

WHISTLER

AGENDA

REGULAR MEETING OF MUNICIPAL COUNCIL TUESDAY, JUNE 7, 2016, STARTING AT 5:30 PM

In the Franz Wilhelmssen Theatre at Maury Young Arts Centre – Formerly
Millennium Place
4335 Blackcomb Way, Whistler, BC V0N 1B4

ADOPTION OF AGENDA

Adoption of the Regular Council agenda of June 7, 2016.

ADOPTION OF MINUTES

Adoption of the Regular Council minutes of May 17, 2016 and the Public
Hearing Minutes of May 17, 2016.

PUBLIC QUESTION AND ANSWER PERIOD

PRESENTATIONS/DELEGATIONS

District Energy System
(DES) Study Update

A presentation by Eric Martin, president and chair of the Whistler 2020
Development Corporation regarding the District Energy System Study Update.

Annual Report and
Corporate Plan

A presentation by Mike Furey regarding the Annual Report and Corporate Plan.

MAYOR'S REPORT

INFORMATION REPORTS

Plastic Bag Reduction
Update
Report No. 16-066
File No. 808.1

A presentation by municipal staff.

That Information Report No. 16-066 regarding the update on Plastic Bag
Reduction be received.

ADMINISTRATIVE REPORTS

DVP1119 – 6320
Wedge Lane Frontage
Variance And Covenant
Amendment
Report No. 16-067

A presentation by municipal staff.

That Council approve the issuance of Development Variance Permit DVP 1119
for the proposed development located at 6320 Wedge Lane to vary the frontage
requirement for a detached dwelling greater than 325 m² from 24 metres to 18

File No. DVP 1119,
CM0068

metres as shown on the plan prepared by R. Diamond Building Design, dated 6 Mar 16, and attached as Appendix B to Administrative Report No. 16-067 subject to:

1. Discharge of the existing restrictive covenants registered on title as L25697, M63214 and M87812 that relate to outdated zoning bylaw regulations; and
2. Registration of a covenant updating references to the current Zoning Bylaw and providing tree preservation as described in this report; and further

That Council authorize the Mayor and Municipal Clerk to execute the required amending covenants.

DP 1488 – 8040 Nesters
Road – Phase 1
Industrial Development
Report No. 16-070
File No. DP 1488

A presentation by municipal staff.

That Council approve the issuance of Development Permit DP 1488 for the proposed subdivision of 8040 Nesters Road into 3 lots and the phase 1 development of the lots for industrial development which includes the following variance to the Zoning Bylaw:

a) Vary some limited areas of parking and parking access surface to gravel, as illustrated on the Subdivision Plan prepared by Doug Bush Survey Services Ltd., dated Feb. 3, 2016, the architectural plans A1.0 to A7.0 (CME) and A1.0 to A8.1 (Whistler Connection) prepared by ATA Architectural Design Ltd., dated May 20, 2016, landscape plan L1.0 prepared by Tom Barratt Ltd., dated May 19, 2016, and civil plans KEY, GRAD-1, C-1, FA-1 prepared by Creus Engineering Ltd., all attached as Appendices B and C to Council Report No. 16-070, subject to the resolution of the detailed items specified in the letter attached as Appendix F to Council Report No. 16-070 to the satisfaction of the General Manager of Resort Experience; and further

That Council authorize the Mayor and Municipal Clerk to execute the garbage and recycling building access easement.

DP 1483 – 8060 Nesters
Road – Industrial
Development
Report No. 16-069
File No. DP 1483

A presentation by municipal staff.

That Council approve the issuance of Development Permit DP 1483 for the development of an industrial development at 8060 Nesters Road per the architectural plans A-DP1.0, A-DP1.1, A-DP1.1a, A-DP1.2, A-DP1.3, A-DP1.3a prepared by abbarch architects, dated May 2, 2016, the landscape plans L1 and L2 prepared by PMG Landscape Architects, dated May 3, 2016, and the preliminary site servicing plans SS1 and SG1 prepared by Binnie and Associates Ltd., dated May 3, 2016, attached respectively as Appendices B and C to Council Report No. 16-069, and subject to the resolution of the following items to the satisfaction of the General Manager of Resort Experience;

1. Finalization of the architectural, landscape and engineering plans to address the following items:
 - a. Provide additional asphalt adjacent to surface parking lot to reduce gravel being tracked onto the paved driveway;
 - b. Finalize the a drainage and interception system plans to municipal standards to address the soil preloading for Phase 2;
2. Provision of a letter of credit, or other approved security, in the amount of 135 percent of the costs of the hard and soft landscape works as security for the construction and maintenance of these works;
3. Provision of a snow shed analysis, prepared by a certified engineer, consistent with Council Snow Shed Policy G-16; and
4. Finalization of signage details.

FireSmart Grant
 Application
 Report No. 16-071
 File No. 8337.01

A presentation by municipal staff.

That Council support the UBCM FireSmart grant application to hire and train a Local FireSmart Representative. This person would conduct site visits and community assessments and developing FireSmart Plans for specific areas and assist owners in coordinating FireSmart activities.

New Building Canada
 Fund – 2016 Intake
 Report No. 16-072
 File No. 155.7

A presentation by municipal staff.

That Council endorse the application submitted under New Building Canada Fund – Small Communities Fund for funding assistance for the Compost Facility Capacity Improvements (Project E063) as set out in the Five-Year Financial Plan.

MINUTES OF COMMITTEES AND COMMISSIONS

Illegal Spaces Task
 Force
 Committee (ISTFC)

Minutes of the Illegal Spaces Task Force Committee meeting of May 11, 2015.

Forest and Wildland
 Advisory Committee
 (FWAC)

Minutes of the Forest and Wildland Advisory Committee meeting of March 9, 2016.

Whistler Bear Advisory
 Committee (WBAC)

Minutes of the Whistler Black Bear Committee meetings of March 9, 2016 and April 13, 2016.

Recreation Leisure
 Advisory Committee
 (RLAC)

Minutes of the Recreation Leisure Advisory Committee meetings of February 11, 2016.

OTHER BUSINESS

Bylaw Enforcement Officer Appointment

Whereas the Council of the Resort Municipality of Whistler (“Whistler”) wishes to appoint Matt Gore as a Bylaw Enforcement Officer pursuant to section 36 of the *Police Act*, R.S.B.C. 1996, c 367, and upon Matt Gore swearing the oath pursuant to section 1(b) of Police Oath/Solemn Affirmation Regulation, B.C. Reg. 136/2002 before a Commissioner for taking Affidavit in the Province of British Columbia, Whistler hereby appoints Matt Gore as a Bylaw Enforcement Officer to perform the functions and duties specified in the Parking Enforcement Officer job description.

CORRESPONDENCE

Introduction of an Environmental Bill of Rights File No. 3009

Correspondence from Andrew Weaver, MLA Oak Bay–Gordon Head, dated May 18, 2016, regarding the *Environmental Bill of Rights Act*, 2016 he introduced in the BC Legislature.

Lighting Concerns Marketplace and Northland Blvd File No. 3009

Correspondence from Yvonne Goller, dated May 22, 2016, requesting that better lighting be installed at the crosswalk at Marketplace and Twin Peaks & Valhalla on Northlands Blvd.

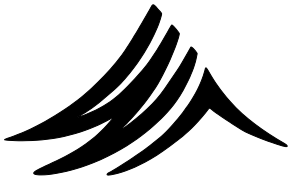
Bear Hunting Concerns in the Callaghan Valley File No. 3009

Correspondence from Liz Barrett dated May 23 2016, requesting that hunting laws for black bears be revised in the Callaghan Valley.

Built Green Day Proclamation Request File No. 3009.1

Correspondence from Jenifer Christenson, Executive Director of Built Green Canada, dated May 27, 2016, requesting Council proclaim June 8, 2016 Built Green Day.

ADJOURNMENT



WHISTLER

MINUTES

REGULAR MEETING OF MUNICIPAL COUNCIL TUESDAY, MAY 17, 2016, STARTING AT 5:30 PM

In the Franz Wilhelmssen Theatre at Maury Young Arts Centre – Formerly
Millennium Place
4335 Blackcomb Way, Whistler, BC V0N 1B4

PRESENT:

Acting Mayor S. Anderson

Councillors: J. Crompton, J. Ford, J. Grills, A. Janyk, S. Maxwell

Chief Administrative Officer, M. Furey
General Manager of Infrastructure Services, J. Hallisey
General Manager of Corporate and Community Services, N. McPhail
General Manager of Resort Experience, J. Jansen
Municipal Clerk, L. Schimek
Manager of Communications, M. Comeau
Manager of Human Resources, D. Wood
Manager of Information Technology, K. Ing
Director of Planning, M. Kirkegaard
Utilities Group Manager, M. Day
Bylaw Supervisor, L. Debou
Lead Hand Capital Projects, E. Crowe
Senior, Planner, M. Laidlaw
Planner, A. Antonelli
Planner, R. Brennan
Planning Technician, R. Licko
Human Resources Coordinator, L. Rickli
Systems Analyst, H. Paul
Systems Analyst, P. Cartwright
Computer Systems Technician, S. Chouinard
Cross Country Operations Lead Hand, S. Russell
Transit Demand Management Coordinator, E. DalSanto
Recording Secretary, N. Best

ABSENT: Mayor N. Wilhelm-Morden

ADOPTION OF AGENDA

Moved by Councillor J. Crompton
Seconded by Councillor J. Grills

That Council adopt of the Regular Council agenda of May 17, 2016.

CARRIED

ADOPTION OF MINUTES

Moved by Councillor J. Crompton
Seconded by Councillor J. Ford

That Council adopt the Regular Council minutes of May 3, 2016.

CARRIED

PUBLIC QUESTION AND ANSWER PERIOD

There were no questions from the public.

PRESENTATIONS/DELEGATIONS

Employee Recognition
Presentations

A presentation by Chief Administrative Officer, Mike Furey regarding Employee Recognition Week.

Acting Mayor S. Anderson called a recess at 5:56 p.m.

Acting Mayor S. Anderson called the meeting back to order at 6:00 p.m.

A Public Hearing was held for Bylaw 2103 at 6:00 p.m.

The meeting resumed at 6:03 p.m.

IRONMAN and
IRONMAN 70.3 Update

A presentation by Evan Taylor, IRONMAN Canada and IRONMAN 70.3 Canada Race Director regarding an update on Whistler Ironman and Whistler Ironman 70.3.

MAYOR'S REPORT

Acting Mayor Anderson gave an update regarding the municipality's ongoing commitment to fire prevention in and around our community. Whistler's Wildfire Management Program is underway for municipal work fuel thinning above Brio but he commented that protecting our community from wildfire is everyone's responsibility stating that a good way to start is to remove yard waste from around your home. If you obtain a fire permit, you can burn this garden debris or you can drop it off near the Nester's depot for free from May 27 to 29. You can learn about hazards on your property by scheduling a free FireSmart home and site hazard assessment with Whistler Fire Rescue Services. For further information, see the Homeowners FireSmart Manual. See whistler.ca for details. Staff are working on additional FireSmart Initiatives and will be bringing those forward shortly.

Acting Mayor Anderson said that we continue to share our support for those impacted by the Fort McMurray Fires. The Whistler RCMP have sent two officers to Fort McMurray to assist their community. I would like to acknowledge the many, many people who have been involved in managing this extreme situation, from first responders to municipal employees, to those helping with emergency shelter and relief efforts. I think everyone in the country wonders what it would be like for their own community to go through something like this. It is a tragic event and our hearts are with everyone affected and who continues to be affected with the new fire activity that began this week. For those who want to contribute to the emergency efforts, and

have not yet the Red Cross is accepting donations. The Government of Canada and the Province of Alberta both said that they will be matching Red Cross donations.

Trevor Burton has been appointed to the Forest & Wildland Advisory Committee, which is a committee of council that advises council on a number of areas:

- wildfire risk management and forest health
- wildlife and its habitat
- regional land management plans
- public and commercial recreation in Whistler-area forests and wildlands, and Cheakamus Community Forest activities.

Acting Mayor Anderson thanked Trevor for stepping into this committee position and to the more than 100 members of the various RMOW committees and task forces who volunteer their time on behalf of the community toward the success of Whistler.

This week is Local Government Awareness Week. To celebrate, the municipality held a Student Council Competition for Grade 5's. Ten winners from the competition will take part in a Student Council meeting on Thursday at 9:00 a.m. The winners will take the role of Mayor, Council, and three members of municipal staff. They will work with an agenda based on the students' own suggestions. And students from Myrtle Philip Community School, Spring Creek Community School and the Whistler Waldorf School will watch the meeting. The public and media are also invited.

GO Fest, Whistler's Great Outdoors Festival, runs this weekend from May 20 to 23. The festival celebrates spring and the breadth of recreational, cultural and other opportunities available in Whistler. Village Square will have free outdoor concerts each night at 7:30 p.m. from Dan Mangan, Alex Cuba and The Matinée.

The new Cultural Connector brochure is complete and is being distributed around Whistler. The brochure outlines the Cultural Connector route which runs between the Audain Art Museum, the Squamish Lil'wat Cultural Centre, Whistler Museum, Whistler Public Library and the Maury Young Arts Centre. Thanks to our partners at all of these organizations who helped develop the brochure. You can get your copy at Municipal Hall, Village Host, or any of Whistler's cultural institutions. Acting Mayor Anderson thanked our partners that have made this project possible. Investments from the Province of British Columbia's Resort Municipality Initiative Fund and from the Government of Canada's Canadian Heritage Branch support the development of the Cultural Connector. Work will continue on the Cultural Connector route through 2017 as one of the municipality's initiatives to showcase Whistler's arts, culture and heritage, and enhance the visitor experience.

Councillor Grills followed up on the fundraising for Fort McMurray that there is a fundraising breakfast Wednesday 18th at the Hilton Hotel from 7:00 a.m. to 9:30 a.m. called Flap Jack for Fort Mac. There is a minimum \$10 donation with all proceeds going to the Red Cross.

Councillor Grills added that last week he attended the Lower Mainland Local Government Association (LMLGA) Conference in Whistler and thanked the organizing committee for an excellent and pertinent conference as well he thanked the Whistler Centre for Sustainability who facilitated the program.

Councillor Grills said that the Canadian Art Museum Director's Organization (CAMDO) was hosted at the Audain Art Museum over the last few day for all the Art Directors from across Canada which was well attended.

ADMINISTRATIVE REPORTS

8541 Ashleigh Mclvor
Drive - Easement For
Retaining Wall
Report No.16-061
File No. CM0071

Moved by Councillor J. Crompton
Seconded by Councillor J. Ford

That Council authorize the Mayor and Municipal Clerk to execute the easement agreement referenced in Council Report No. 16-061, to allow for encroachment of a retaining wall on municipal property adjacent to 8541 Ashleigh Mclvor Drive, subject to addressing the following items to the satisfaction of the General Manager of Resort Experience:

1. Written confirmation from Cascade Environmental confirming completion of the habitat compensation outlined in their March 10, 2016 memo, attached as Appendix B to Council Report No. 16-061
2. Receipt of a letter from a qualified engineer certifying the safety of the retaining wall; and,
3. Resolution of any outstanding documentation with the Province relating to intrusion into a streamside protection area.

CARRIED

4295 Blackcomb Way -
Whistler Village Centre
Building and Landscape
Report No. 16-062
File No. DP 1442

Moved by Councillor S. Maxwell
Seconded by Councillor J. Ford

That the resolution in Appendix E be amended to request the proponent to animate the area without the use of gas fire places.

*Opposed: Acting Mayor S. Anderson, Councillor A. Janyk,
Councillor J. Crompton, Councillor J. Ford, Councillor J. Grills*

DEFEATED

Moved by Councillor J. Crompton
Seconded by Councillor A. Janyk

That Council approve the issuance of Development Permit DP 1442 for building and landscape improvements at the Whistler Village Centre per the architectural plans L-0.1 to L-3.0 prepared by Murdoch Company Architecture + Planning Ltd., dated May 9, 2016 attached as Appendix B to Council Report No.16-062, subject to the resolution of the detailed items specified in the letter attached as Appendix E to Council Report No. 16-062 to the satisfaction of the General Manager of Resort Experience.

Opposed: Councillor S. Maxwell
CARRIED

4333 Sunrise Alley -
Pangea Pod Hotel
Development
Report No. 16-063
File No. DP 1487

Moved by Councillor S. Maxwell
Seconded by Councillor A. Janyk

That Council approve the issuance of Development Permit DP 1487 for exterior renovations to the Whistler View building, as per the site and architectural plans A001 – A700 prepared by Bricault Design, dated May 2, 2016, attached as Appendix B to Council Report No. 16-063, subject to the resolution of the following items to the satisfaction of the General Manager of Resort Experience:

1. Registration of an amendment to covenant no. H40053, to require that all development be constructed according to the site and architectural plans prepared by Bricault Design (drawing no. A001 – A700), dated May 2, 2016;
2. Registration of an easement agreement for the proposed canopy, entry stairs, and window trim to be constructed on or over municipal property;
3. Work with staff to finalize the colour scheme for the exterior of the building;
4. Work with staff to design and install landscaping in the renovated planters on the north side of the building, at the cost of the land owner;
5. Provision of a letter of credit, or other approved security, in the amount of 135 percent of the costs of the hard and soft landscape works as security for the construction and maintenance of these works;
6. Adherence to the Whistler Village Construction Management Strategy including provision of a construction site management plan, good neighbor agreement, and construction sign posted during construction.

That Council authorize a variance to Zoning and Parking Bylaw 303 to permit a reduction in parking spaces at Whistler View by four spaces, and waive the fee in lieu; and further,

That Council authorize the Mayor and Municipal Clerk to execute the aforementioned legal documents.

CARRIED

2016 Olympic Reservoir
Replacement –
Construction Award
Report No. 16-064
File No. 271.4

Moved by Councillor J. Crompton
Seconded by Councillor S. Maxwell

That Council award the contract in the amount of \$4,372,219.42 (exclusive of GST) to Carver Construction Ltd. in accordance with their tender proposal dated May 5, 2016.

That Council direct staff to bring forward a subsequent amendment to the 2016-2020 Five-Year Financial Plan to include additional funds in 2016 and 2017 in the amounts of \$510,000 and \$260,000 respectively in support of this project.

CARRIED

MINUTES OF COMMITTEES AND COMMISSIONS

Transportation Advisory
Group (TAG)

Moved by Councillor A. Janyk
Seconded by Councillor S. Maxwell

That minutes of the Inaugural Transportation Advisory Group (TAG) meeting of December 8, 2015 be received.

CARRIED

May Long Weekend
Committee

Moved by Councillor J. Ford
Seconded by Councillor J. Grills

That the minutes of the May Long Weekend Committee meeting of January 18, 2016 be received.

CARRIED

BYLAWS FOR THIRD READING

Land Use Contract
Discharge and Zoning
Amendment Bylaw (3401
Panorama Ridge)
Bylaw No. 2103, 2016

Moved by Councillor J. Crompton
Seconded by Councillor J. Ford

That Land Use Contract Discharge and Zoning Amendment Bylaw (3401 Panorama Ridge) Bylaw No. 2103, 2016 receive third reading by amending the address from 4301 to 3401 under item #1 in the bylaw in the bylaw.

CARRIED

BYLAWS FOR ADOPTION

Five-Year Financial Plan
2016–2020 Amendment
Bylaw No. 2121, 2016

Moved by Councillor J. Crompton
Seconded by Councillor S. Maxwell

That Five-Year Financial Plan 2016–2020 Amendment Bylaw No. 2121, 2016 be adopted.

CARRIED

OTHER BUSINESS

2010 Games Operating
Trust Society Nomination
File No. 2045.13

Moved by Councillor J. Crompton
Seconded by Councillor J. Grills

That Mike Furey be nominated as a member of the 2010 Games Operating Trust Society until the conclusion of the next annual General meeting or until such nomination is revoked, whichever is earlier, pursuant to bylaw 2.3 of the 2010 Games Operating Trust Society bylaws.

CARRIED

8060 Cypress Place Flood
Proofing Exemption
Reconsideration of Motion

Moved by Councillor J. Crompton
Seconded by Councillor J. Grills

That Council grant an exemption in accordance with section 524 of the Local Government Act – “Requirements in Relation to Flood Plain Areas”, to allow for the construction of a new dwelling at 8060 Cypress Place; and further,

That Council authorize the Mayor and Municipal Clerk to execute a Section 219 covenant on the title of the subject property for this exemption, attaching the geotechnical report prepared by EXP Consulting confirming that the property is safe for the use intended.

Opposed: Councillor S. Maxwell, Councillor J. Ford

CARRIED

CORRESPONDENCE

Federal Bill of
Environmental Rights
Request
File No. 3009

Moved by Councillor A. Janyk
Seconded by Councillor S. Maxwell

That correspondence from Rupert and Franny Yakelashek dated April 22, 2016, requesting that the Municipality consider writing a letter to Prime Minister Justin Trudeau, Minister of Environment and Climate Change, Catherine McKenna and other federal leaders asking them to champion a Federal Bill of Environmental Rights be received and referred to staff.

CARRIED

Access Awareness Day
Proclamation
File No.3009.1

Moved by Councillor J. Ford
Seconded by Councillor A. Janyk

That correspondence from Lorraine Copas, Executive Director, Social Planning and Research Council of British Columbia (SPARC BC) dated April 27, 2016, requesting that June 4, 2016 be proclaimed "Access Awareness Day" be received and proclaimed.

CARRIED

Cheakamus Crossing vs
Whistler Aggregates
File No. 3009

Moved by Councillor S. Maxwell
Seconded by Councillor A. Janyk

That correspondence from John McGregor, dated April 27, 2016, regarding Whistler Aggregates tenure in Cheakamus and neighbourhood concerns be received and referred to staff.

CARRIED

Squamish Lillooet
Regional District (SLRD)
Regional Growth
Strategy
File No. 3009

Moved by Councillor J. Crompton
Seconded by Councillor S. Maxwell

That correspondence from Lynda Flynn, Chief Administrative Officer, SLRD dated May 2, 2016, regarding written Notification of Initiation – Squamish Lillooet Regional District Regional Growth Strategy Review be received and referred to staff.

CARRIED

Vegetation Planting
between Rainbow and
Alpine North Subdivision
File No. 3009

Moved by Councillor J. Crompton
Seconded by Councillor J. Ford

That correspondence from Maureen Rickli, dated April 13, 2016, regarding promised vegetation restoration on the water easement between Rainbow and Alpine North Subdivisions be received and referred to staff.

