hearing was held this    day of    , 2012.

Given third reading this    day of    , 2012.

Approved by the Minister of Transportation this    day of    , 2012.

Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012

Adopted by the Council this     day of     , 2012.

Signed original in vault

Signed original in vault

\_\_\_\_\_  
Nancy Wilhelm-Morden,  
Mayor

\_\_\_\_\_  
Lonny Miller,  
Corporate Officer

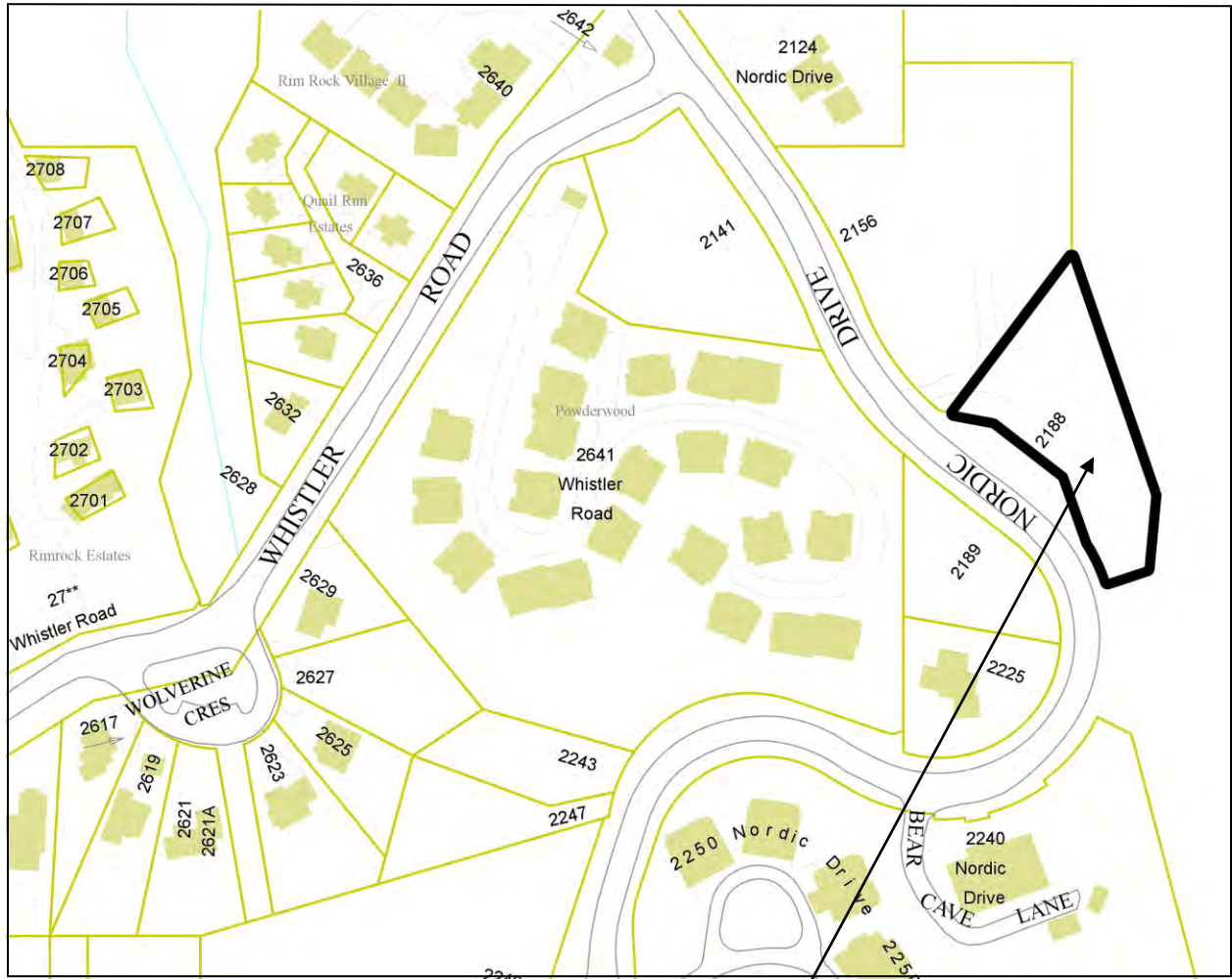
I HEREBY CERTIFY that this is a true copy of  
“Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012”

Signed original in vault

\_\_\_\_\_  
Lonny Miller,  
Corporate Officer

# Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012

## Schedule 1



“Subject Lands”

“Zoning Amendment Bylaw (2188 Nordic Drive) No. 1994, 2012”

## **Schedule 2**

### **RM68 Zone (Residential Multiple Sixty- Eight) (Bylaw No. 1994)**

#### **Intent**

The intent of this zone is to provide for low density, slope-responsive residential use.

68 In an RM68 Zone:

#### **Permitted Uses**

68.1 The following uses are permitted and all other uses are prohibited:

- (a) auxiliary buildings and auxiliary uses;
- (b) park and playground;
- (c) detached dwelling;
- (d) duplex dwelling; and
- (e) townhouse.

#### **Density**

68.2.1 The maximum permitted floor space ratio is 0.25.

68.2.2 Notwithstanding section 68.2.1, the maximum permitted gross floor area of a detached dwelling is 465 square metres.

68.2.3 Notwithstanding section 68.2.1, the maximum permitted gross floor area of a duplex dwelling is 511 square metres.

68.2.4 The maximum permitted floor area for auxiliary parking use of a detached dwelling contained in a principal or auxiliary building or structure is 90 square metres.

68.2.5 The maximum permitted floor area for auxiliary parking use of a duplex dwelling contained in a principal or auxiliary building or structure is 90 square metres per dwelling unit.

68.2.6 The maximum permitted floor area for auxiliary parking use of a townhouse dwelling contained in a principal or auxiliary building or structure is 40 square metres per dwelling unit.

**Height**

68.3.1 The maximum permitted height of a principal building is 10.7 metres.

68.3.2 The maximum permitted height of an auxiliary building is 5 metres.

**Parcel Size**

68.4.1 The minimum permitted parcel area is 0.34 hectares.

68.4.2 The minimum permitted frontage is 85 metres.

**Site Coverage**

68.5 The maximum permitted site coverage is 20%.

**Setbacks**

68.6.1 The minimum permitted setback from any parcel boundary is 7.6 metres.

68.6.2 The minimum permitted separation between principal use buildings is 6 metres.

**Off-Street Parking and Loading**

68.7 Off-street parking and loading shall be provided and maintained in accordance with regulations contained in Section 6 of this Bylaw.

**Other Regulations**

68.8.1 The minimum permitted gross floor area of a dwelling unit is 55 square metres.

68.8.2 The maximum permitted number of bedrooms in a dwelling unit is 4.

68.8.3 Auxiliary residential dwelling units are prohibited.

Cheakamus Crossing  
Housing Agreement  
Bylaw 1060 Legacy Way  
(Lot 6)  
Report No. 12-065  
File No. 7736.04

Moved by Councillor D. Jackson  
Seconded by Councillor J. Faulkner

**That** Council consider giving first, second and third readings to Housing Agreement Bylaw (1060 Legacy Way) No. 2004, 2012; and further

**That** Council authorize the Mayor and Corporate Officer to enter into agreements as described in this report between the RMOW, the Province of British Columbia (the "Province"), the Provincial Rental Housing Corporation ("PRHC") and the Whistler Housing Authority ("WHA"), for the 55 strata unit resident restricted rental property known as the Chiyakmesh Apartments, owned and operated by the WHA and located at 1060 Legacy Way in the Cheakamus Crossing neighbourhood (the "WHA Rental Apartment Building").

CARRIED

École La Passerelle's  
use of Community  
Space at Spring Creek  
Community School  
Report No. 12-066  
File No. 8202

Moved by Councillor J. Faulkner  
Seconded by Councillor J. Crompton

**That** Council authorize the Mayor and Corporate Officer to sign a lease agreement between the Resort Municipality of Whistler and École La Passerelle for the use of community space at Spring Creek Community School in accordance with the term sheet attached as appendix "A".

CARRIED

Resort Municipality of  
Whistler Land Use  
Procedures and Fees  
Amendment Bylaw No  
2006, 2012  
Report No. 12-067  
File No. 7007.1

Moved by Councillor R. McCarthy  
Seconded by Councillor A. Janyk

**That** Council consider giving first, second, and third readings to Resort Municipality of Whistler Land Use Procedures and Fees Amendment Bylaw No. 2006, 2012.

CARRIED

RZ 1055 – Function  
Junction Legacy Lands  
Report No. 12-068  
File No. RZ 1055

Moved by Councillor A. Janyk  
Seconded by Councillor J. Grills

That RZ 1055 – Function Junction Legacy Lands be referred to staff for further discussion with the applicant.