CARRIED

Fort McMurray Support
Resolution from the City
of Cranbrook
File No. 3009

Moved by Councillor J. Crompton
Seconded by Councillor J. Ford

That correspondence from the Office of the Mayor of the City of Cranbrook, dated May 10, 2016, regarding a resolution encouraging province-wide support from all BC Local Governments for Fort McMurray residents be received and referred to staff and authorize a contribution of \$1,000 to the Red Cross.

CARRIED

ADJOURNMENT

Moved by Councillor J. Crompton

That Council adjourn the May 17, 2016 Council meeting at 7:48 p.m.

CARRIED

Mayor N. Wilhelm-Morden

Municipal Clerk, L Schimek



WHISTLER

MINUTES

PUBLIC HEARING OF MUNICIPAL COUNCIL TUESDAY, MAY 17, 2016 STARTING AT 6:00 PM

In the Franz Wilhelmssen Theatre at Maury Young Arts Centre – Formerly
Millennium Place
4335 Blackcomb Way, Whistler, BC V0N 1B4

PRESENT

Acting Mayor S. Anderson

Councillors: J. Crompton, J. Ford, J. Grills, A. Janyk, S. Maxwell

Chief Administrative Officer, M. Furey
General Manager of Infrastructure Services, J. Hallisey
General Manager of Corporate and Community Services, N. McPhail
General Manager of Resort Experience, J. Jansen
Municipal Clerk, L. Schimek
Manager of Communications, M. Comeau
Director of Planning, M. Kirkegaard
Utilities Group Manager, M. Day
Senior, Planner, M. Laidlaw
Planner, A. Antonelli
Planner, R. Brennan
Planning Technician, R. Licko
Transit Demand Management Coordinator, E. DalSanto
Recording Secretary, N. Best

ABSENT: Mayor N. Wilhelm-Morden

The Public Hearing is convened pursuant to *Section 464 of the Local Government Act R.S.B.C. 2015, c.1* to allow the public to make representations to Council respecting matters contained in “Land Use Contract Discharge and Zoning Amendment Bylaw (3401 Panorama Ridge) No. 2103, 2016” (the “proposed Bylaw”).

Everyone present shall be given a reasonable opportunity to be heard or to present written submissions respecting matters contained in the proposed bylaw. No one will be discouraged or prevented from making their views known. However, it is important that remarks be restricted to matters contained in the proposed Bylaw.

When speaking, please commence your remarks by clearly stating your name and address.

MINUTES

Public Hearing: Land Use Contract Discharge and Zoning Amendment Bylaw (3401 Panorama Ridge) No. 2103, 2016

May 17, 2016

Page 2

Members of Council may, ask questions following presentations however, the function of Council at a Public Hearing is to listen rather than to debate the merits of the proposed Bylaw.

As stated in the Notice of Public Hearing, the purpose of the proposed Bylaw is to discharge the Brio Land Use Contract (the "LUC") from the lands at 3401 Panorama Ridge, and permit the parcel to be regulated by RS1 (Residential Single Family One) zoning adopted under Bylaw No. 763, 1989 on February 6th, 1990 for the area.

Submissions Acting Mayor S. Anderson called three times for submissions by the public.

No submissions were made by the public.

Correspondence Laurie-Anne Schimek, Municipal Clerk, indicated that no correspondence was received regarding the proposed Bylaw.

ADJOURNMENT

Hearing no further comments, the Public Hearing adjourned at 6:03 p.m.

Mayor N. Wilhelm-Morden

Municipal Clerk: L. Schiemk



REPORT | INFORMATION REPORT TO COUNCIL

PRESENTED: June 7, 2016
FROM: Infrastructure Services
SUBJECT: Plastic Bag Reduction Update

REPORT: 16-066
FILE: 808.1

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Infrastructure Services be endorsed.

RECOMMENDATION

That Information Report No. 16-066 regarding the update on Plastic Bag Reduction be received.

REFERENCES

N/A

PURPOSE OF REPORT

The purpose of this report is to update Council on the results of the charge-per-bag that was implemented by the *Alliance of Grocery and Drug Stores in Whistler* on May 1, 2015.

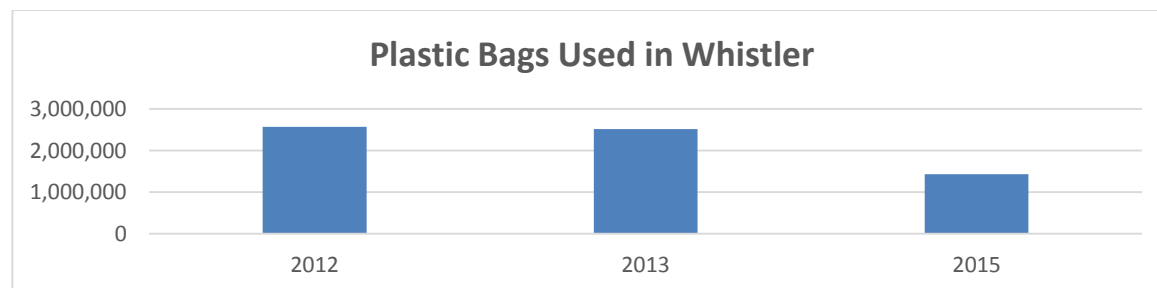
DISCUSSION

Introduction

After the consideration of several different options, the Alliance of Grocery and Drug Stores in Whistler (the “Alliance”) implemented a charge-per-bag for single-use plastic bags on May 1, 2015. Since that time the liquor stores in Whistler operated by the British Columbia Liquor Distribution Branch have also implemented a similar charge per bag.

Prior to this significant step, the Alliance had implemented a “Plastic Bag Free Future” program in 2013. This was a multi-step program including training their staff to reduce the number of bags given to customers, promoting reusable bags and baskets, and using the “Plastic Bag Free Future” slogan in their stores and in their advertising. While this program made some improvements, the charge-per-bag appears to have really made a difference in the pattern of plastic bag use.

Results from the past year



Whistler has five grocery stores, three drug stores, and three liquor stores that all charge 5 cents for a plastic carry-out bag. The statistics above are only for the grocery stores as they are the only stores that have consistently supplied information about their bag usage.

As shown in the chart above, shopping bag usage in Whistler grocery stores has decreased by 43% over the past two years, despite an increase in visitor numbers over the same time frame. While the previous programs of education and promotion of re-useable bag options contributed to this success, the charge-per-bag of 5 cents has made a large change.

Residents

Reviewing the detailed plastic bag counts at each grocery store, it is apparent that the results from the stores that mostly serve our local population have been more successful than those that serve mostly visitors. These are not surprising results as we would expect the locals to respond more successfully to the charge-per-bag, and other jurisdictions have seen similar results when a charge-per-bag was implemented.

Visitors

Many visitors to the resort are unaware of the charge-per-bag, and it can be more challenging for them to be prepared with a reusable bag. The charge of only 5 cents appears to be a good compromise that creates dialogue about the issue while allowing stores to provide plastic bags for resort visitors at a minimal cost.

AWARE has also tested a re-useable bag pilot project that made re-useable bags available in every hotel room at the Crystal Lodge. AWARE and the Crystal Lodge have been happy with the results, and the guests were very satisfied with this option. The Crystal Lodge has continued to offer the re-useable bags to their guests since the pilot project.

Additional Information

At least one of the grocery managers in Whistler feels that the 5 cent charge should be increased, and that is a topic that the Alliance of Grocery and Drug Stores may want to discuss in the future.

Front-line staff at the grocery stores do indicate that a few customers still complain about having to pay 5 cents per bag.

The BC Liquor Distribution Branch considered implementing the 5 cent charge in other cities in British Columbia, but so far they are only doing this in Whistler.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Materials & Solid Waste	Whistler is using durable materials that are less environmentally harmful, preferring recycled, natural and sustainably harvested materials, and plentiful metals.	Reducing plastic bag use will result in a shift to more durable bag use

Materials & Solid Waste	Increased business performance and economic opportunities are being realized as a result of smart materials management.	Businesses now recover their costs and fairly assign the costs to the users of plastic bags.
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W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
Visitor Experience	Communication, travel and services are seamless and convenient at all phases of visitors' trips, from prior to departure until after returning home.	Reducing plastic bag use in Whistler has been done in a manner that minimizes impact on visitor experience while shopping in Whistler.

OTHER POLICY CONSIDERATIONS

N/A

BUDGET CONSIDERATIONS

The charge-per-bag program is an initiative from the private sector and has no impact on the municipal budget, or work load impact on municipal staff.

COMMUNITY ENGAGEMENT AND CONSULTATION

N/A.

SUMMARY

The charge per bag program implemented by the Alliance of Grocery and Drug Stores in May 2015 appears to be an effective way to reduce plastic bag use while maintaining convenience for visitors to our resort.

Respectfully submitted,

James Hallisey
GENERAL MANAGER OF INFRASTRUCTURE SERVICES



REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: June 7, 2016

REPORT: 16-067

FROM: Resort Experience

FILE: DVP 1119, CM0068

SUBJECT: DVP 1119 – 6320 WEDGE LANE FRONTAGE VARIANCE AND COVENANT AMENDMENT

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Resort Experience be endorsed.

RECOMMENDATION

That Council approve the issuance of Development Variance Permit DVP 1119 for the proposed development located at 6320 Wedge Lane to vary the frontage requirement for a detached dwelling greater than 325 m² from 24 metres to 18 metres as shown on the plan prepared by R. Diamond Building Design, dated 6 Mar 16, and attached as Appendix B to Administrative Report No. 16-067 subject to:

1. Discharge of the existing restrictive covenants registered on title as L25697, M63214 and M87812 that relate to outdated zoning bylaw regulations; and
2. Registration of a covenant updating references to the current Zoning Bylaw and providing tree preservation as described in this report; and further

That Council authorize the Mayor and Municipal Clerk to execute the required amending covenants.

REFERENCES

Owner: Sebastian Piech
Location: 6320 Wedge Lane
Legal: Lot 2 of Lot J, Block G, District Lot 4752, Plan VAP23148
Zoning: RT2 (Two Family Residential Two)

Appendices A – Location Plan
B – Diagrams
C – Correspondence from Neighbours

PURPOSE OF REPORT

This report seeks Council's consideration to vary the frontage requirement of the RT2 Zone of "Zoning and Parking Bylaw 303, 2015" to allow for a detached dwelling with a gross floor area greater than 325 m² at 6320 Wedge Lane.

Sections 498 and 499 of Division 9 of the *Local Government Act* allows Council the authority to vary regulations contained in a Zoning Bylaw by way of a development variance permit.

DISCUSSION

As shown in Appendix A, the subject lands constitute a very large undeveloped panhandle parcel located on the South side of Wedge Lane in the Whistler Cay Heights neighbourhood. Development Variance Permit Application No. DVP 1119 requests Council's consideration to vary the frontage requirement of the RT2 Zone, to allow the owner to develop a home that exceeds 325 m².

For a detached dwelling to exceed 325 m², the parcel must satisfy multiple regulations in the RT2 Zone as shown below:

Site Dimensions

- (8) The minimum required parcel area, usable site area, and frontage are as follows: (Bylaw No. 953)

Type of dwelling	Gross floor area	Minimum parcel area	Minimum usable site area	Minimum frontage
Detached Dwelling	325 square metres or less	695 square metres	465 square metres	18 metres
Detached Dwelling	greater than 325 square metres	928.6 square metres	581 square metres	24 metres

- (9) Where a detached dwelling is sited on a parcel having a frontage of less than 24 metres, the maximum permitted gross floor area of the dwelling is 325 square metres. Where a detached dwelling is sited on a parcel having a frontage of 24 metres or more, the maximum permitted gross floor area of the detached dwelling is 465 square metres, subject to compliance with the other requirements of this Bylaw regarding permitted gross floor area.

The table below compares the parcel to applicable zoning requirements:

Dwellings up to 325 m ²	RT2 Regulation	Subject Parcel	Comment
Min. parcel size for 325 m ² GFA:	695 m ²	2159 m ²	Exceeds requirement by a factor of 3.11
Minimum usable site area* for 325 m ² GFA:	465 m ²	1609 m ²	Exceeds requirement by a factor of 3.46
Minimum frontage for 325 m ² GFA:	18 m	18 m	Satisfies requirement
Dwellings Exceeding 465 m ²	RT2 Regulation	Subject Parcel	Comment
Min. parcel size to exceed 325 m ² GFA:	928.6 m ²	2159 m ²	Exceeds requirement by a factor of 2.33
Minimum usable site area to exceed 325 m ² GFA:	581 m ²	1609 m ²	Exceeds requirement by a factor of 2.77
Minimum frontage to exceed 325 m ² GFA:	24 m	18 m	Frontage Variance Requested

*Less than 40 % grade

Staff note that the side setbacks for this parcel double from 3.0 m to 6.0 m with any building exceeding 325 m². Given the parcel shape, this means that the lot would have two sides with 7.6 m setbacks (front and rear) and three sides with 6.0 m setbacks, as shown in Appendix B. Therefore, increasing the building size will allow for greater privacy/ separation from the neighbours.

Comparison with Immediate Neighbours

As shown in Appendix A, the subject parcel, at 2159 m² area, is much larger than its immediate neighbours. The average size of the nine lots surrounding 6320 Wedge Lane is 782 m², so the subject parcel is nearly triple the size of its immediate neighbours. Further, while the frontage of the lot is less than 24 metres, this panhandle portion will be used only for the access drive. The parcel shape provides a width of 39 metres in the location where the building will be constructed. This is approximately twice the width of each of the two neighbouring parcels. Further, the panhandle configuration means that the dwelling will be constructed approximately 35 metres back from the street.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Built Environment	Limits to growth are understood and respected.	The parcel will continue to respect the outright maximum allowable gross floor area for a detached dwelling in the RT2 zone: 465 m ² .
	Continuous encroachment on nature is avoided.	As a part of this application, staff recommend retaining tree preservation areas outside of the building envelope to maintain privacy.
	Landscaped areas consist of native plant species that eliminate the need for watering and chemical use	As above.
W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
	none	

DVP Criteria

Staff have established criteria for consideration of development variance permits. The proposed variances are considered to be consistent with these criteria as described in the table below:

Potential Positive Impacts	Comment
Complements a particular streetscape or neighbourhood.	Approval of this Development Variance Permit would double the side setbacks from 3.0 m to 6.0 metres and allow staff to register tree preservation areas on site to ensure privacy and screening. The developable portion of this lot is located behind other lots on the surrounding streets. Only the access drive will be visible from Wedge Lane. The dwelling will be set back from the street roughly 35 metres;

	therefore, staff consider that this application will have no impact on the street scape.
Works with the topography on the site, reducing the need for major site preparation or earthwork.	N/A
Maintains or enhances desirable site features, such as natural vegetation, trees and rock outcrops.	Staff recommend registration of tree preservation areas on site to ensure privacy and screening.
Results in superior siting with respect to light access resulting in decreased energy requirements.	N/A
Results in superior siting with respect to privacy.	Approval of this Development Variance Permit would double the side setbacks from 3.0 m to 6.0 metres and allow staff to register tree preservation areas on site to ensure privacy and screening.
Enhances views from neighbouring buildings and sites.	Approval of this Development Variance Permit would double the side setbacks from 3.0 m to 6.0 metres and allow staff to register tree preservation areas on site to ensure privacy and screening, and maintain the treed nature of the subject parcel, thereby protecting views.

Potential Negative Impacts	Comments
Is inconsistent with neighbourhood character.	N/A
Increases the appearance of building bulk from the street or surrounding neighbourhood.	<p>The dwelling would be bigger, but the side setbacks double from 3.0 m to 6.0 m, and the DVP process enables staff to register tree preservation to ensure privacy. The size of the parcel can easily accommodate a 465 m² dwelling.</p> <p>The appearance of bulk is not out of character with the size of the lot which is 2.33 times the size required for a home of 465 m².</p>
Requires extensive site preparation.	N/A
Substantially affects the use and enjoyment of adjacent lands (e.g. reduces light access, privacy, and views).	N/A
Requires a frontage variance to permit greater gross floor area, with the exception of a parcel fronting a cul-de-sac.	Staff consider panhandle lots with limited frontage to be similar to pie shaped lots with limited frontage.
Requires a height variance to facilitate gross floor area exclusion.	N/A
Results in unacceptable impacts on services (e.g. roads, utilities, snow clearing operations).	N/A

OTHER POLICY CONSIDERATIONS

Precedents

Staff research indicates that there have been three recent applications for frontage variances to allow for larger homes on large panhandle lots. Council approved all three applications as noted in the table below:

Address	Variance Type	Specifics	Parcel Configuration	File No.	Council Approval Date
3510 Falcon Crescent	Frontage variance to allow over 325 m².	Varied frontage from 24 m to 12 m.	Panhandle	DVP1091	Dec 16, 2014
8328 Mountain View Drive	Frontage variance to allow over 325 m².	Varied frontage from 24 m to 9.12 m	Panhandle	DVP1100	July 7, 2015
8340 Mountain View Drive	Frontage variance to allow over 325 m².	Varied frontage from 24 m to 9.14 m	Panhandle	DVP1100	July 7, 2015

Legal Encumbrances

The title of the property shows three covenants in favour of the municipality as shown in the table below:

Document	Date	Comment
L25697	1983-03-14	These covenants were required by the CD1 Zone for the Whistler Cay Heights neighbourhood at time of subdivision to confirm if the parcel was to be developed for a duplex or single residential dwelling (the CD1 Zone permitted maximum 28% of the residential use in the zone to be duplex). The covenants ties the parcel to Zoning Bylaw No. 9, 1975 and specifies the lands are to be developed for a single residential dwelling. This covenant can, and should be, discharged to reflect the current RT2 zoning under Zoning Bylaw No. 303.
M63214	1984-07-31	
M87812	1984-11-15	This covenant modifies M63214 by: deleting references to Zoning Bylaw No. 9, stating that use of the lands is governed by Zoning Bylaw 303, 1983, and that the lands are permitted to be developed for a detached dwelling of maximum 325 square metres or a floor space ratio of 0.35, whichever figure is lower. At time of registration of this covenant the RT2 Zone did not permit detached dwellings greater than 325 square metres in gross floor area. The RT2 Zone was subsequently amended to permit detached dwellings up to 465 square metres in gross floor area subject to meeting minimum parcel area, useable site area and frontage requirements described in the Discussion section of this report. This covenant will need to be discharged and replaced with a new covenant to reflect the current Zoning and Parking Bylaw 303, 2015 and RT2

		Zone regulations. This covenant will also specify the lands may be developed for a single residential dwelling.
--	--	---

A new covenant is needed to reflect the current Zoning and Parking Bylaw 303, 2015 and RT2 Zone regulations, and frontage variance for maximum allowable gross floor area (gfa) and gfa exclusions. This is consistent with Council policy.

Staff further recommend that this new covenant indicates tree preservation areas within the building setbacks to ensure screening and privacy for neighbours.

BUDGET CONSIDERATIONS

Development Variance Permit application fees and Covenant Modification application fees provide for recovery of costs associated with processing this application. Building Permit fees will be applicable at time of Building Permit.

COMMUNITY ENGAGEMENT AND CONSULTATION

A sign describing DVP 1119 has been posted on the property throughout the duration of this application.

Notices were sent to surrounding property owners on May 4, 2016. Responses were received from five neighbours. The complete communication record is attached to this report as Appendix C.

SUMMARY

Development Variance Permit DVP 1119 requests Council's consideration of a frontage variance to allow for a detached dwelling up to 465 m² in gross floor area to be constructed at 6320 Wedge Lane. This would require updating existing title documents. Staff also recommend registration of a tree preservation requirements by covenant as a condition of approval.

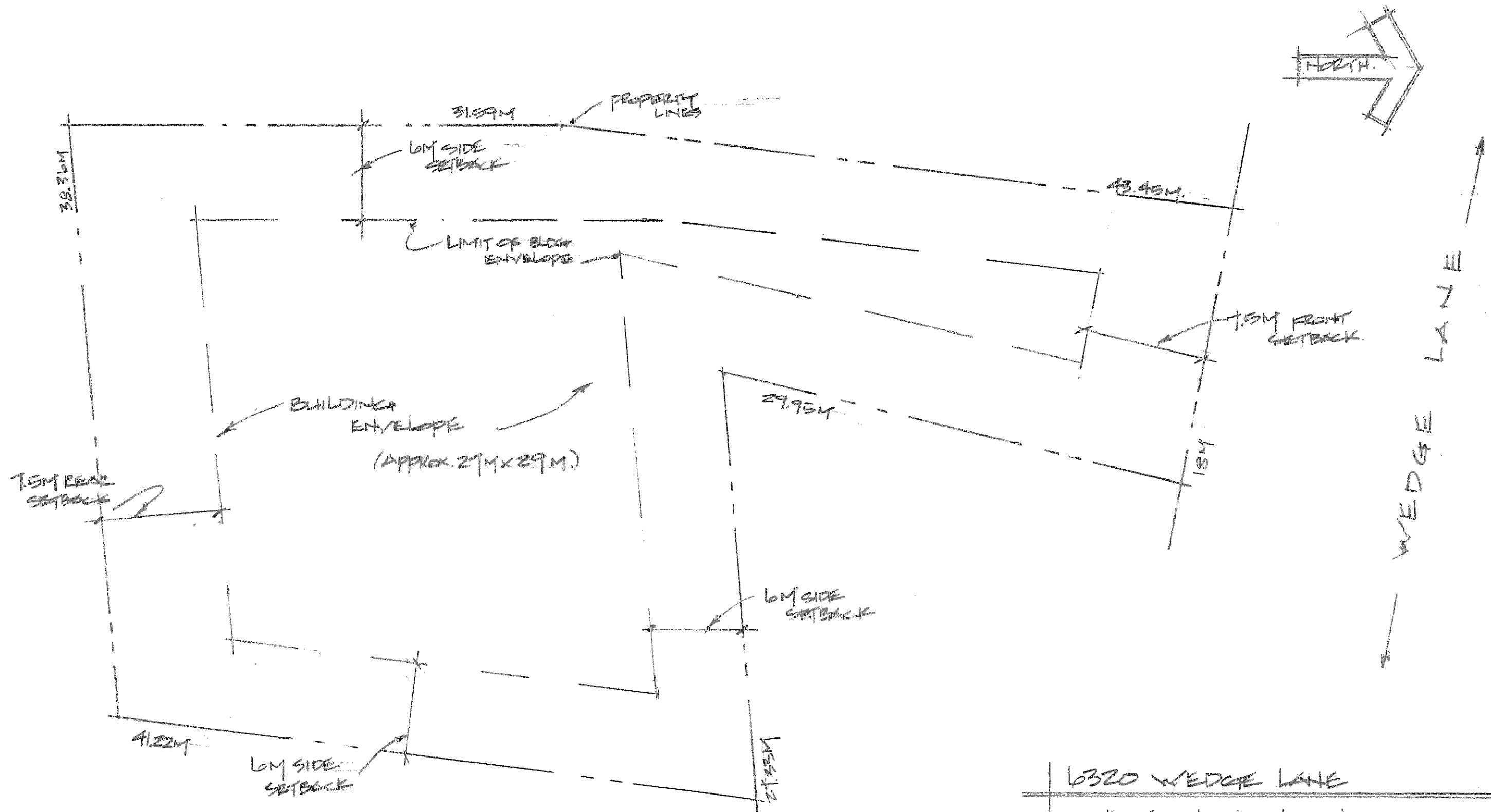
Respectfully submitted,

Roman Licko
PLANNING ANALYST
for
Jan Jansen
GENERAL MANAGER OF RESORT EXPERIENCE



Subject Lands

6320 Wedge Lane



6320 WEDGE LANE

*SITE PLAN SHOWING PROPOSED
BUILDING ENVELOPE FOR S.F.D. 325-465M².

DT. 6.MAR.16 SC. 1:250 METRIC

BY. R.DIAMOND
BUILDING DESIGN

Box 93
WHISTLER BC
VAN 1B0 604.938.0979

Correspondence with Owner of 6484 and 6488 Saint Andrews Way

Roman Licko

From: Roman Licko
Sent: Tuesday, March 29, 2016 1:53 PM
To: 'Annette Roehlig'
Subject: RE: 6320 Wedge Lane

Ms. Roehlig,

Thank you so much for your email. I will ensure that Council sees your comments.

Roman Licko
RESORT MUNICIPALITY OF WHISTLER
TEL: 604-935-8173

From: Annette Roehlig [mailto:Annette.Roehlig@shaw.ca]
Sent: Tuesday, March 29, 2016 11:49 AM
To: Roman Licko
Cc: 'Sebastian Piech'
Subject: 6320 Wedge Lane

Hello Roman,

6320 Wedge Lane is about 3 times as big as many other lots in Whistler and in Whistler Cay Heights. It is a very large private level lot on a knoll with many high trees and very well suited to accommodate a big single family home. As mentioned I am in favor of the variance being granted to Sebastian Piech to be able to build a single family home between 325 square meter and 465 square meter on 6320 Wedge Lane.

My concern might be the height of the building and I hope that Sebastian Piech will rather be able to take advantage of the by-law allowing a full basement (where he could very well accommodate all kinds of good usages – sauna, entertainment, wine cellar).

I hope that he can capture with the design of his home the fantastic 360 degree view of our surrounding mountains and I do support that.

If I can be of any further help please be in touch.

Sincerely,
Annette

Annette Roehlig

Office: 250 740 3948
Home: 604 932 4329
Cellular: 604 932 8813

Correspondence with Owner of 6312 Wedge Lane

Roman Licko

From: Roman Licko
Sent: Monday, May 09, 2016 3:32 PM
To: 'Ryan Beedie'
Subject: RE: 6320 Wedge Lane

Thank you Ryan. I appreciate your interest in this file.

Kind regards,

Roman Licko
RESORT MUNICIPALITY OF WHISTLER
TEL: 604-935-8173

From: Ryan Beedie [mailto:ryan@beediegroupp.ca]
Sent: Monday, May 09, 2016 3:30 PM
To: Roman Licko
Cc: Cindy Beedie
Subject: RE: 6320 Wedge Lane

Hello Roman

Thank you for your prompt response and clear explanation.

We support this variance as it is a reasonable request (ie. the by-laws did not contemplate a rare pan-handle lot like this) and the additional building setback will be a positive for us.

Ryan

From: Roman Licko [mailto:rlicko@whistler.ca]
Sent: May-09-16 3:18 PM
To: Ryan Beedie
Subject: FW: 6320 Wedge Lane

Hi Ryan,

Thank you for your correspondence regarding this file.

Yes, your understanding is correct: the existing frontage of the panhandle limits them to 325 m². However, the parcel size is more than double the required area to support a larger dwelling; therefore, staff support a variance in this case. The dwelling would be limited to 465 m² under the zoning regulations; this would necessitate 6m side setbacks (A home of 325m² only requires 3m side setbacks), so the distance from the dwelling to the parcel lines will increase. There is no home design at this stage. As you correctly anticipated, they will begin to prepare a design once their application has been heard by Council, and it is clear what size home they are permitted to build. Staff have advised the applicants' agent that no further variances will be contemplated.

Thank you,

Roman Licko
 RESORT MUNICIPALITY OF WHISTLER
 TEL: 604-935-8173

From: Planning
Sent: Monday, May 09, 2016 2:38 PM
To: Roman Licko
Subject: FW: 6320 Wedge Lane

Roman,

Below for DVP1119.

Kay Chow
 RESORT MUNICIPALITY OF WHISTLER
 TEL: 604-935-8171

From: Ryan Beedie [<mailto:ryan@beediegroupp.ca>]
Sent: Monday, May 09, 2016 2:28 PM
To: Planning
Subject: 6320 Wedge Lane

Hello Roman

I am the owner of 6312 Wedge Lane.

My understanding is that the current zoning restricts the size of the home because the lot (notwithstanding its size) has a limited frontage, due to its pan handle nature. The proponent wants to be able to build a home in area which would be allowed had the frontage been 24 metres. Do I have this right?

It is unusual for me to see a variance request without a more detailed building application, but perhaps the owners are seeking this variance now, before going to the expense of plans etc, in case it fails. Is this correct?

I look forward to your reply.

Ryan

Ryan Beedie
President
Beedie | Development Group
ryan@beediegroupp.ca
 p. 604.435.3321 | f. 604.432.7349
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
www.beediegroupp.ca

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Correspondence with Owners of 6464 Saint Andrews Way

Roman Licko

From: Ronee Downey <rdowneygold@hotmail.com>
Sent: Wednesday, April 27, 2016 12:08 PM
To: Roman Licko
Cc: Brent Murdoch; Matt Bodkin; Michael Goldberg
Subject: Re: Contact

Hello Roman,

Thanks for the email! We will take a walk around our property this weekend and get back to you with any concerns we may have!

ronee

On Apr 27, 2016, at 10:16 AM, Roman Licko <rllicko@whistler.ca> wrote:

Hi Ronee,

This email is to make contact with yourself. Please provide any comments in writing.

Thank you,

Roman Licko

PLANNING ANALYST
Planning & Development

RESORT MUNICIPALITY OF WHISTLER

4325 Blackcomb Way
Whistler, B.C. V0N 1B4
TEL: 604-935-8173
FAX: 935-8179
E-MAIL: rllicko@whistler.ca

WEBSITE: www.whistler.ca

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Correspondence with Owners of 6460 Saint Andrews Way

Roman Licko

From: Roman Licko
Sent: Tuesday, May 17, 2016 8:16 AM
To: 'Jo-Ellen Smith'
Subject: RE: Development Variance Permit App #1119

Mrs. Smith,

Thank you for your correspondence. I will ensure that your comments are attached to the Council Report.

Truly,

Roman Licko
 RESORT MUNICIPALITY OF WHISTLER
 TEL: 604-935-8173

From: Jo-Ellen Smith [mailto:cloudcnnr@comcast.net]
Sent: Monday, May 16, 2016 12:12 PM
To: Planning
Cc: Roman Licko
Subject: Development Variance Permit App #1119

Dear Mr. Licko,

My husband Greg and I are the owners of 6460 St. Andrews Way, a property immediately adjacent to 6320 Wedge Lane. The application for a proposed variance request for minimum frontage variance for 6320 Wedge Lane is of concern to us.

The proposed narrow frontage on Wedge Lane implies that ingress and egress to the property will be next to the back corner of our property line on Wedge Lane.

As vehicles make a left turn in to the property from Wedge Lane, headlights will sweep across and into the primary living area of our home.

We suggest that the variance may be approved with the condition that the property owner maintain/enhance existing natural screening (trees, shrubs, etc.) along the perimeter of the property, particularly on the corner(s).

Thank you.

Jo-Ellen

Jo-Ellen Smith
 425-802-1586

Roman Licko

From: Karen Olineck
Sent: Tuesday, May 10, 2016 10:19 AM
To: 'cloudcnr@comcast.net'
Cc: Roman Licko
Subject: 6320 Wedge Lane - NOTICE
Attachments: DVP1119_NOTICE.pdf

Hello Ms. Smith,

Apologies if you did not received my first email. I have attached the DVP Notice for the above mentioned property. If you have any questions, please direct them to Roman.

Kind Regards,

Karen Olineck
PLANNING SECRETARY
Planning and Development

RESORT MUNICIPALITY OF WHISTLER
4325 Blackcomb Way
Whistler, B.C. V0N 1B8
TEL: 604-935-8111
E-MAIL: kolineck@whistler.ca

WEBSITE: www.whistler.ca

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Roman Licko

From: Jo-Ellen Smith <cloudcnr@comcast.net>
Sent: Wednesday, April 27, 2016 7:21 AM
To: Roman Licko
Subject: re variance DVP-1119

Dear Roman,

Thank you for taking the time to explain the variance process to me last Friday. As the property owner at 6460 St Andrews, we are very interested in issues affecting the lot at 6320 Wedge.

Please add my email to your notification list. Written notices take a long time to reach my address of record in the US. I will send you a separate email with comments on the possibilities of restrictions on tree removal/screening.

Thank you.

Jo-Ellen Smith
425-802-1586
6460 St. Andrews Way

Correspondence with Owners of 6316 Wedge Lane

Roman Licko

From: federica ferruda <federicaferruda@gmail.com>
Sent: Tuesday, May 10, 2016 11:49 AM
To: Roman Licko
Subject: Re: DVP1119 - 6320 Wedge Lane

Roman

Thank you so much for keeping us posted.

Best Regards,
Federica

Andrea Padovani and Federica Ferruda,

Thank you for your letter outlining concerns regarding Development Variance Permit Application DVP1119 at 6320 Wedge Lane. Responses to your inquiry are provided in the numerical order of your questions/ comments.

1. There are no diagrams for the dwelling at this time. Staff's understanding is that the applicants will commence with building design once they have been heard at Council and have a full understanding as to what size dwelling is to be designed.
2. Staff confirm that homes that exceed 325 m² in gross floor area require increased side setbacks (from 3 metres to 6 metres).
3. Staff have requested a proposed driveway alignment for the panhandle portion. Further, staff have requested that no tree clearing takes place on the site until such time that a tree preservation area can be identified and maintained.

Thank you,

Roman Licko

PLANNING ANALYST
Planning & Development

RESORT MUNICIPALITY OF WHISTLER

4325 Blackcomb Way
Whistler, B.C. V0N 1B4

TEL: 604-935-8173

FAX: 935-8179

E-MAIL: rlicko@whistler.ca

WEBSITE: www.whistler.ca

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Our name is Andrea and Federica Padovani and we are currently building our new house at 6316 Wedge Lane. We have been living in Whistler for 5 years and are very excited to see our new home completed in October of this year. Our site is the result of a subdivision of a property that produced our lot and an adjacent property now known as 6320 Wedge Lane.

It has come to our attention, through the placement of a site sign, that the new owners of the adjacent property are currently in the process of asking you for a 'variance' to build a larger house on their site. It is our understanding that they are asking for a larger house because they have a larger site than us but a limited frontage (i.e. the panhandle access). From what we can gather looking at the existing zoning, of which our house is in conformance with, the current zoning would lessen the impact on our property that could arise from adjacency issues related to their limited access to the site. We have also become aware that the municipal staff dealing with this are already in support of the proposed variance in principle but as of yet have not seen the proposed plans for the new house.

Therefore, with the full respect for the freedom of our new neighbours to build their new house, and acknowledging that we will be the most impacted by the proposed increased house size, we would like the following information before issuing any opinion on the proposed variance:

1. A proposed footprint and massing of the proposed larger house;
2. A confirmation that the larger house will result in an increase to the required setbacks as detailed in the zoning by-law;
3. Consideration of our request to limit the amount of site work and tree removal along our adjacent property lines, so as to provide both of use with a continued and natural setting to our shared property.

Counting on your (and ours) future collaboration to address your request, we look forward to hearing from you.

Best Regards

Andrea Padovani and Federica Ferruda



604 812 2846

FEDERICA.FERRUDA@GMAIL.COM



REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: June 7, 2016
FROM: Resort Planning
SUBJECT: DP 1488 – 8040 NESTERS ROAD INDUSTRIAL DEVELOPMENT

REPORT: 16-070
FILE: DP 1488

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Resort Experience be endorsed.

RECOMMENDATION

That Council approve the issuance of Development Permit DP 1488 for the proposed subdivision of 8040 Nesters Road (Lot D) into 3 lots and the proposed first phase of industrial development on the lots which includes the following variance to the Zoning Bylaw:

- a) Vary some limited areas of parking and parking access surface to gravel,

as illustrated on the Subdivision Plan prepared by Doug Bush Survey Services Ltd., dated Feb. 3, 2016, the architectural plans A1.0 to A7.0 (CME) and A1.0 to A8.1 (Whistler Connection) prepared by ATA Architectural Design Ltd., dated May 20, 2016, landscape plan L1.0 prepared by Tom Barratt Ltd., dated May 19, 2016, and civil plans KEY, GRAD-1, C-1, FA-1 prepared by Creus Engineering Ltd., all attached as Appendices B and C to Council Report No. 16-070, subject to the resolution of the detailed items specified in the letter attached as Appendix F to Council Report No. 16-070 to the satisfaction of the General Manager of Resort Experience; and further

That Council authorize the Mayor and Municipal Clerk to execute the garbage and recycling building access easement.

REFERENCES

Location: 8040 Nesters Road
Legal Description: Lot D, District Lots 1757 and 2105, NWD, Plan EPP54641
Owners: N.S.W. Holdings Ltd.
Zoning: CT11 (Community and Transportation Infrastructure One)

Appendices:

- A - Location Map
- B - Subdivision Plan
- C - Architectural, Landscape and Civil Plans
- D - Draft Advisory Design Panel Minutes, April 20, 2016
- E - Green Building Checklist
- F - Letter to Applicant

PURPOSE OF REPORT

This report seeks Council's approval of Development Permit DP 1488, an application for the proposed subdivision of 8040 Nesters Road into 3 lots and the first phase of industrial development on these lots.

The proposed development is subject to development permit guidelines for the form and character of development, protection of development from hazardous conditions and protection of the natural

environment. The development permit is subject to Council approval as the proposal involves subdivision and development of buildings greater than 20 square metres in floor area.

DISCUSSION

Background

8040 Nesters Road is located in the new Nesters Crossing industrial area north of Whistler Village (see Appendix A). The property is accessed by an extension to Nesters Road and a new valley trail extension that will be completed in the summer of 2016 by the subdivision developer.

The property is a flat brownfield site that previously contained storage uses and is currently cleared of vegetation except for a 10 metre wide area of native vegetation along the north property line adjacent to the railway tracks. This area is a covenanted tree buffer area to screen the industrial development from the golf course on the north side of the railway tracks.

Development on the property is constrained by a BC Hydro transmission line right of way and three rights of ways for floodways.

Proposed Development

The owner is proposing to subdivide 8040 Nesters Road (Lot D) into 3 lots and develop the lots for industrial development. The proposed subdivision plan is attached as Appendix B and the architectural, landscape and civil plans are attached as Appendix C. The following describes the proposed phase 1 development:

The site planning and lot layout has been largely driven by the constraints of the BC Hydro transmission right of way, the three rights of ways for floodways, and the shared fuel card lock facility vehicle access and circulation requirements. One shared primary entrance is proposed to access the three lots, with a secondary back of house entrance to Lot 1.

Lot 1 is proposed to be purpose developed to accommodate an excavation company (Coastal Mountain Excavations (CME)). Lot 1 is unencumbered by the BC Hydro right of way allowing the proposed CME building to be sited close to the street. The proposed CME building will consist of 872 square metres (9,391 square feet) of floor area over 2 floors, totalling an 8.4 metre building height. The building will contain office and shop space with drive through vehicle bays. An auxiliary salt and shed tent is located at the rear of Lot 1.

On Lot 2, the phase 1 development includes site servicing and paving of the access driveway and fire truck/fuel vehicle turn around, with the remainder of the site hydroseeded. Phase 2 development of Lot 2 is proposed at a future date and will require a future development permit.

Lot 3 is proposed to be purpose developed to accommodate a transportation company (Whistler Connection) with the remainder of the site hydroseeded. The proposed Whistler Connection building will consist of 902 square metres (9,715 square feet) of floor area over two floors, totalling a 7.9 metre building height. The building will contain office and shop space with large vehicle bays and a drive through wash bay. A shared card lock facility and shared garbage and recycling building are proposed on Lot 3. Phase 2 development of Lot 3 is proposed at a future date and will require a future development permit.

The proposed buildings on Lots 1 and 2 are precast concrete, with complementary colours, architectural character and detailing. Roof projections occur at the front doors of the buildings to create differentiation between the front door/office entrance and the service areas.

The photos below illustrate the existing context and proposed buildings on Lots 1 and 3.



Photo of site showing existing context and proposed buildings



Photo of site showing existing context and proposed buildings

Lots 1 and 3 require ample space for large vehicular circulation on account of the nature of the businesses. The primary access driveway and majority of parking is proposed to be paved. Gravel

parking is proposed at the rear and back of house areas on Lot 1 to reduce the amount of impermeable asphalt surface, requiring a variance to the Zoning Bylaw.

Landscaping is located along the street edge and valley trail to screen the parking areas, along the east property line to screen from the adjacent development, and adjacent to the garbage and recycling building for separation and screening.

Advisory Design Panel Review

The proposal was presented to the municipal Advisory Design Panel on April 20, 2016.

The Panel supported the project as presented with the requested variance for some limited areas of parking and parking access surface to be gravel, and advised the applicant to continue to work with staff to resolve Panel's comments respecting building address/signage, migration of dirt from truck/machine cleaning area to public street, provision of more diversity in size and type of planting, addressing the abruptness of the façade treatment by considering a wrapping appearance, and provision of a more prominent building façade at the front entry. The minutes of the Advisory Design Panel meeting are attached as Appendix D.

Subsequent to the ADP meeting, the applicant submitted revised drawings providing further detail at the building entrance to create a more substantial presence, an increase in the diversity of plant material and an increase in the total number of trees and shrubs for scale and screening. The roof projection on the building facades occur at the front door of the building to create differentiation between the front door/office entrance and the service areas. Further detailing respecting signage is requested to be addressed as a condition of development permit issuance per Appendix F.

WHISTLER 2020 ANALYSIS

Overall, the proposal supports the Whistler 2020 strategies of economic, visitor experience, built environment and natural areas.

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Economic	Locally owned and operated businesses thrive and are encouraged as an essential component of a healthy business mix.	The proposal is purpose built for two existing local businesses.
	Whistler holds competitive advantage in the destination resort marketplace as a result of its vibrancy and unique character, products and services.	The proposal is well integrated and contributes to a high standard of design.
Visitor Experience	The resort is comfortable, functional, safe, clean and well-maintained.	Staff have identified some minor details to be addressed respecting signage details and hydro kiosk locations as a condition of development permit issuance.
Built Environment	The built environment is attractive and vibrant, reflecting the resort community's character, protecting viewscales and evoking a dynamic sense of place.	
	Building design and construction is characterized by efficiency and durability.	Building materials are considered sufficiently durable and detailed to withstand Whistler's harsh climate.
	The new and renovated built environment has transitioned towards sustainable management of energy and materials.	The applicant has provided a green building project checklist which responds to each of the green building

		objectives outlined in Section 2.0 of Council Green Building Policy G-23.
	Continuous encroachment on nature is avoided.	The proposed development occurs on a brownfield site. The existing tree buffer is retained and protected. Each lot will have a minimum 10% landscaped area in addition to the tree buffer area.
Natural Areas	A policy of no net habitat loss is followed, and no further loss is preferred.	
W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
	None.	

OTHER POLICY CONSIDERATIONS

Zoning Analysis

The property is zoned CT11 (Community and Transportation Infrastructure One). The intent of this zone is to provide industrial type uses supporting community and transportation infrastructure.

The development permit includes the following variance to Zoning and Parking Bylaw No. 303 supported by staff and the Advisory Design Panel:

1. Subsection 7(2) of Part 6 of the Zoning Bylaw requires parking and loading spaces and access areas to be surfaced with asphalt, concrete, brick, stone or concrete paving stones. Gravel parking is proposed at the rear and back of house areas on Lot 1 to reduce the amount of impermeable asphalt surface.

All other aspects of the proposal meet all regulations of the CT11 Zone and Zoning Bylaw No. 303.

OCP Development Permit Guidelines

The property is located within Development Permit Area #25 – Mons Industrial Lands and is subject to development permit guidelines for the form and character of development, protection of development from hazardous conditions and protection of the natural environment. The applicable guidelines are contained within the Official Community Plan.

Guidelines	Comments
Building design, siting, parking and loading areas must be designated and coordinated to maximize solar penetration with the intent to conserve electrical consumption.	Large windows are proposed for solar access into the building. Patio areas for staff are located on the south side of buildings for solar access.
All landscaping and screening elements must be able to withstand Whistler's harsh climatic conditions and coordinated with adjacent landscaping. A ten metre minimum buffer shall be maintained within the site that parallels the CN rail right of way.	The proposed landscaping meets this guideline. The ten metre tree buffer is retained and protected by an existing concrete no post and chain link fence barrier.
Areas of existing natural vegetation shall be retained and where necessary to separate land	Each lot will have a minimum 10% landscaped area in addition to the tree buffer area to separate land uses and provide a visual screen

uses and provide a visual screen of development.	of the parking and back of house from the valley trail and street.
All buildings to be developed shall use an accepted checklist by the municipality to ensure measures are provided for energy and water conservation during the building's usage.	The applicant has provided a green building project checklist, attached as Appendix E, which responds to each of the green building objectives outlined in Section 2.0 of Council Green Building Policy G-23.
The amount of excavation and grading "cut and fill" shall be minimized.	The site is flat and the amount of excavation and grading "cut and fill" is minimized.
When a development is completed, landscaping shall be provided to mitigate or improve the damage caused by the removal of any pre-development vegetation on the site.	The proposed development occurs on a brownfield site and no pre-development vegetation is proposed to be removed.
Development of the site must take into consideration potential flood hazards that the site is subject to.	The proposal is designed to meet the registered flood plain covenant which directs minimum building elevations, site grading and required floodways through the sites.
All property development must provide for measures to mitigate any negative infiltration to the local aquifer system.	The property is located outside of local aquifer areas, nonetheless, oil interceptors are proposed as well as landscape areas that can infiltrate and accommodate storm water run-off.