CARRIED

2188 Nordic Drive  
Rezoning  
Report No. 12-069  
File No. RZ 1056

Moved by Councillor J. Crompton  
Seconded by Councillor D. Jackson

**That** Council consider giving first and second readings to "Zoning Amendment Bylaw (2188 Nordic Drive) 1994, 2012";

**That** Council authorize the Corporate Officer to schedule a Public Hearing regarding "Zoning Amendment Bylaw (2188 Nordic Drive) 1994, 2012", and to advertise for same in a local newspaper; and further

**That** Council direct staff to advise the applicant that before consideration of adoption of "Zoning Amendment Bylaw (2188 Nordic Drive) 1994 2012", the following matters are to be completed to the satisfaction of the General Manager



**of Resort Experience:**

1. Discharge of the existing covenant registered on title as BH130715;
2. Registration of a new covenant reflecting the revised development scheme; and
3. Receipt of an Initial Environmental Review for the site.

**That** Council authorize the Mayor and Corporate Officer to sign the legal documents associated with the prior adoption conditions stipulated by Council.

**CARRIED**

**MINUTES OF COMMITTEES AND COMMISSIONS**

Audit and Finance  
Standing Committee

Moved by Councillor D. Jackson  
Seconded by Councillor J. Crompton

**That** Audit and Finance Standing Committee minutes of April 5, 2012 and April 27, 2012 be received.

**CARRIED**

Transportation  
Management Advisory  
Committee

Moved by Councillor J. Crompton  
Seconded by Councillor J. Grills

**That** Transportation Management Advisory Committee minutes of March 21, 2012 be received.

**CARRIED**

**BYLAWS FOR FIRST, SECOND AND THIRD READINGS**

Resort Municipality of  
Whistler Land Use  
Procedures and Fees  
Amendment Bylaw No  
2006, 2012

Moved by Councillor J. Grills  
Seconded by Councillor J. Crompton

**That** Resort Municipality of Whistler Land Use Procedures and Fees Amendment Bylaw No 2006, 2012 receive first, second and third readings.

**CARRIED**

Housing Agreement  
Bylaw (1060 Legacy  
Way) No. 2004, 2012

Moved by Councillor J. Grills  
Seconded by Councillor A. Janyk

**That** Housing Agreement Bylaw (1060 Legacy Way) No. 2004, 2012 receive first, second and third readings.

**CARRIED**

**BYLAWS FOR ADOPTION**

Zoning Amendment  
Bylaw (IL2 Zone - Indoor  
Recreation Uses) Bylaw  
No. 1995, 2012

Moved by Councillor J. Grills  
Seconded by Councillor R. McCarthy

**That** Zoning Amendment Bylaw (IL2 Zone - Indoor Recreation Uses) Bylaw No. 1995, 2012 be adopted.

**CARRIED**



## MINUTES OF COMMITTEES AND COMMISSIONS

Audit and Finance  
Standing Committee

Moved by Councillor J. Crompton  
Seconded by Councillor J. Grills

**That** minutes of the Audit and Finance Standing Committee Meeting of May 10, 2012 be received.

CARRIED

## BYLAW FOR FIRST AND SECOND READINGS

Zoning Amendment  
Bylaw (2188 Nordic  
Drive) 1994, 2012

Moved by Councillor J. Grills  
Seconded by Councillor R. McCarthy

**That** Zoning Amendment Bylaw (2188 Nordic Drive) 1994, 2012 receive first and second readings.

CARRIED

Zoning Amendment  
Bylaw (Function  
Junction Indoor  
Recreation Uses) No.  
2003, 2012

Moved by Councillor A. Janyk  
Seconded by Councillor R. McCarthy

**That** Zoning Amendment Bylaw (Function Junction Indoor Recreation Uses) No. 2003, 2012 receive first and second readings.

CARRIED

## BYLAW FOR ADOPTION

Zoning Amendment  
Bylaw (Hilton Retail  
Building) No. 1990,  
2012

Moved by Councillor A. Janyk  
Seconded by Councillor J. Faulkner

**That** Zoning Amendment Bylaw (Hilton Retail Building) No. 1990, 2012 be adopted.

CARRIED

Land Use Procedures  
and Fees Amendment  
Bylaw No. 2006, 2012

Moved by Councillor J. Grills  
Seconded by Councillor J. Crompton

**That** Land Use Procedures and Fees Amendment Bylaw No. 2006, 2012 be adopted.

CARRIED

## OTHER BUSINESS

*There were no items of Other Business.*

## CORRESPONDENCE

Concerts by Donation  
File No. 8216.41

Moved by Councillor J. Faulkner  
Seconded by Councillor J. Grills

**That** correspondence from Lisa Bishop dated June 14, 2012, suggesting that