The property is also subject to form and character design guidelines contained within a covenant registered on title of the property and the proposed development is considered to be consistent with these guidelines. These design guidelines are an early draft of the guidelines contained in proposed OCP Amendment Bylaw No. 1983, 2011 which the owners committed to during the rezoning process for Nesters Crossing.

Legal Encumbrances

The proposal is designed to meet the registered flood plain covenant which directs minimum building elevations, site grading and required floodways through the sites.

The covenant containing the additional design guidelines is addressed in the section above.

Registration of a shared access easement for the shared garbage and recycling building to be shared between the 3 lots is identified in Appendix F as a condition of development permit issuance.

Green Building Policy

The applicant has provided a green building project checklist, attached as Appendix E, which responds to each of the green building objectives outlined in Section 2.0 of Council Green Building Policy G-23.

BUDGET CONSIDERATIONS

The municipality's direct costs of processing and reviewing this application have been covered through the development permit application fees.

COMMUNITY ENGAGEMENT AND CONSULTATION

An information sign has been posted on the property per Development Permit application requirements. Staff have received one letter of support for the proposed development from the owner of the adjacent property located at 8060 Nesters Road.

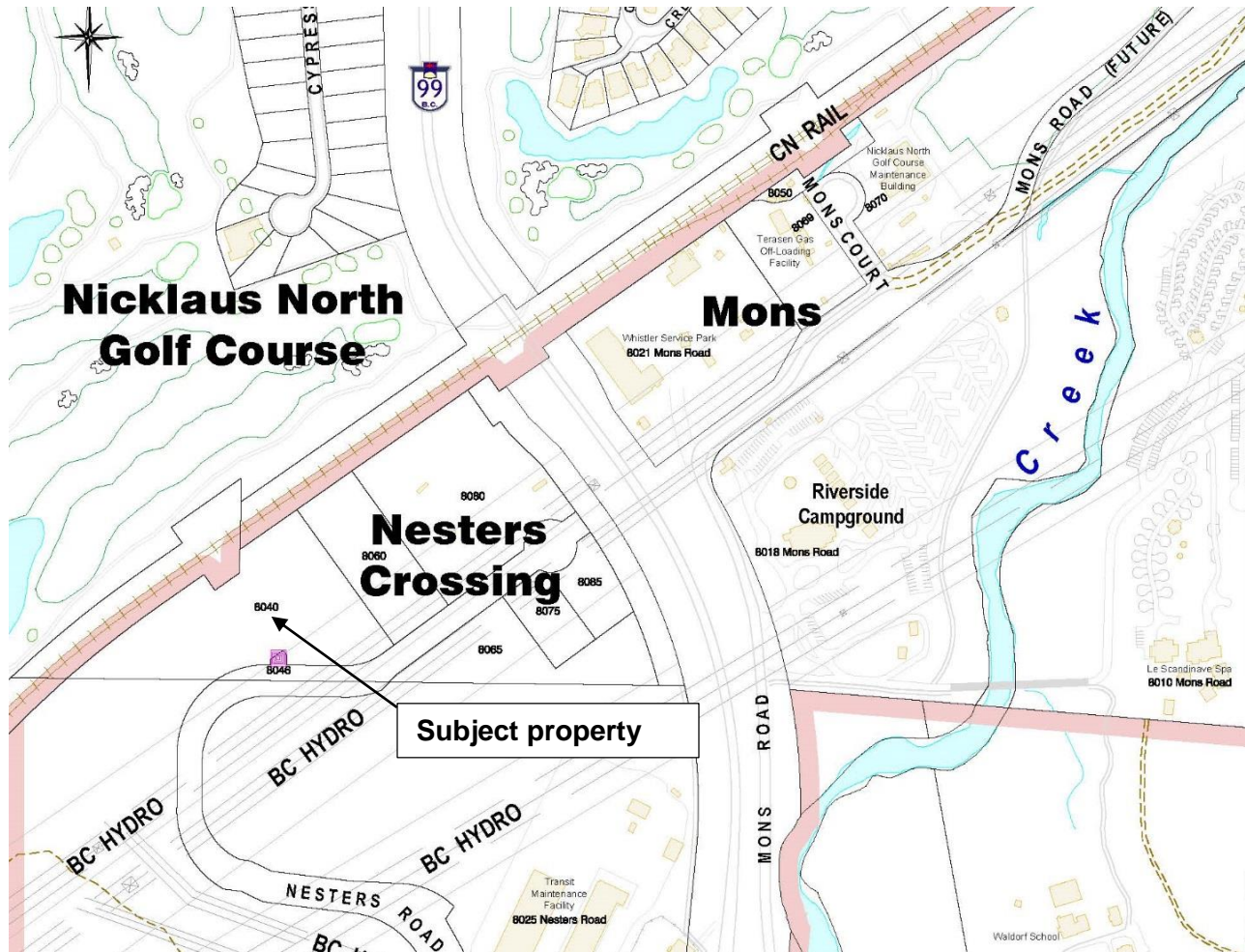
SUMMARY

This report seeks Council's approval of the issuance of Development Permit DP 1488, an application for the proposed subdivision of 8040 Nesters Road into 3 lots and the phase 1 development of the lots for industrial development subject to the resolution of some detailed items to the satisfaction of staff.

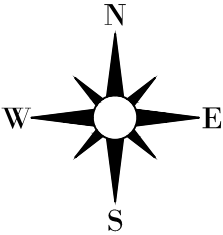
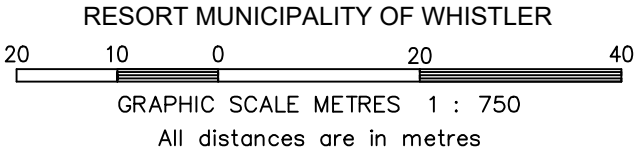
Respectfully submitted,

Melissa Laidlaw
SENIOR PLANNER
for
Jan Jansen
GENERAL MANAGER, RESORT EXPERIENCE

APPENDIX A - LOCATION MAP



REM. D.L. 2105



C.N. RAILWAY R/W
REF. PLAN 1022

REF. PLAN EPP23411 TREE BUFFER EASEMENT

PROPOSED LOT 2
AREA = 0.90 ACRES
3,632 square metres

PROPOSED LOT 3
AREA = 1.23 ACRES
4,998 square metres

LOT D
AREA = 4.17 ACRES
16,897.9 square metres

PROPOSED C.M.E. LOT 1
AREA = 2.04 ACRES
8,268 square metres

VALLEY TRAIL SRW AREA WITHIN
CME LOT = 0.18 ACRES
(719 square metres)

REF. PLAN EPP23228 ACCESS EASEMENT
REF. PLAN EPP23224

ROAD

RECEIVED RMOW 2016-02-15

DOUG BUSH SURVEY SERVICES Ltd.
Douglas J. Bush, ASCT, RSIS
Applied Science Technologist
Unit 18, 1370 Alpha Lake Road, Whistler, B.C. VON 1B1
Phone 932-3314 F 932-3039 E-mail:
doug@dbss.ca http://dbss.ca

Notes:
- ELEVATIONS ARE GEODETIC NAD83 DERIVED FROM
WATER RESOURCES MONUMENT NO. 1685 LOCATED
UNDER THE MONS OVERPASS ELEVATION USED 640.702 METRES

Date:
February 3, 2016
Files:
06163.CRD

Client: N.S.W. HOLDINGS
Project: MONS DEVELOPMENT
PROPOSED LOT CONFIGURATION

SCALE: 1:750
JOB NO.: J16026
DWG.: 16008B-2

REV:

REM. D.L. 2105

APPENDIX C

ATA
ATA ARCHITECTURAL DESIGN LTD

200-1687 WEST BROADWAY
VANCOUVER, B.C. V6J 1X2
TEL. (604) 736-3730

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REVISIONS:

rev.	date	description
1.	FEB 15/16	ISSUED FOR DP
2.	APR. 05/16	REISSUED FOR DP
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CONSULTANT:

KENWOOD
CONSTRUCTION
CORP.

205A-1410 Alpha Lake Road,
Whistler, B.C.
VoN 1B1
604 889-2043
www.kenwoodconstruction.ca

PROJECT:

NESTERS
CROSSING

8040 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:

CME-
SITE PLAN

CHECKED BY: ATA

DRAWN BY: MC, CL

START DATE: OCT 27, 2015

SCALE: AS NOTED

PROJECT NO. DRAWING NO.

15-51 A1.0

1 SITE PLAN
A10 SCALE: 1/32"=1'-0"

BUILDING INFORMATION

LEGAL DESCRIPTION: LOT D PLAN EPP54641 (PID 02964916)
ZONING: CTHCOMMUNITY AND TRANSPORTATION INFRASTRUCTURE
TOTAL LOT D AREA: 4.17 ACRES (16,897.9 SQ.M)

SUBDIVISION:

LOT 1 AREA: 2.04 ACRES (8,268 SQ.M)
CIVIC ADDRESS: 8040 NESTERS ROAD, WHISTLER, B.C.

LOT 2 AREA: 0.90 ACRES (3,632 SQ.M)
CIVIC ADDRESS: 8048 NESTERS ROAD, WHISTLER, B.C.

LOT 3 AREA: 1.23 ACRES (4,998 SQ.M)
CIVIC ADDRESS: 8056 NESTERS ROAD, WHISTLER, B.C.

LOT 1: (PROPOSED CME BUILDING)
CIVIC ADDRESS: 8040 NESTERS ROAD, WHISTLER, B.C.
LOT AREA: 2.04 ACRES
8,268 SQ.M (88,996 SQ.FT.)

FSR:
REQUIRED: 0.5 4,134 SQ.M (44,498 SQ.FT.)
PROPOSED: 0.1 870 SQ.M (9,365 SQ.FT.)

BUILDING HEIGHT:
REQUIRED: 12M (39'-4") PROPOSED: 8.38M (27'-6")

SITE COVERAGE:
REQUIRED: 40% 3,307 SQ.M (35,598 SQ.FT.)
PROPOSED: 8.0% 658 SQ.M (7,079 SQ.FT.)

SETBACK
FRONT 7.5M (24'-7 1/4") PROPOSED 8.43M (27'-3/4")
REAR 3.0M (9'-10 1/8") 17.45M (57'-3")
SIDE 3.0M (9'-10 1/8") 12.85M (42'-1 7/8")

PARKING REQUIREMENT:
OFFICE AREA: 3,204 SQ.FT (298 SQ.M)
MEZZANINE AREA: 691 SQ.FT (64 SQ.M)
TOTAL: 3895 SQ.FT (362 SQ.M)
PARKING #3 SPACE PER 100 SQ.M
362/100 X3-11 PARKING
INDUSTRY AREA: 5,477 SQ.FT (508.8 SQ.M)
PARKING #1 SPACE PER 100 SQ.M
509/100-5 PARKING
ACCESSIBLE PARKING: 1 SPACE PER 100 PARKING SPACE
TOTAL PARKING REQUIREMENT: 17 PARKING
1 LOADING BAY/1000 SQ.M
PROPOSED: 21 PARKING STALLS 1 H/C PARKING
1 LOADING BAY

LOT 3: (PROPOSED WHISTLER CONNECTION BUILDING)
CIVIC ADDRESS: 8056 NESTERS ROAD, WHISTLER, BC
AREA: 123 ACRES
4,998 SQ.M (53,798 SQ.FT.)

FSR:
REQUIRED: 0.5 2,499 SQ.M (26,899 SQ.FT.)
PROPOSED: 0.18 (898 SQ.M) (9,866 SQ.FT.)

BUILDING HEIGHT:
REQUIRED: 12M (39'-4") PROPOSED: 7.925M (26'-0")

SITE COVERAGE:
REQUIRED: 40% 1,999.2 SQ.M (21,519 SQ.FT.)
PROPOSED: 14% 694 SQ.M (7,470 SQ.FT.)

SETBACK
FRONT 7.5M (24'-7 1/4") PROPOSED N/A
REAR 3.0M (9'-10 1/8") N/A
SIDE 3.0M (9'-10 1/8") 6.0M (19'-11 7/8")
SIDE 3.0M (9'-10 1/8") 16.80M (54'-9 1/2")

PARKING REQUIREMENT:
OFFICE AREA: 3,894 SQ.FT (362 SQ.M)
MEZZANINE AREA: 250 SQ.FT (23 SQ.M)
TOTAL: 4,144 SQ.FT (385 SQ.M)
PARKING #3 SPACE PER 100 SQ.M
385/100 X3-12 PARKING
INDUSTRY AREA: 5,523 SQ.FT (513 SQ.M)
PARKING #1 SPACE PER 100 SQ.M
513/100-6 PARKING
ACCESSIBLE PARKING: 1 SPACE PER 100 PARKING SPACE
TOTAL PARKING REQUIREMENT: 18 PARKING
1 LOADING BAY/1000 SQ.M
PROPOSED: 18 PARKING 1 H/C PARKING 1 LOADING BAY

2012 BC BUILDING CODE ANALYSIS:

OCCUPANCY CLASSIFICATIONS:

ARTICLE-BCBC 2012 3.2.2.77
GROUP F2-MEDIUM HAZARD INDUSTRIAL
GROUP D-OFFICE

SPRINKLERS: YES
FIRE ALARM: YES
NO. OF STORIES: TWO
BLDG. CONST. COMB/NON-COMB.
FLOOR: 45 MIN. IF COMB.
ROOF: N/A
MEZZANINE: N/A
SUPPORTS: 45 MIN. IF COMB.
MAX. BLDG AREA: 1,800 SQ.M

EXIT REQUIREMENT:
TRAVEL DISTANCE: BCBC 2012 3.4.5.1
MAX TRAVEL DISTANCE-45 (147FT)

CODE ANALYSIS (CME)										
SPATIAL SEPARATION	AREA SQ.FT	AREA SQ.M	AREA OF OPENING SQ.FT	AREA OF OPENING SQ.M	ACTUAL DISTANCE(M)	TABLE 3.2.3.1E		TABLE 3.2.3.1E	TABLE 3.2.3.7	MIN. REQ'D FRR
						PERCENT OPENINGS	TYPE OF CONST. REQ'D	TYPE OF CLADDING REQ'D		
									ACTUAL(%)	
NORTH ELEVATION	1210	112	47	4.4	17.45	3.9%	100%	N/A	N/A	N/A
SOUTH ELEVATION	1883	156	516	48	8.43	31%	42%	COMB./NON-COMB.	NON-COMB.	1HR
WEST ELEVATION	2785	258	1174	109	N/A	N/A	N/A	N/A	N/A	N/A
EAST ELEVATION	2785	258	1016	94	12.85	36%	78%	COMB./NON-COMB.	COMB./NON-COMB.	1HR

CODE ANALYSIS (CONNECTION)										
SPATIAL SEPARATION	AREA SOFT	AREA SOM	AREA OF OPENING SOFT	AREA OF OPENING SOM	ACTUAL DISTANCE(M)	TABLE 3.2.3.1E		TABLE 3.2.3.1E		MIN. REQ'D FRR
						PERCENT OPENINGS	TYPE OF CONST. REQ'D	TYPE OF CLADDING REQ'D		
						ACTUAL(I)	ALLOWED(I)			
NORTH ELEVATION	3020	281	320	30	23.65	10.61	100%	N/A	N/A	N/A
SOUTH ELEVATION	3020	281	1475	137	26.82	48.81	100%	N/A	N/A	N/A
WEST ELEVATION	1191	111	21	2	16.70	1.81	100%	N/A	N/A	N/A
EAST ELEVATION	1561	145	420	39	6.09	26.91	26.91	COMB./NON-COMB.	NON-COMB.	1HR

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1.	FEB 15/16	ISSUED FOR DP
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3.	MAY 05/16	ISSUED FOR BP
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CORP.

205A-1410 Alpha Lake Road,
Whistler, B.C.
VoN 1B1
604 889-2043
www.kenwoodconstruction.ca

PROJECT:

NESTERS
CROSSING

8040 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:

CME-
MAIN FLOOR
PLAN

CHECKED BY: ATA

DRAWN BY: MC, CL

START DATE: OCT 27, 2015

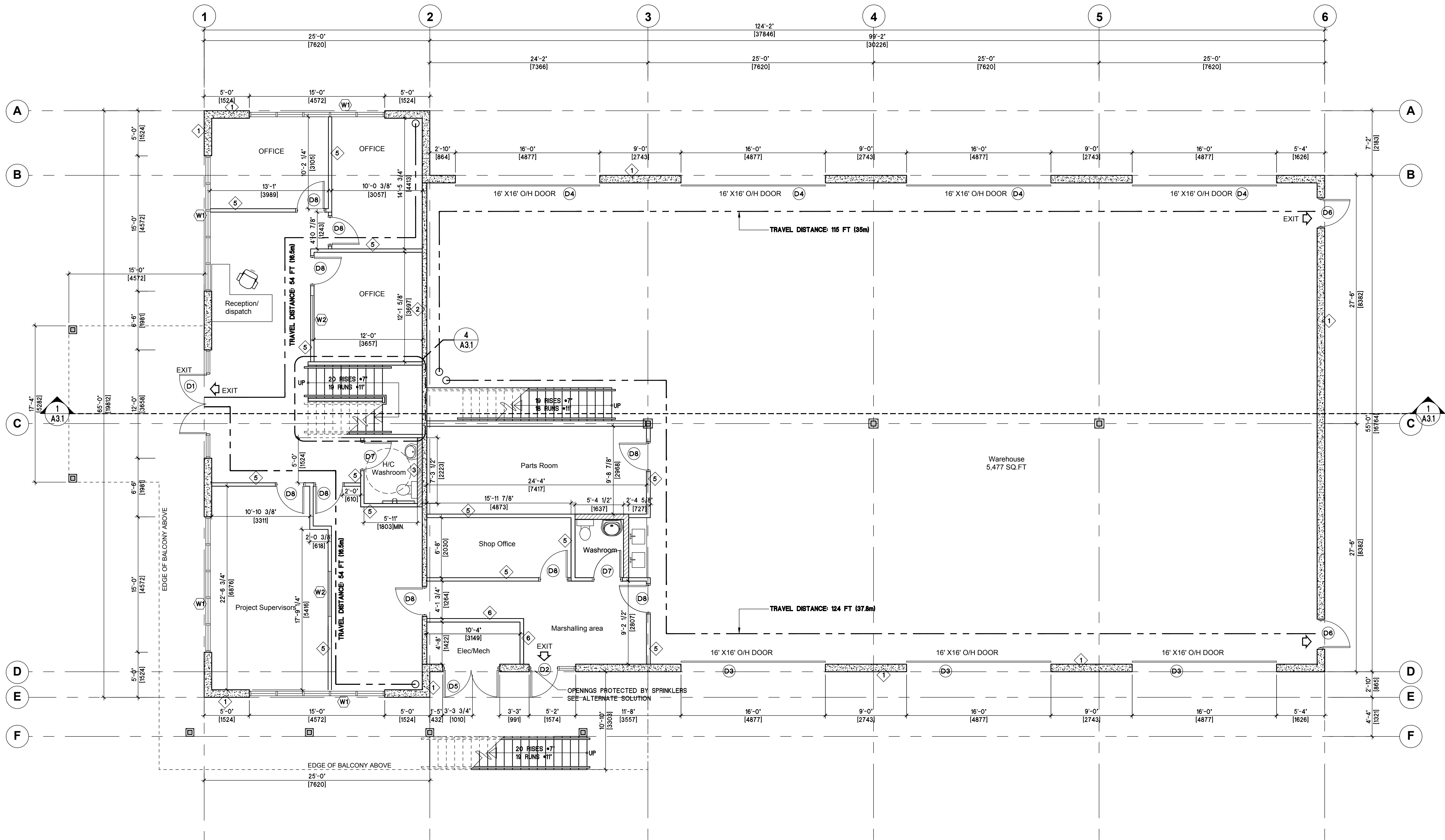
SCALE: AS NOTED

PROJECT NO.

DRAWING NO.

15-51

A2.0



1 MAIN FLOOR PLAN
A2.0 SCALE: 3/16"=1'-0"



WAREHOUSE AREA: 5,477 SQ.FT(508.8 SQ.M)
OFFICE AREA: 1,602 SQ.FT(148.8 SQ.M)
TOTAL : 7,079 SQ.FT(657.6 SQ.M)

WALL SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXTERIOR CONCRETE INSULATED PANEL: -10" CAST IN PLACE CONCRETE (MIN. R13.3 AS PER ASHRAE 90.1 2010)		PLUMBING WALL -1/2" G.W.B. -8" STEEL STUD @16" O.C. -1/2" G.W.B.
	2 HR F.R.R. INTERIOR PARTITION WALL: 6" CONCRETE WALL		INTERIOR STEEL STUDS WALL -1/2" G.W.B. -3-5/8" STEEL STUD @16" O.C. -1/2" G.W.B.
	INTERIOR FURRING WALL: -6" STEEL STUD @16" O.C. -1/2" G.W.B.		MECH/ELECT. WALL (3/4" HR F.R.R.) -5/8" TYPE 'X' G.W.B. -3-5/8" STEEL STUD @16" O.C. -5/8" TYPE 'X' G.W.B.

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3.	MAY 05/16	ISSUED FOR BP
3.	MAY 20/16	REISSUED FOR BP
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KENWOOD
CONSTRUCTION
CORP.205A-1410 Alpha Lake Road,
Whistler, B.C.
VoN 1B1
604 889-2043
www.kenwoodconstruction.ca

PROJECT:

NESTERS
CROSSING8040 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:

CME-
SECOND
FLOOR PLAN

CHECKED BY: ATA

DRAWN BY: MC, CL

START DATE: OCT 27, 2015

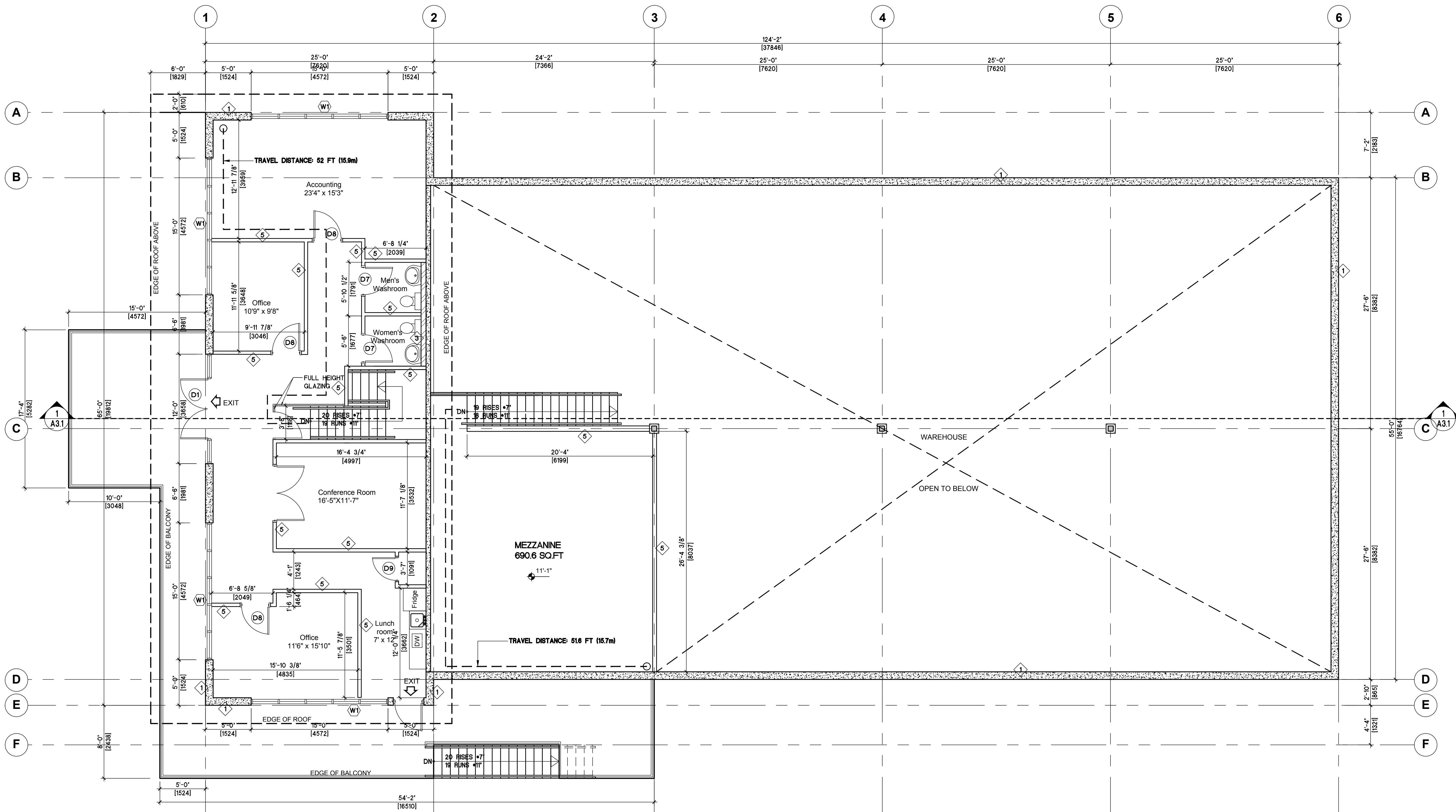
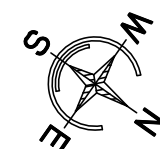
SCALE: AS NOTED

PROJECT NO.

DRAWING NO.

15-51

A2.1

2
A20 SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"MEZZANINE AREA: 690.6 SQ.FT (64.2 SQ.M)
OFFICE AREA: 1,602 SQ.FT (148.8 SQ.M)
TOTAL : 2,292.6 SQ.FT (213 SQ.M)

WALL SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXTERIOR CONCRETE INSULATED PANEL: -10' CAST IN PLACE CONCRETE (MIN. R19.3 AS PER ASHRAE 90.1 2010)		PLUMBING WALL -1/2" G.W.B. -6" STEEL STUD @16" O.C. -1/2" G.W.B.
	2 HR FRR INTERIOR PARTITION WALL: 6" CONCRETE WALL		INTERIOR STEEL STUDS WALL -1/2" G.W.B. -3-5/8" STEEL STUD @16" O.C. -1/2" G.W.B.
	INTERIOR FURRING WALL: -6" STEEL STUD @16" O.C. -1/2" G.W.B.		MECH/ELECT. WALL (3/4" HR FRR) -5/8" TYPE 'X' G.W.B. -3-5/8" STEEL STUD @16" O.C. -5/8" TYPE 'X' G.W.B.

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205A-1410 Alpha Lake Road,
Whistler, B.C.
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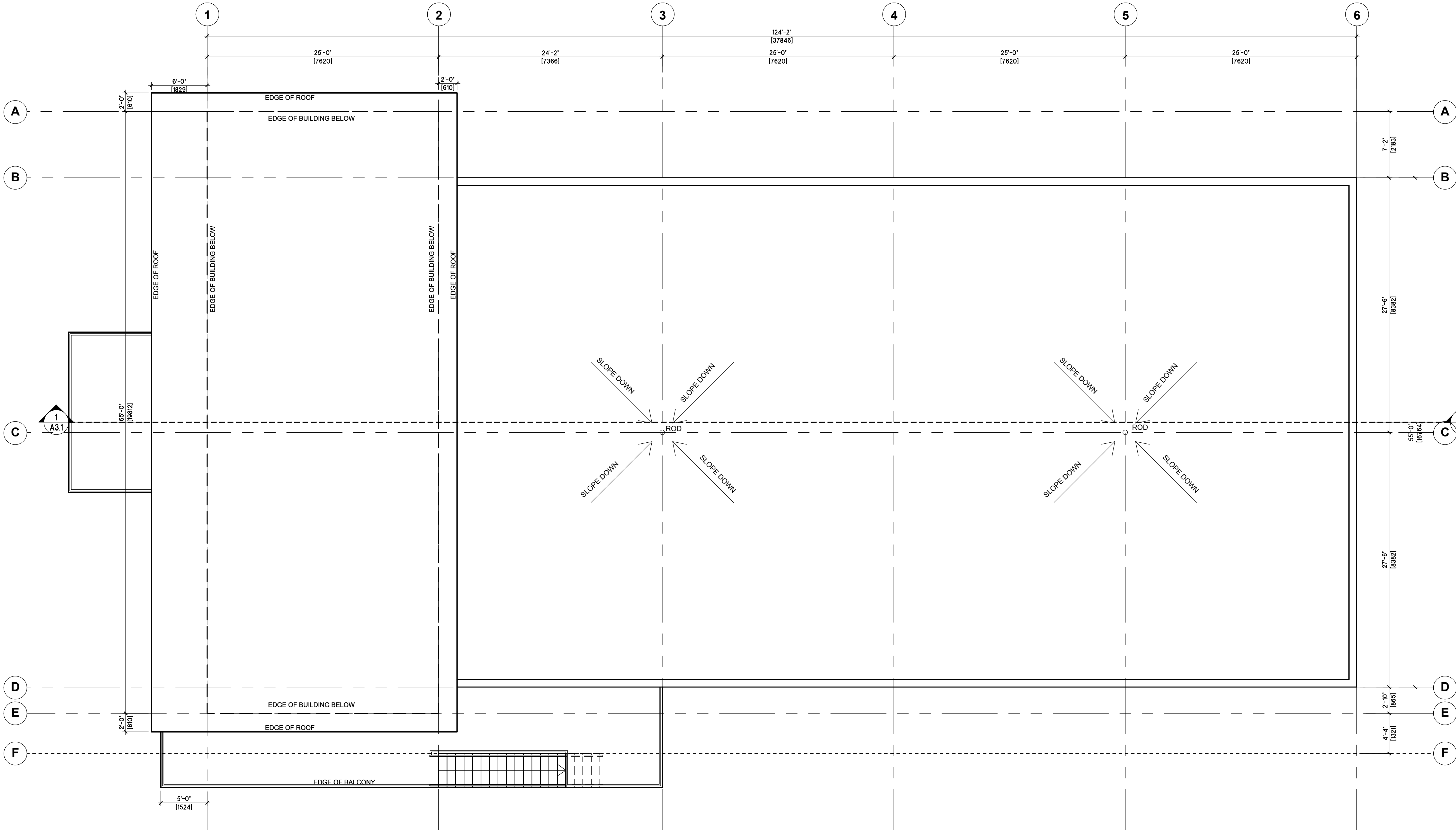
PROJECT:
**NESTERS
CROSSING**

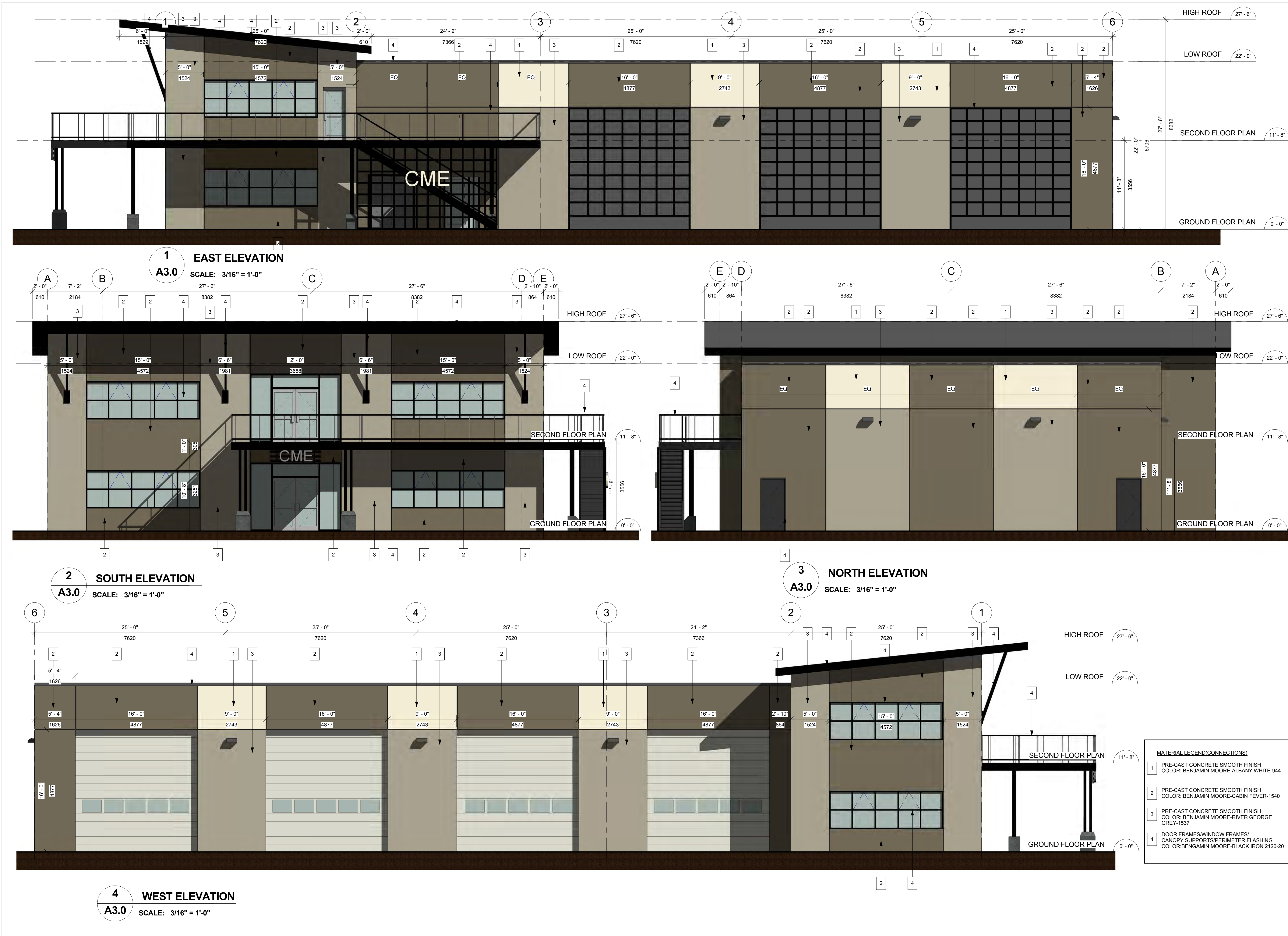
8040 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:
**CME-
ROOF PLAN**

CHECKED BY: ATA
DRAWN BY: MC, CL
START DATE: OCT 27, 2015
SCALE: AS NOTED

PROJECT NO.	DRAWING NO.
15-51	A2.2





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REVISIONS:

rev.	date	description
1.	FEB 15-16	ISSUED FOR DP
2.	APR 05-16	REISSUED FOR DP
3.	MAY 05-16	ISSUED FOR BP
4.	MAY 20-16	REISSUED FOR BP
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PROJECT:

**NESTERS
CROSSING**

8040 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:

**CME-
ELEVATIONS**

CHECKED BY: ATA

DRAWN BY: MC, CL

START DATE: OCT 27, 2015

SCALE: As indicated

PROJECT NO.	DRAWING NO.
15-51	A3.0

REVISIONS:

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1.	FEB 15/16	ISSUED FOR DP
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PROJECT:

**NESTERS
CROSSING**

8040 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:

**CME-
SECTION/DETAILS**

CHECKED BY: ATA

DRAWN BY: MC, CL

START DATE: OCT 27, 2015

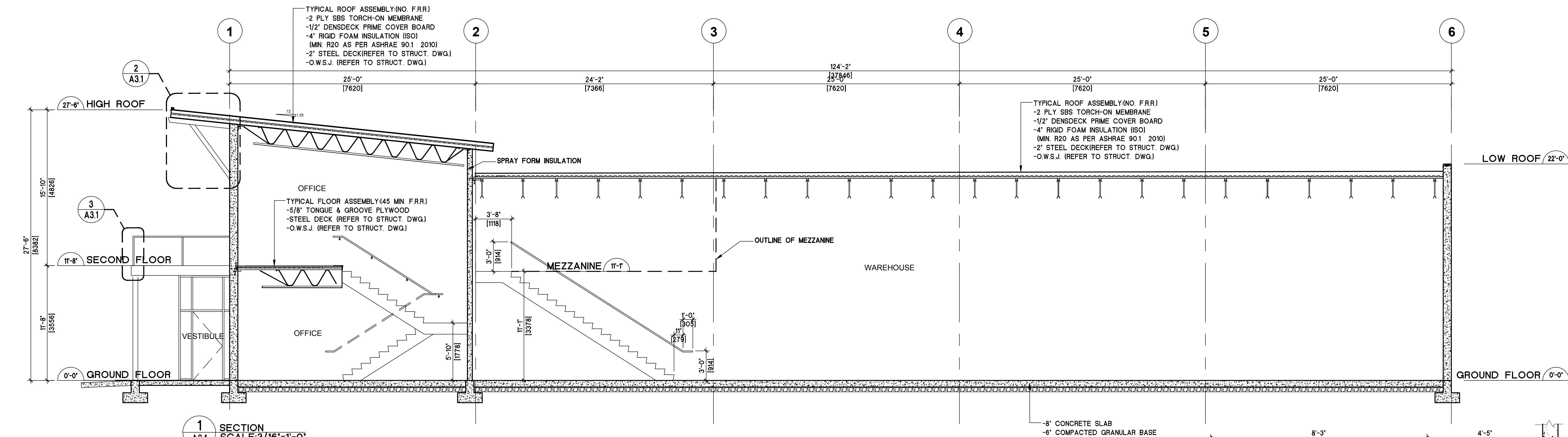
SCALE: AS NOTED

PROJECT NO.

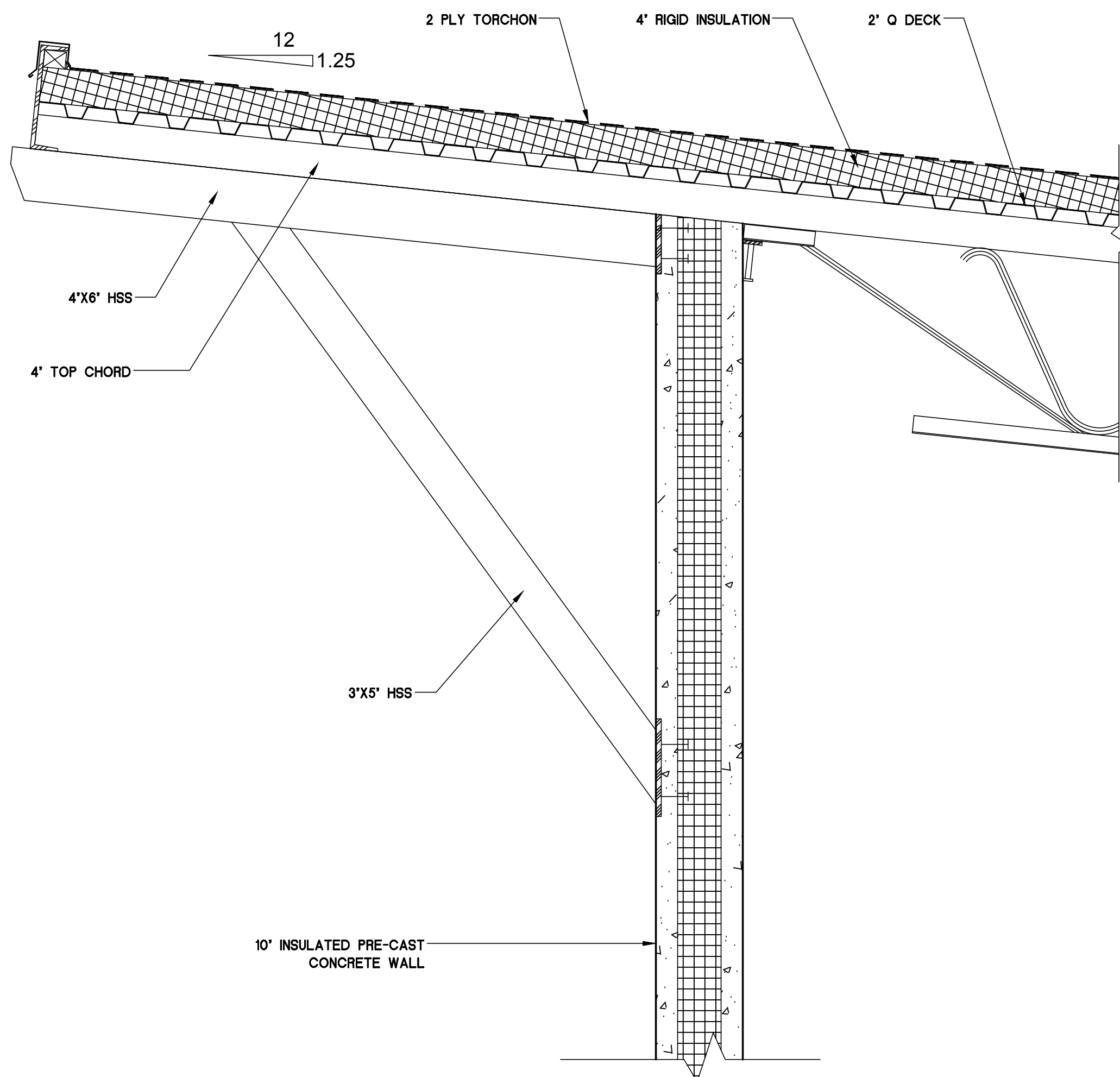
DRAWING NO.

15-51

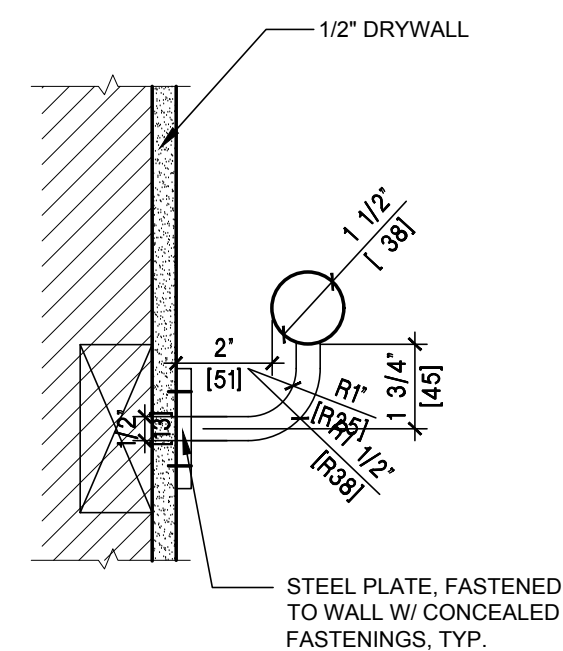
A3.1



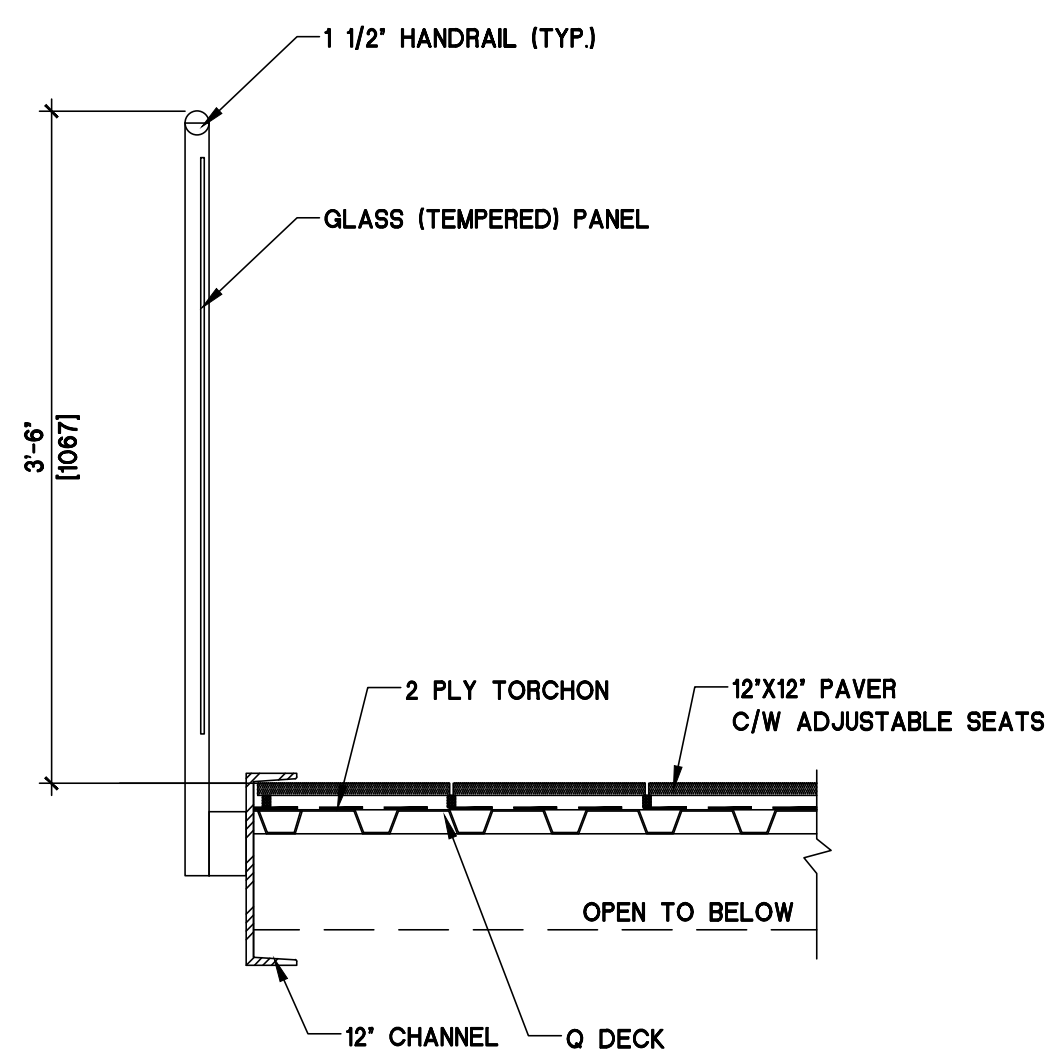
1 SECTION
A3.1
SCALE: 3/16"=1'-0"



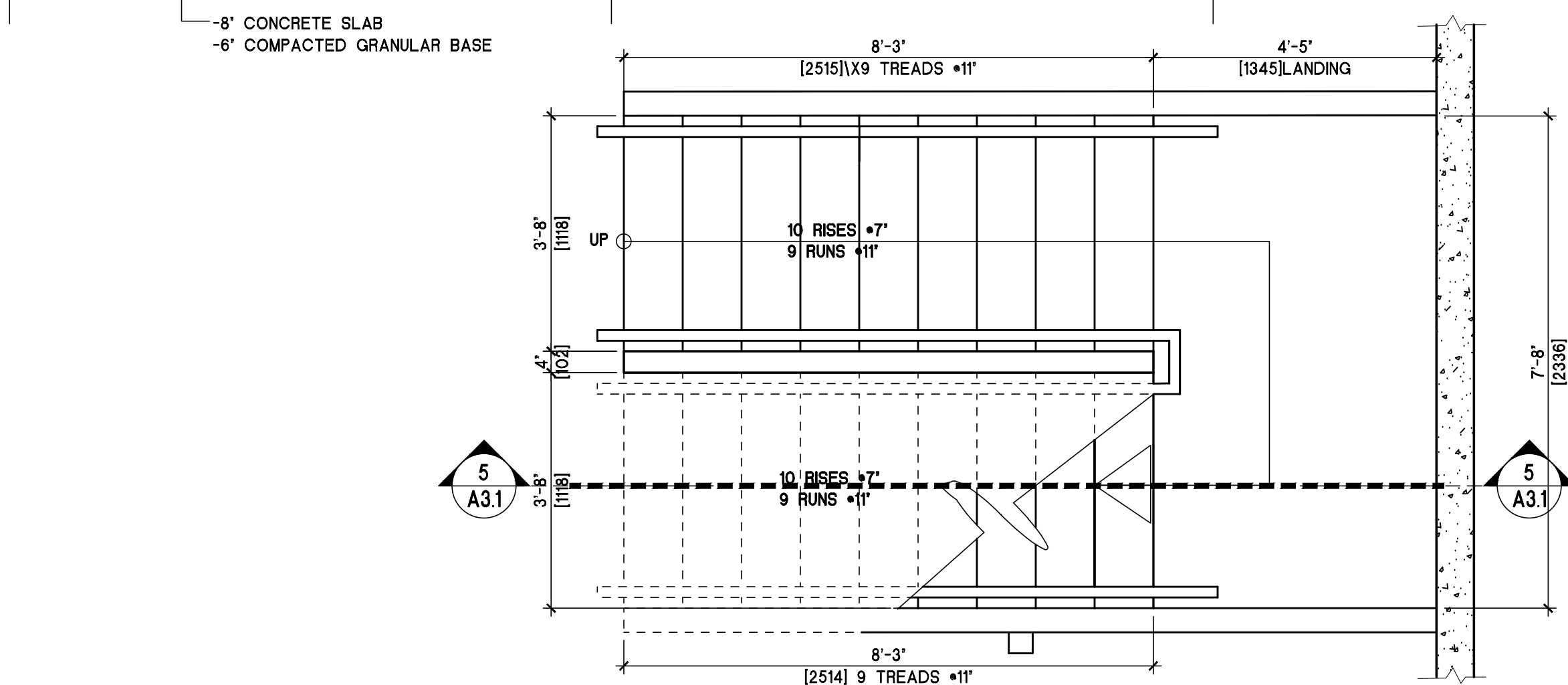
2 ROOF OVERHANG DETAIL
A3.1
SCALE: 1"=1'-0"



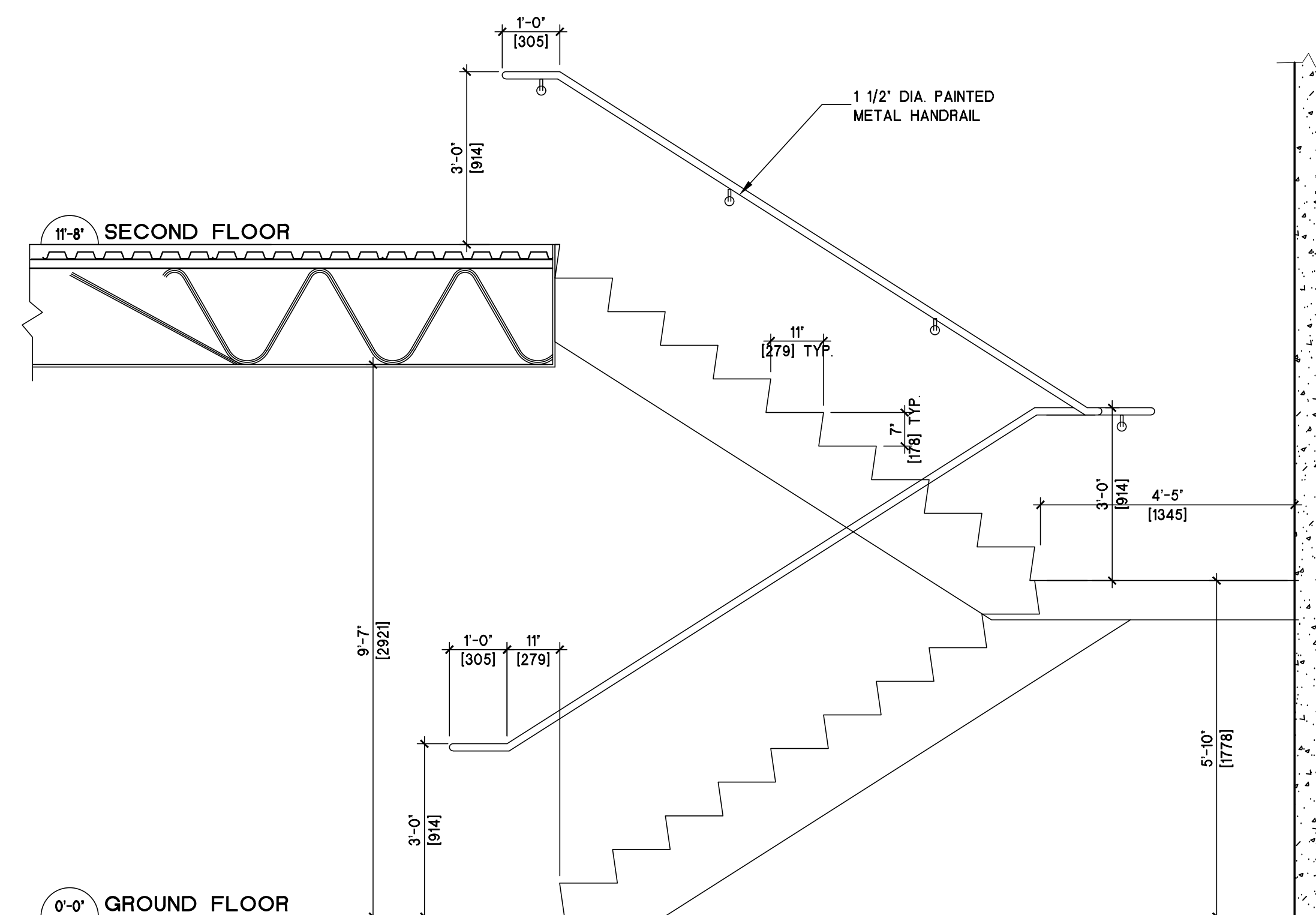
6 TYPICAL HANDRAIL DETAILS
A3.1
SCALE: 3"=1'-0"



3 BALCONY DETAIL
A3.1
SCALE: 1"=1'-0"



4 STAIR PLAN
A3.1
SCALE: 1/2"=1'-0"



5 STAIR SECTION
A3.1
SCALE: 1/2"=1'-0"

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VoN 1B1
604 889-2043
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PROJECT:
NESTERS CROSSING

8040 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:
**CME-
SCHEDULES**

CHECKED BY:ATA

DRAWN BY:MC, CL

START DATE:OCT 27, 2015

SCALE:AS NOTED

PROJECT NO.
15-51

DRAWING NO.
A7.0

DOOR SCHEDULE										HARDWARE SCHEDULE													
Q	Z	P	O	O	D	DOOR SIZE	LOCATION	DOOR															
								F.P.R.	MATERIAL			FINISH	GLAZING	FRAME		HINGE	LOCKSET				MISC.	NOTES	
									PRESSED STEEL	STEEL SECTION O/H	ALUMINUM STORE FRONT	SOLID CORE WOOD	HOLLOW CORE WOOD	GLAZE	PAINT	PLASTIC LAMINATE	BAKED ENAMEL	CLEAR ANODIZED	1/4" ACRYLIC	6 MIL SAFETY			
D1						6'-0"x7'-0"	MAIN ENTRY	NONE			●												
D2						3'-0"x7'-0"	SIDE ENTRY	45MIN.			●												
D3						16'-0"x16'-0"	LOADING	NONE		●													
D4						16'-0"x16'-0"	LOADING	NONE		●													
D5						5'-8"x7'-0"	ELECT./MECH. RM	45MIN.	●														
D6						3'-0"x7'-0"	EXTERIOR EXIT	NONE	●														
D7						3'-0"x7'-0"	WASH RM	NONE			●												
D8						3'-0"x7'-0"	OFFICE	NONE	●														
D9						2'-6"x7'-0"	CLOSET		●														

REM. D.L. 2105



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PROJECT:
NESTERS CROSSING

8056 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:
WHISTLER CONNECTION-SITE PLAN

CHECKED BY: ATA

DRAWN BY: MC, CL

START DATE: OCT 27, 2015

SCALE: AS NOTED

PROJECT NO. DRAWING NO.

15-51 A1.0

1 SITE PLAN
A10 SCALE: 1/32"=1'-0"

BUILDING INFORMATION

LEGAL DESCRIPTION: LOT D PLAN EPP54641 (PID 02964916)
ZONING: CTHCOMMUNITY AND TRANSPORTATION INFRASTRUCTURE)
TOTAL LOT D AREA: 4.17 ACRES (16,897.9 SQ.M)

SUBDIVISION:

LOT 1 AREA: 2.04 ACRES (8,268 SQ.M)
CIVIC ADDRESS: 8040 NESTERS ROAD, WHISTLER, B.C.

LOT 2 AREA: 0.90 ACRES (3,632 SQ.M)
CIVIC ADDRESS: 8048 NESTERS ROAD, WHISTLER, B.C.

LOT 3 AREA: 1.23 ACRES (4,998 SQ.M)
CIVIC ADDRESS: 8056 NESTERS ROAD, WHISTLER, B.C.

LOT 1: (PROPOSED CME BUILDING)
CIVIC ADDRESS: 8040 NESTERS ROAD, WHISTLER, B.C.
LOT AREA: 2.04 ACRES
8,268 SQ.M (88,996 SQ.FT.)

FSR:
REQUIRED: 0.5 4,134 SQ.M (44,498 SQ.FT.)
PROPOSED: 0.1 870 SQ.M (9,365 SQ.FT.)

BUILDING HEIGHT:
REQUIRED: 12M (39'-4") PROPOSED: 8.38M (27'-6")

SITE COVERAGE:
REQUIRED: 40% 3,307 SQ.M (35,598 SQ.FT.)
PROPOSED: 8.0% 658 SQ.M (7,079 SQ.FT.)

SETBACK
FRONT 7.5M (24'-7 1/4") PROPOSED 8.43M (27'-3/4")
REAR 3.0M (9'-10 1/8") 17.45M (57'-3")
SIDE 3.0M (9'-10 1/8") 12.85M (42'-1 7/8")

PARKING REQUIREMENT:
OFFICE AREA: 3,204 SQ.FT (298 SQ.M)
MEZZANINE AREA: 691 SQ.FT (64 SQ.M)
TOTAL: 3895 SQ.FT (362 SQ.M)
PARKING #3 SPACE PER 100 SQ.M
362/100 X3-11 PARKING
INDUSTRY AREA: 5,477 SQ.FT (508.8 SQ.M)
PARKING #1 SPACE PER 100 SQ.M
509/100-5 PARKING
ACCESSIBLE PARKING: 1 SPACE PER 100 PARKING SPACE
TOTAL PARKING REQUIREMENT: 17 PARKING
1 LOADING BAY/1000 SQ.M
PROPOSED: 21 PARKING STALLS 1 H/C PARKING
1 LOADING BAY

LOT 3: (PROPOSED WHISTLER CONNECTION BUILDING)
CIVIC ADDRESS: 8056 NESTERS ROAD, WHISTLER, BC
AREA: 123 ACRES
4,998 SQ.M (53,798 SQ.FT.)

FSR:
REQUIRED: 0.5 2,499 SQ.M (26,899 SQ.FT.)
PROPOSED: 0.18 (898 SQ.M) (9,866 SQ.FT.)

BUILDING HEIGHT:
REQUIRED: 12M (39'-4") PROPOSED: 7.925M (26'-0")

SITE COVERAGE:
REQUIRED: 40% 1,999.2 SQ.M (21,519 SQ.FT.)
PROPOSED: 14% 694 SQ.M (7,470 SQ.FT.)

SETBACK
FRONT 7.5M (24'-7 1/4") PROPOSED N/A
REAR 3.0M (9'-10 1/8") N/A
SIDE 3.0M (9'-10 1/8") 6.0M (19'-11 7/8")
SIDE 3.0M (9'-10 1/8") 16.80M (54'-9 1/2")

PARKING REQUIREMENT:
OFFICE AREA: 3,894 SQ.FT (362 SQ.M)
MEZZANINE AREA: 250 SQ.FT (23 SQ.M)
TOTAL: 4,144 SQ.FT (385 SQ.M)
PARKING #3 SPACE PER 100 SQ.M
385/100 X3-12 PARKING
INDUSTRY AREA: 5,523 SQ.FT (513 SQ.M)
PARKING #1 SPACE PER 100 SQ.M
513/100-6 PARKING
ACCESSIBLE PARKING: 1 SPACE PER 100 PARKING SPACE
TOTAL PARKING REQUIREMENT: 18 PARKING
1 LOADING BAY/1000 SQ.M
PROPOSED: 18 PARKING 1 H/C PARKING 1 LOADING BAY

2012 BC BUILDING CODE ANALYSIS:

OCCUPANCY CLASSIFICATIONS:

ARTICLE-BCBC 2012 3.2.2.77
GROUP F2-MEDIUM HAZARD INDUSTRIAL
GROUP D-OFFICE

SPRINKLERS: YES
FIRE ALARM: YES
NO. OF STORIES: TWO
BLDG. CONST. COMB/NON-COMB.
FLOOR: 45 MIN. IF COMB.
ROOF: N/A
MEZZANINE: N/A
SUPPORTS: 45 MIN. IF COMB.
MAX. BLDG AREA: 1,800 SQ.M

EXIT REQUIREMENT:
TRAVEL DISTANCE: BCBC 2012 3.4.5.1
MAX TRAVEL DISTANCE-45 (147FT)

CODE ANALYSIS (CME)												
SPATIAL SEPARATION	AREA SQ.FT	AREA SQ.M	AREA OF OPENING SQ.FT	AREA OF OPENING SQ.M	ACTUAL DISTANCE(M)	TABLE 3.2.3.1E		TABLE 3.2.3.1E	TABLE 3.2.3.7		MIN. REQ'D FRR	
						PERCENT OPENINGS	ALLOWED(II)		TYPE OF CONST. REQ'D	TYPE OF CLADDING REQ'D		
						ACTUAL(I)	ALLOWED(II)					
NORTH ELEVATION	1210	112	47	4.4	17.45	3.9%	100%	N/A		N/A	N/A	
SOUTH ELEVATION	1883	156	516	48	8.43	31%	42%	COMB./NON-COMB.		NON-COMB.	1R	
WEST ELEVATION	2785	258	1174	109	N/A	N/A	N/A	N/A		N/A	N/A	
EAST ELEVATION	2785	258	1016	94	12.85	36%	78%	COMB./NON-COMB.		COMB./NON-COMB.	1R	

CODE ANALYSIS (CONNECTION)												
SPATIAL SEPARATION	AREA SQ.FT	AREA SQ.M	AREA OF OPENING SQ.FT	AREA OF OPENING SQ.M	ACTUAL DISTANCE(M)	TABLE 3.2.3.1E		TABLE 3.2.3.1E	TYPE OF CONST. REQ'D	TABLE 3.2.3.7	TYPE OF CLADDING REQ'D	MIN. REQ'D FRR
						PERCENT OPENINGS						
						ACTUAL(I)	ALLOWED(I)					
NORTH ELEVATION	3020	281	320	30	23.65	10.6%	100%		N/A	N/A		N/A
SOUTH ELEVATION	3020	281	1475	137	26.62	46.8%	100%		N/A	N/A		N/A
WEST ELEVATION	1191	111	21	2	16.70	1.8%	100%		N/A	N/A		N/A
EAST ELEVATION	1561	145	420	39	6.09	26.9%	26.9%	COMB./NON-COMB.		NON-COMB.		1R

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PROJECT:

**NESTERS
CROSSING**

8056 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:

**WHISTLER
CONNECTION-
MAIN FLOOR
PLAN**

CHECKED BY: ATA

DRAWN BY: MC, CL

START DATE: OCT 27, 2015

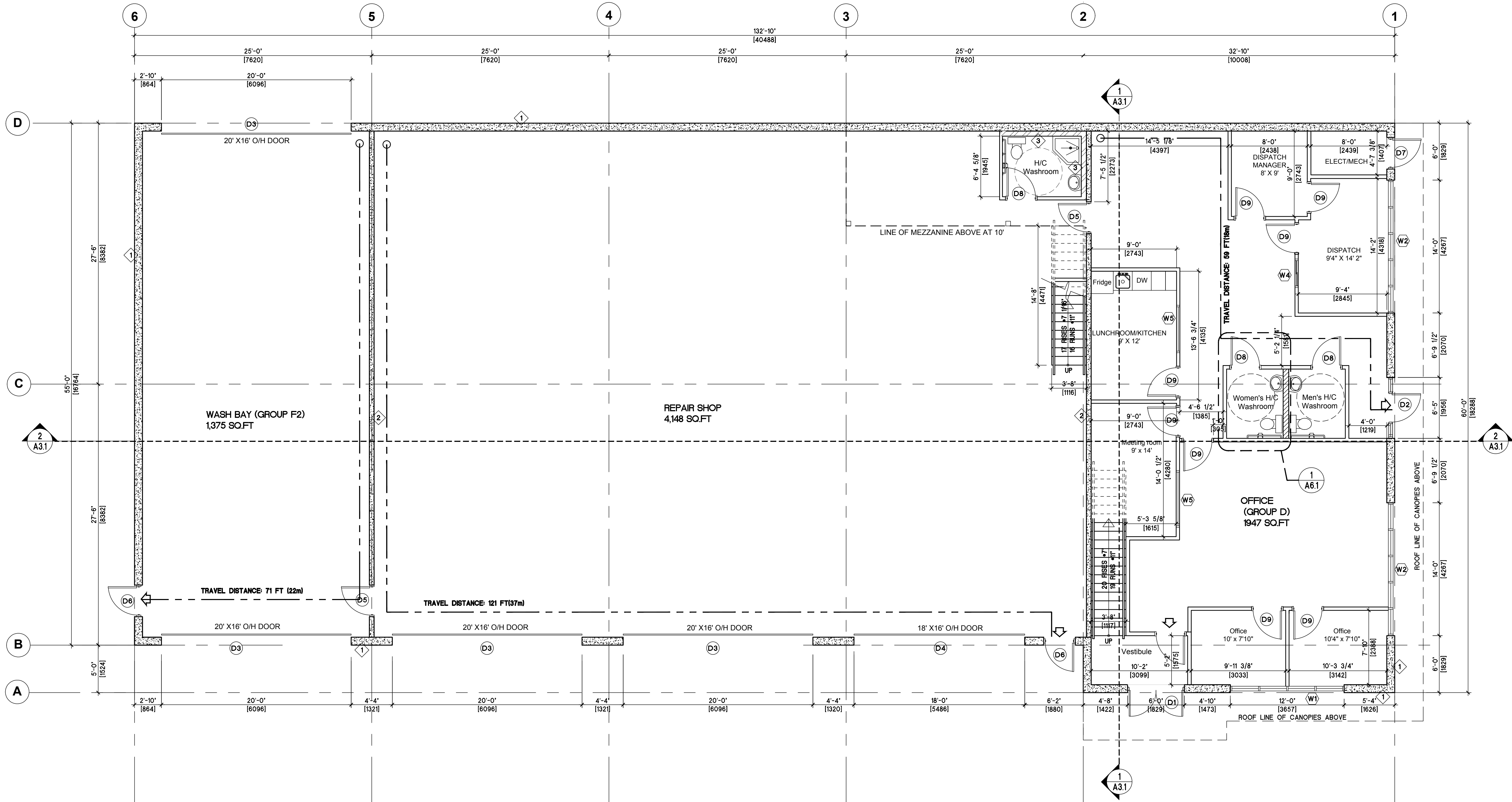
SCALE: AS NOTED

PROJECT NO.

DRAWING NO.

15-51

A2.0



1 MAIN FLOOR PLAN
A2.0 SCALE: 3/16"=1'-0"



WAREHOUSE AREA: 5,523 SQ.FT (513 SQ.M)
OFFICE AREA: 1,947 SQ.FT (181 SQ.M)
TOTAL : 7,470 SQ.FT (694 SQ.M)

WALL SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	EXTERIOR CONCRETE INSULATED PANEL: -10" CAST IN PLACE CONCRETE (MIN. R13.3 AS PER ASHRAE 90.1 2010)	4	PLUMBING WALL -1/2" G.W.B. -6" STEEL STUD @16" O.C. -1/2" G.W.B.
2	2 HR F.R.R. INTERIOR PARTITION WALL: 6" CONCRETE WALL	5	INTERIOR STEEL STUDS WALL -1/2" G.W.B. -3-5/8" STEEL STUD @16" O.C. -1/2" G.W.B.
3	INTERIOR FURRING WALL: -6" STEEL STUD @16" O.C. -1/2" G.W.B.	6	MECH/ELECT. WALL (3/4" HR F.R.R.) -5/8" TYPE 'X' G.W.B. -3-5/8" STEEL STUD @16" O.C. -5/8" TYPE 'X' G.W.B.

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PROJECT:

NESTERS
CROSSING

8056 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:

WHISTLER
CONNECTION-
SECOND
FLOOR PLAN

CHECKED BY: ATA

DRAWN BY: MC, CL

START DATE: OCT 27, 2015

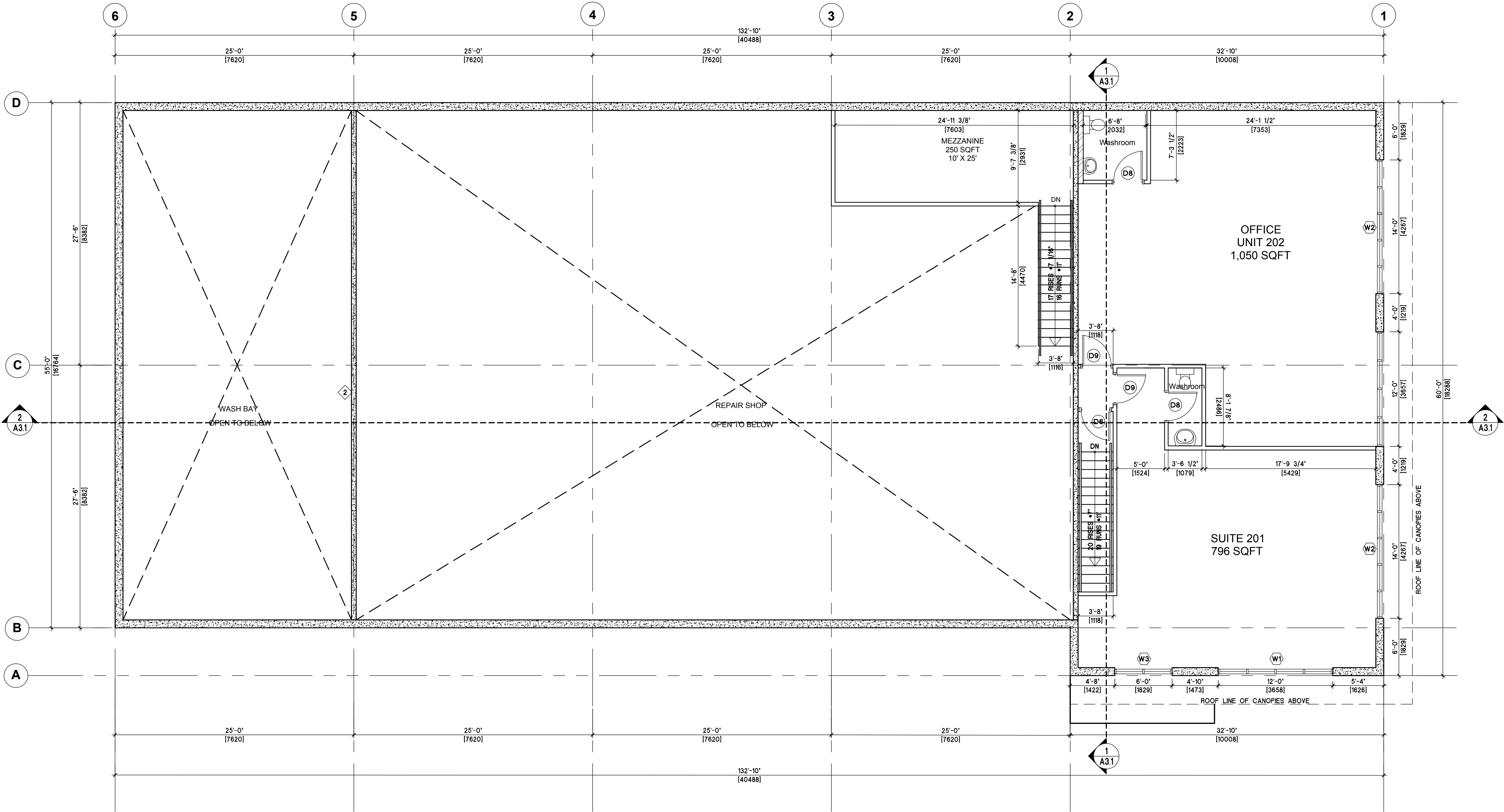
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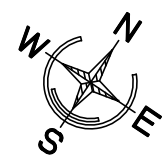
15-51

DRAWING NO.

A2.1



1
A2.1 SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



OFFICE AREA: 1,947 SQ.FT(181 SQ.M)
MEZZANINE: 250 SQ.FT (23 SQ.M)
TOTAL: 2,197 SQ.FT(204 SQ.M)

WALL SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1 [Symbol]	EXTERIOR CONCRETE INSULATED PANEL: -10" CAST IN PLACE CONCRETE (MIN. R10.3 AS PER ASHRAE 90.1 2010)	4 [Symbol]	PLUMBING WALL. -1/2" G.W.B. -6" STEEL STUD @16" O.C. -1/2" G.W.B.
2 [Symbol]	2 HR F.R.R. INTERIOR PARTITION WALL: 6" CONCRETE WALL	5 [Symbol]	INTERIOR STEEL STUDS WALL. -1/2" G.W.B. -3-5/8" STEEL STUD @16" O.C. -1/2" G.W.B.
3 [Symbol]	INTERIOR FURRING WALL: -6" STEEL STUD @16" O.C. -1/2" G.W.B.	6 [Symbol]	MECH/ELECT. WALL (3/4" HR F.R.R.) -5/8" TYPE 'X' G.W.B. -3-5/8" STEEL STUD @16" O.C. -5/8" TYPE 'X' G.W.B.

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CONSULTANT:
KENWOOD CONSTRUCTION CORP.
205A-1410 Alpha Lake Road,
Whistler, B.C.
VoN 1B1
604 889-2043
www.kenwoodconstruction.ca

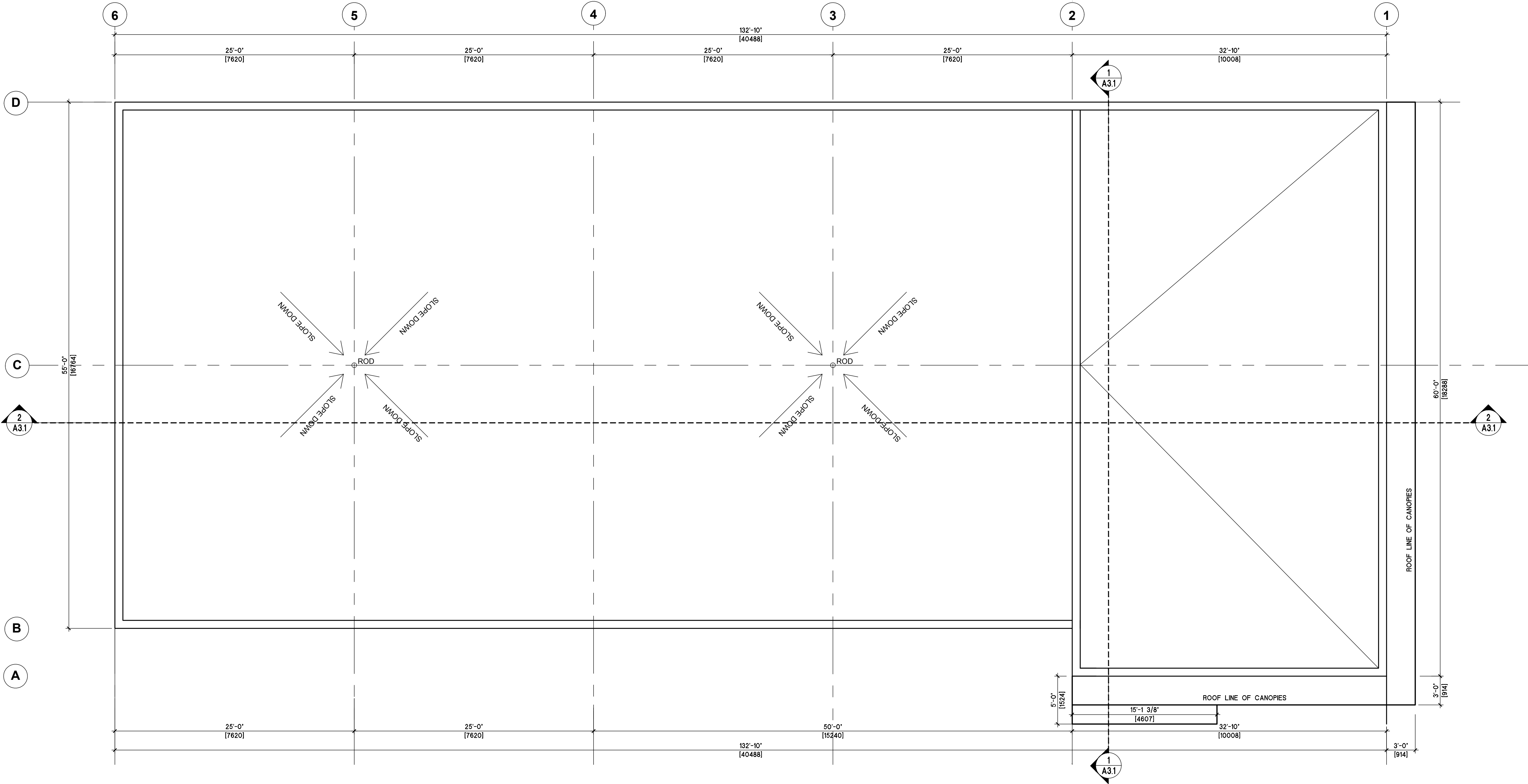
PROJECT:
NESTERS CROSSING

8056 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:
**WHISTLER CONNECTION-
ROOF PLAN**

CHECKED BY: ATA
DRAWN BY: MC, CL
START DATE: OCT 27, 2015
SCALE: AS NOTED

PROJECT NO.	DRAWING NO.
15-51	A2.2



1 ROOF PLAN
A2.2 SCALE: 3/16" = 1'-0"



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REVISIONS:

rev.	date	description
1.	FEB 15-16	ISSUED FOR DP
2.	APR 05-16	REISSUED FOR DP
3.	MAY 05-16	ISSUED FOR BP
4.	MAY 20-16	REISSUED FOR BP
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SEAL:

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CONSTRUCTION
CORP.

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V8N 1B1
604 889-2043
www.kenwoodconstruction.ca

PROJECT:

NESTERS
CROSSING

8056 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:

WHISTLER
CONNECTION-
ELEVATIONS

CHECKED BY: ATA

DRAWN BY: CL,MJ

START DATE: OCT27,2015

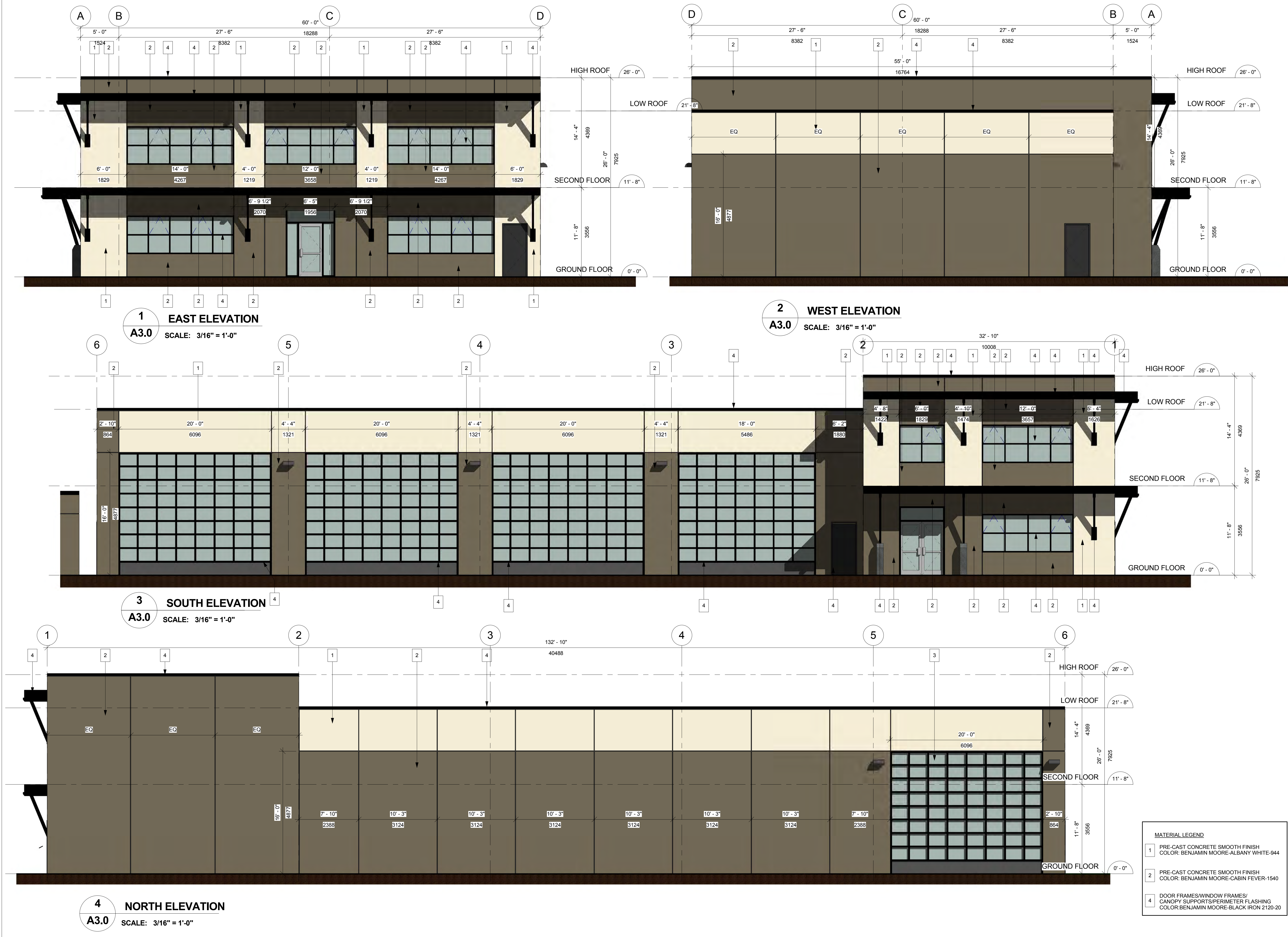
SCALE: As indicated

PROJECT NO.

15-51

DRAWING NO.

A3.0



REVISIONS:

rev.	date	description
1.	FEB 15/16	ISSUED FOR DP
2.	APR. 05/16	REISSUED FOR DP
3.	MAY 05/16	ISSUED FOR BP
3.	MAY 20/16	REISSUED FOR BP
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SEAL:

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PROJECT:

NESTERS
CROSSING

8056 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:

WHISTLER
CONNECTION-
SECTION/DETAIL

CHECKED BY: ATA

DRAWN BY: MC, CL

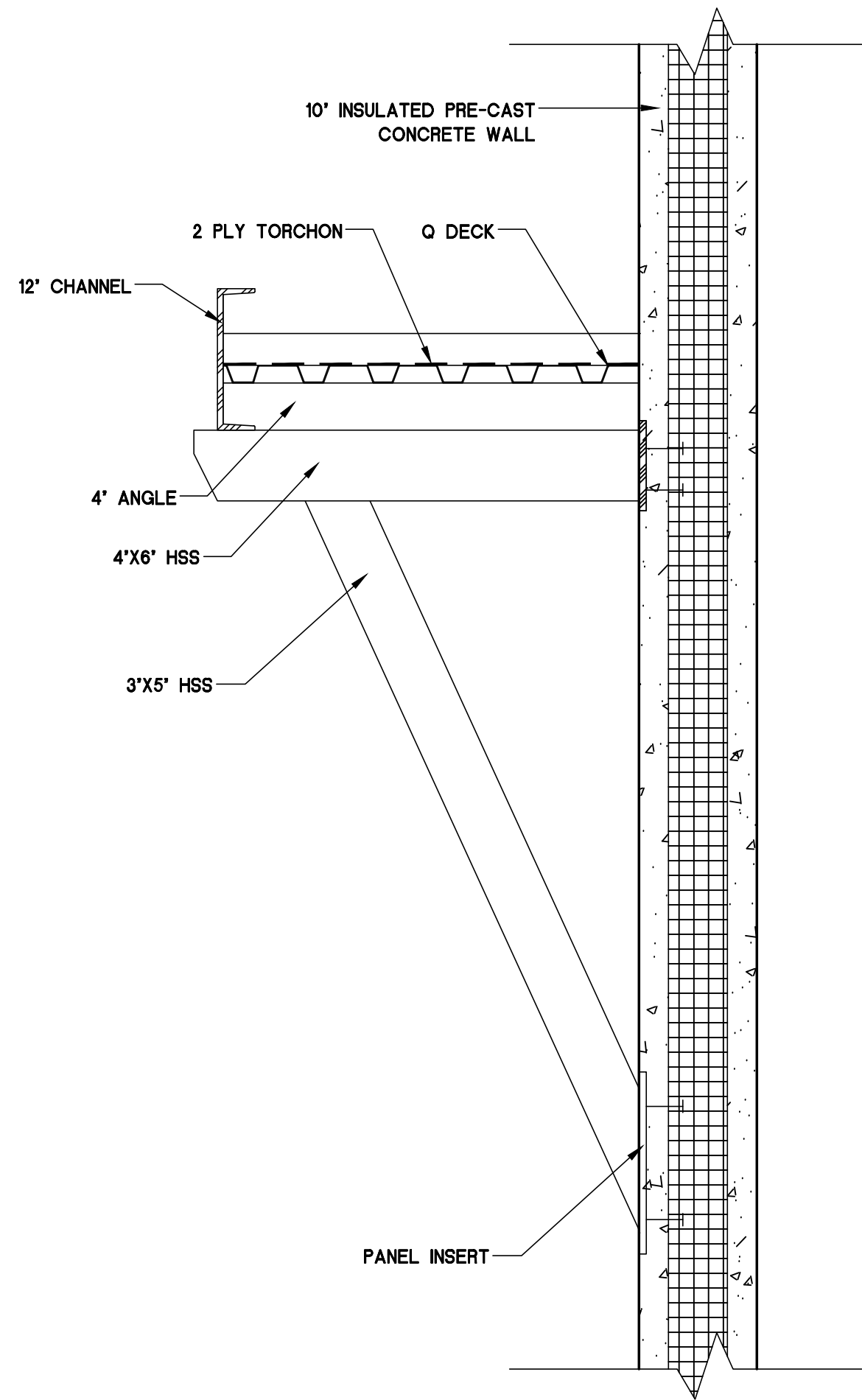
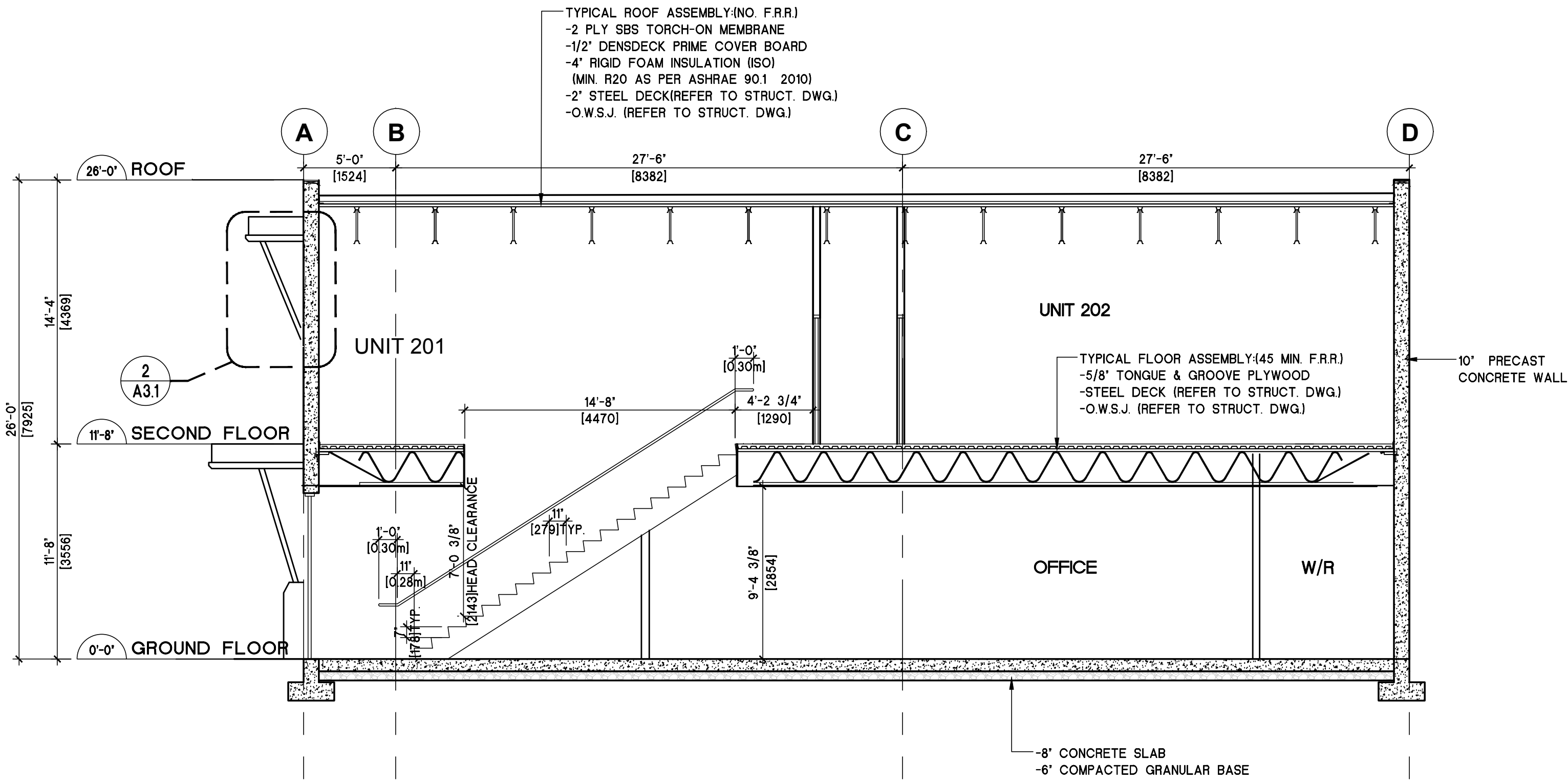
START DATE: OCT 27, 2015

SCALE: AS NOTED

PROJECT NO. DRAWING NO.

15-51

A3.1



REVISIONS:

rev.	date	description
1.	FEB 15/16	ISSUED FOR DP
2.	APR. 05/16	REISSUED FOR DP
3.	MAY 05/16	ISSUED FOR BP
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SEAL:

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CONSULTANT:

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CORP.**

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VoN 1B1
604 889-2043
www.kenwoodconstruction.ca

PROJECT:

**NESTERS
CROSSING**

8056 NESTERS ROAD
WHISTLER, BC

SHEET TITLE:

**WHISTLER
CONNECTION-
SCHEDULES**

CHECKED BY: ATA

DRAWN BY: MC, CL

START DATE: OCT 27, 2015

SCALE: AS NOTED

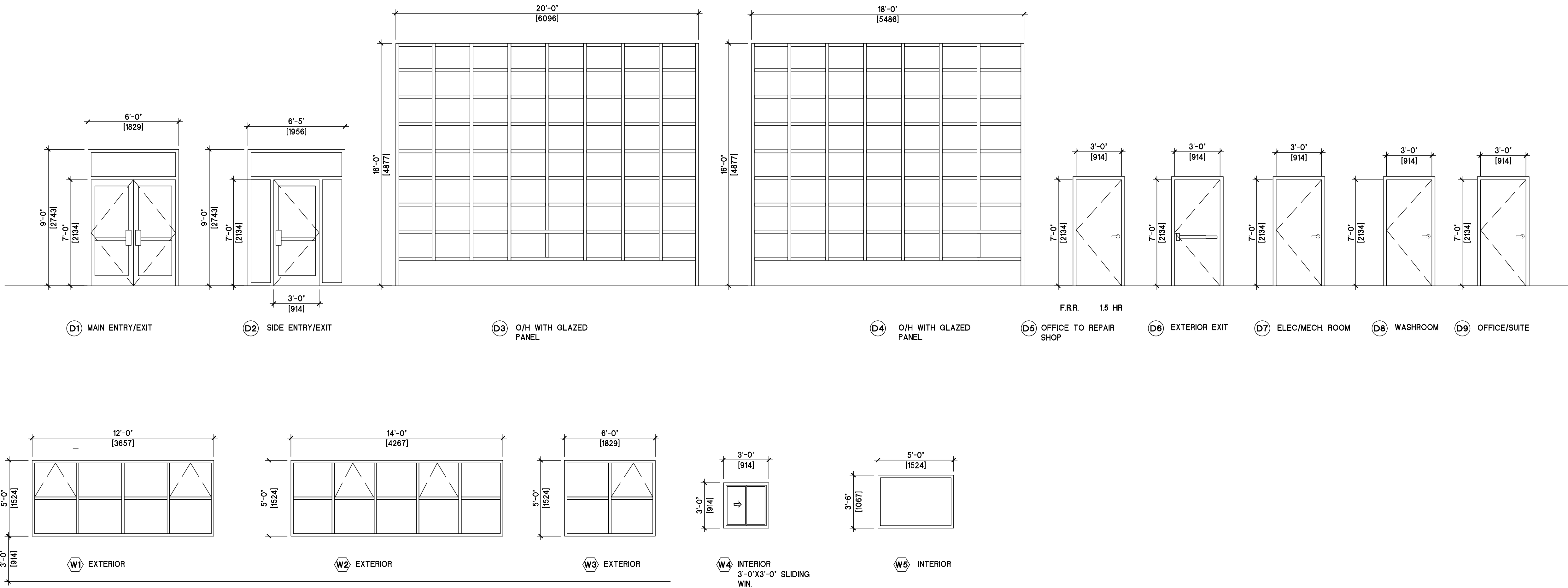
PROJECT NO.

DRAWING NO.

15-51

A7.0

DOOR SCHEDULE														HARDWARE SCHEDULE														NOTES											
D	OOR SIZE	LOCATION	DOOR								GLAZING	FRAME						HINGE	LOCKSET					MISC.															
			F.P.R.	MATERIAL				FINISH				MATERIAL			FINISH				LOCKSET																				
				PRESSED STEEL	STEEL SECTION O/H	ALUMINUM STORE FRONT	SOLID CORE WOOD	HOLLOW CORE WOOD	GLAZE	PAINT	PLASTIC LAMINATE	BAKED ENAMEL	CLEAR ANODIZED	1/4" ACRYLIC	6 MIL SAFETY		PRESSED STEEL	ALUMINUM	WOOD	PAINT	BAKED ENAMEL	BROWN ANODIZED	STAIN		1-1/2 PAIR BUTTS	SLIDING DOOR HARDWARE	3 PAIR BUTTS	BI-FOLD HARDWARE	PUSH & PULL	EXIT PANIC HARDWARE	DEADLOCK	SERVICE LOCKSET	CANE BOLT	PRIVACY SET	PASSAGE SET	ALUMINUM THRESHOLD	WEATHERSTRIPPING	DOOR CLOSER	
D1	5'-8"x7'-0"	MAIN ENTRY	NONE																																				
D2	3'-0"x7'-0"	SIDE ENTRY	NONE																																				
D3	20'-0"x16'-0"	LOADING	NONE																																				
D4	18'-0"x16'-0"	LOADING	NONE																																				
D5	3'-0"x7'-0"	OFFICE TO REPAIR SHOP	1.5HR																																				
D6	3'-0"x7'-0"	EXTERIOR EXIT	NONE																																				
D7	3'-0"x7'-0"	ELECT./MECH. RM	NONE																																				
D8	3'-0"x7'-0"	WASH RM	NONE																																				
D9	3'-0"x7'-0"	OFFICE/SUITE	NONE																																				



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CONSULTANT:

PROJECT:

NESTERS
CROSSING

SHEET TITLE:

CARD LOCK
ELEVATIONS

CHECKED BY: ATA

DRAWN BY: CL

START DATE: OCT27,2015

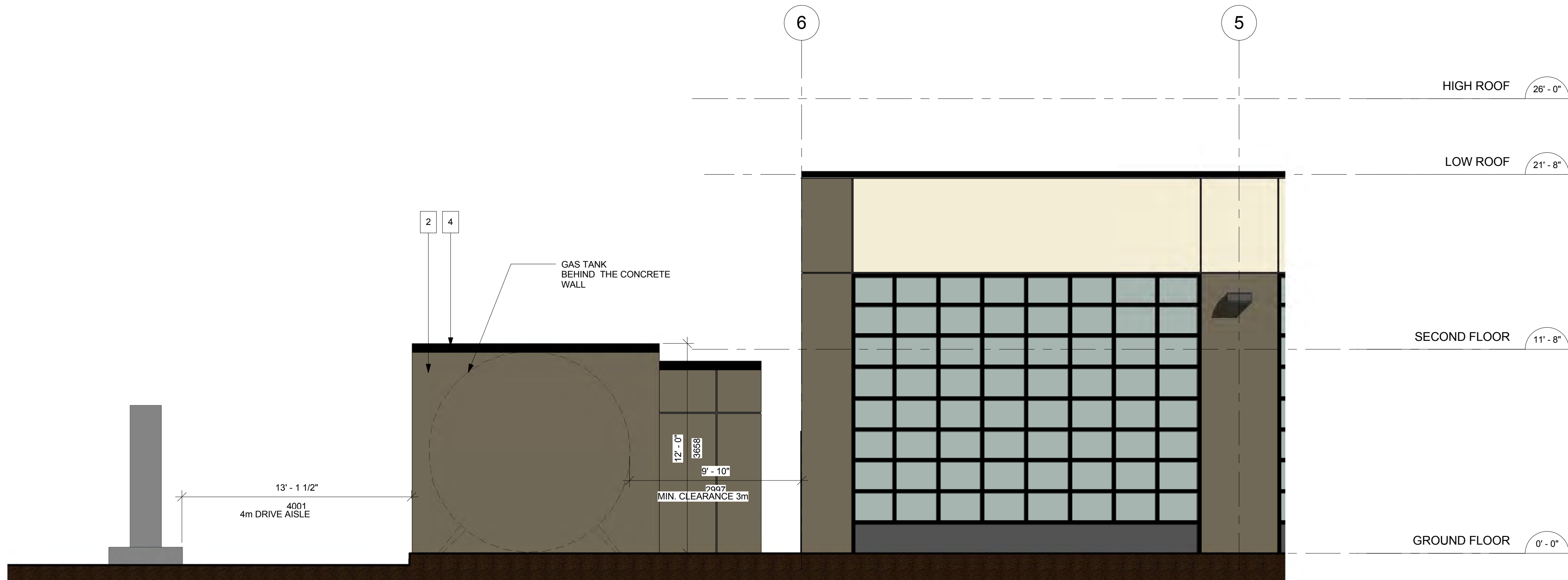
SCALE: 1/4" = 1'-0"

PROJECT NO.

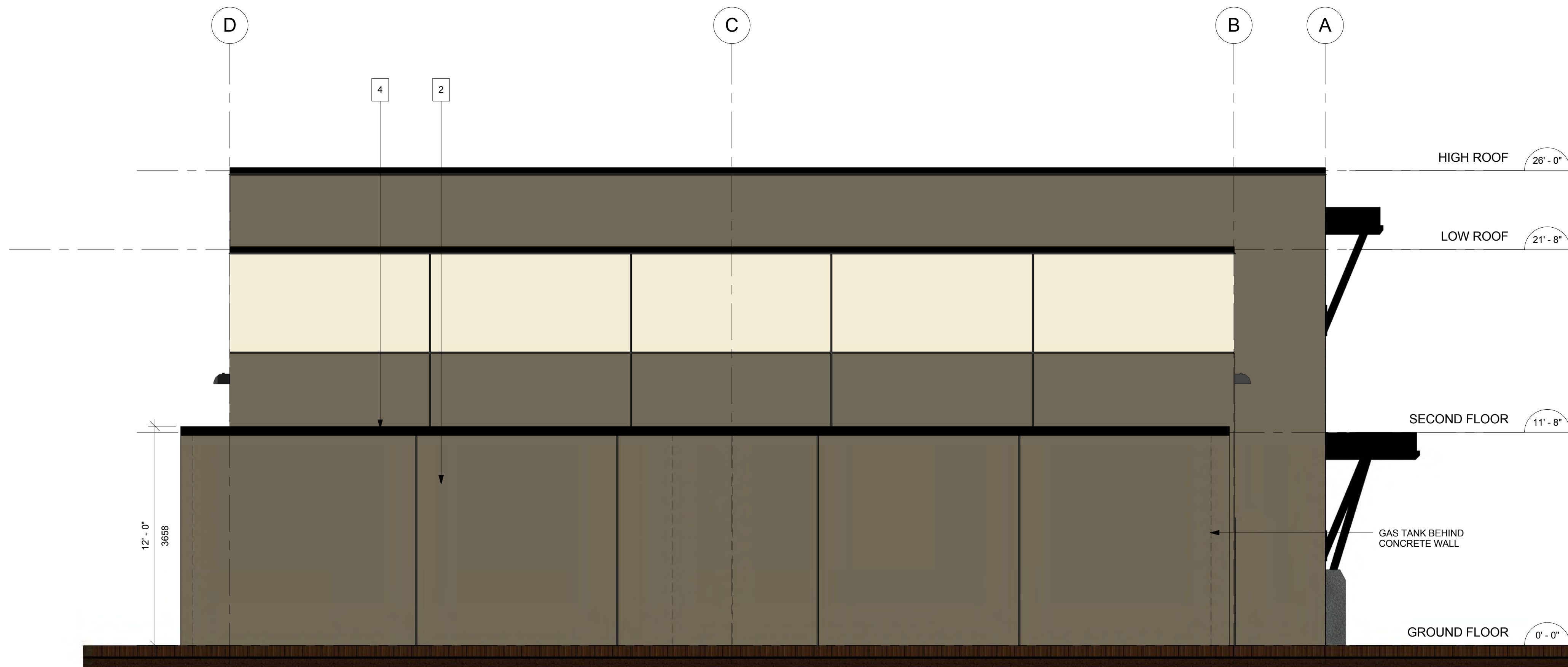
15-51

DRAWING NO.

A8.0



1 CARD LOCK SOUTH ELEVATION
A8.0 SCALE: 1/4" = 1'-0"



2 CARD LOCK WEST ELEVATION
A8.0 SCALE: 1/4" = 1'-0"

MATERIAL LEGEND	
1	PRE-CAST CONCRETE SMOOTH FINISH COLOR: BENJAMIN MOORE-ALBANY WHITE-944
2	PRE-CAST CONCRETE SMOOTH FINISH COLOR: BENJAMIN MOORE-CABIN FEVER-1540
4	DOOR FRAMES/WINDOW FRAMES/ CANOPY SUPPORTS/PERIMETER FLASHING COLOR: BENJAMIN MOORE-BLACK IRON 2120-20

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CONSULTANT:

PROJECT:

NESTERS
CROSSING

SHEET TITLE:

GARBAGE
ROOM

CHECKED BY: ATA

DRAWN BY: CL

START DATE: OCT27,2015

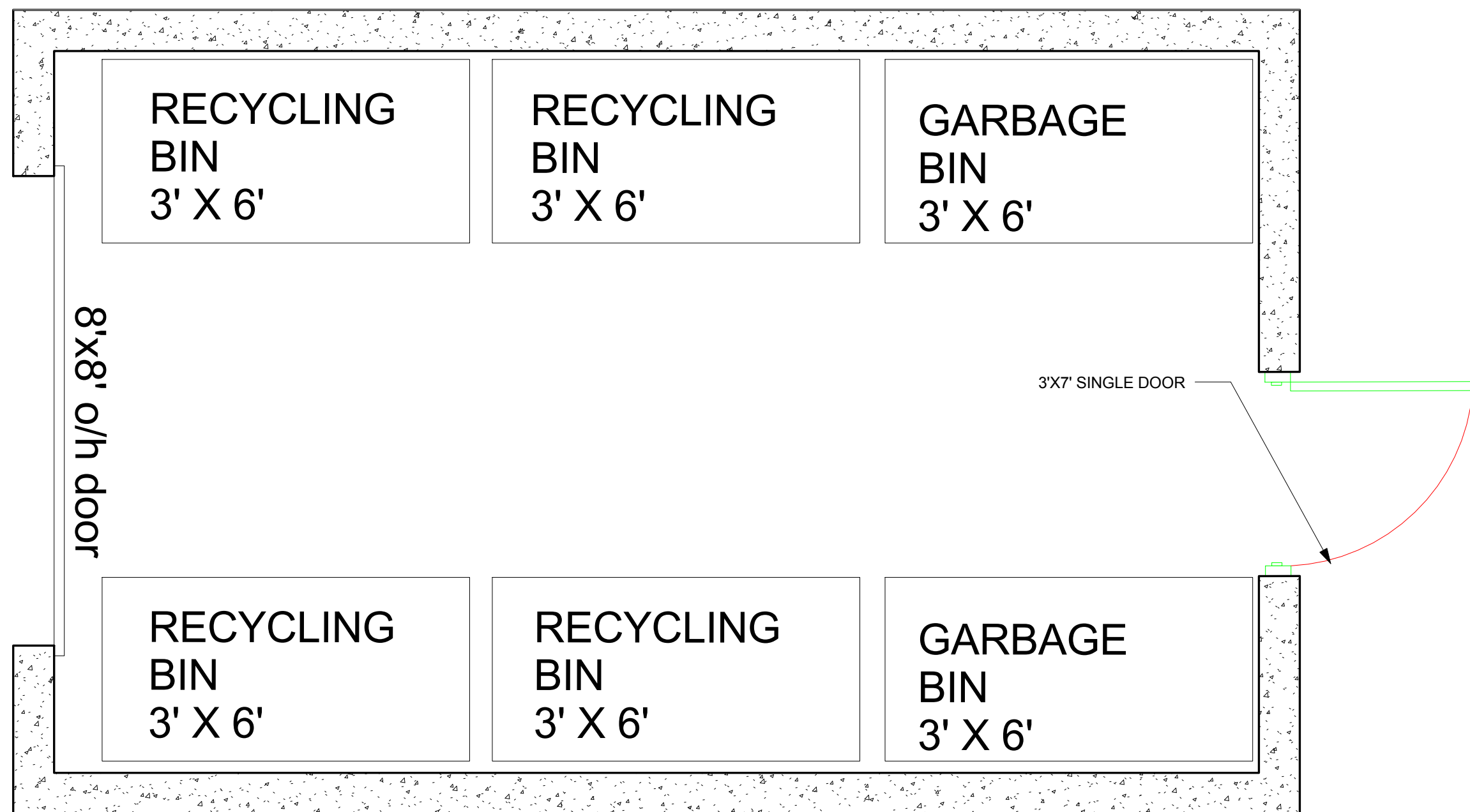
SCALE: As indicated

PROJECT NO.

15-51

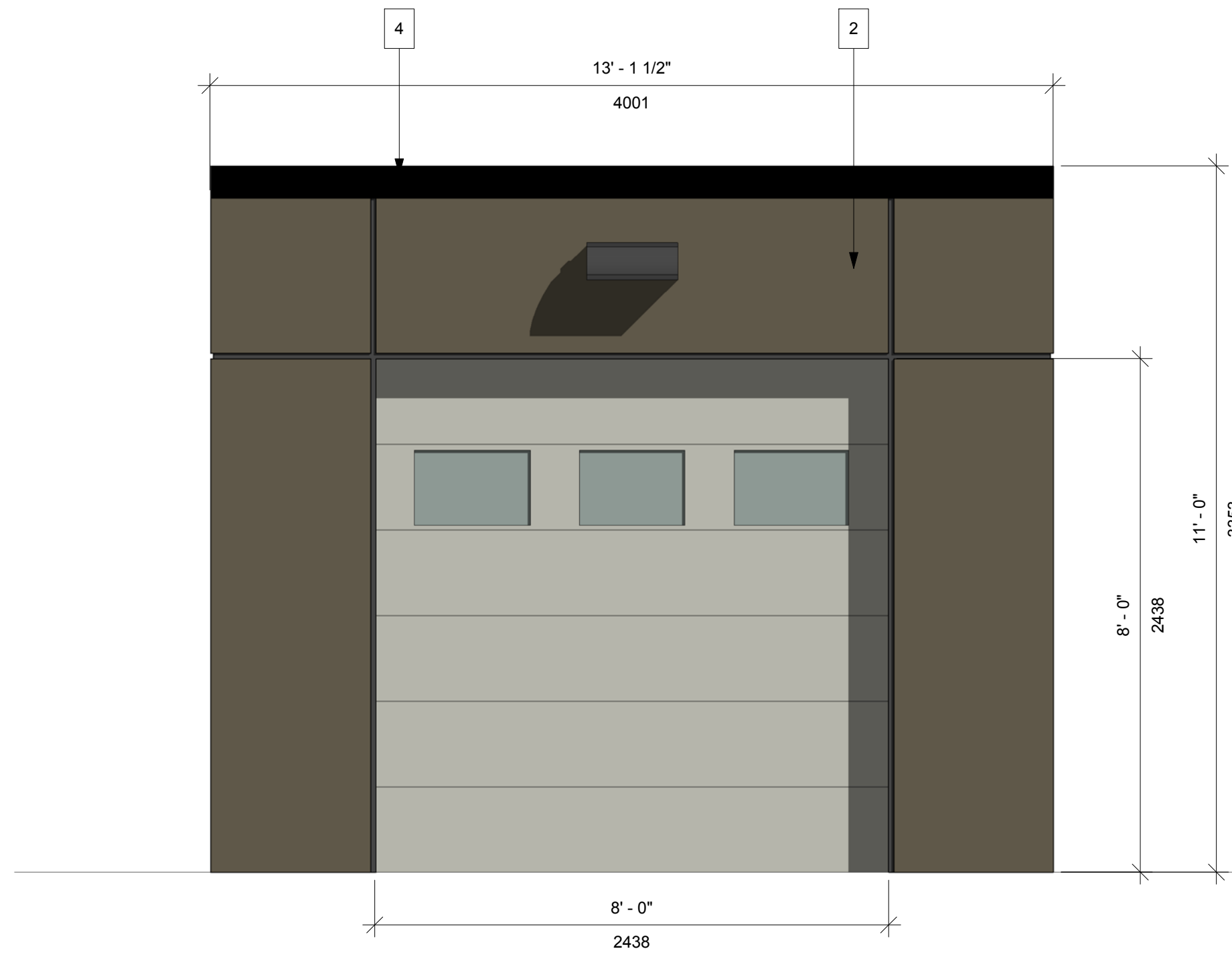
DRAWING NO.

A8.1



1 GARBAGE ROOM FLOOR PLAN

A8.1 SCALE: 1/2" = 1'-0"



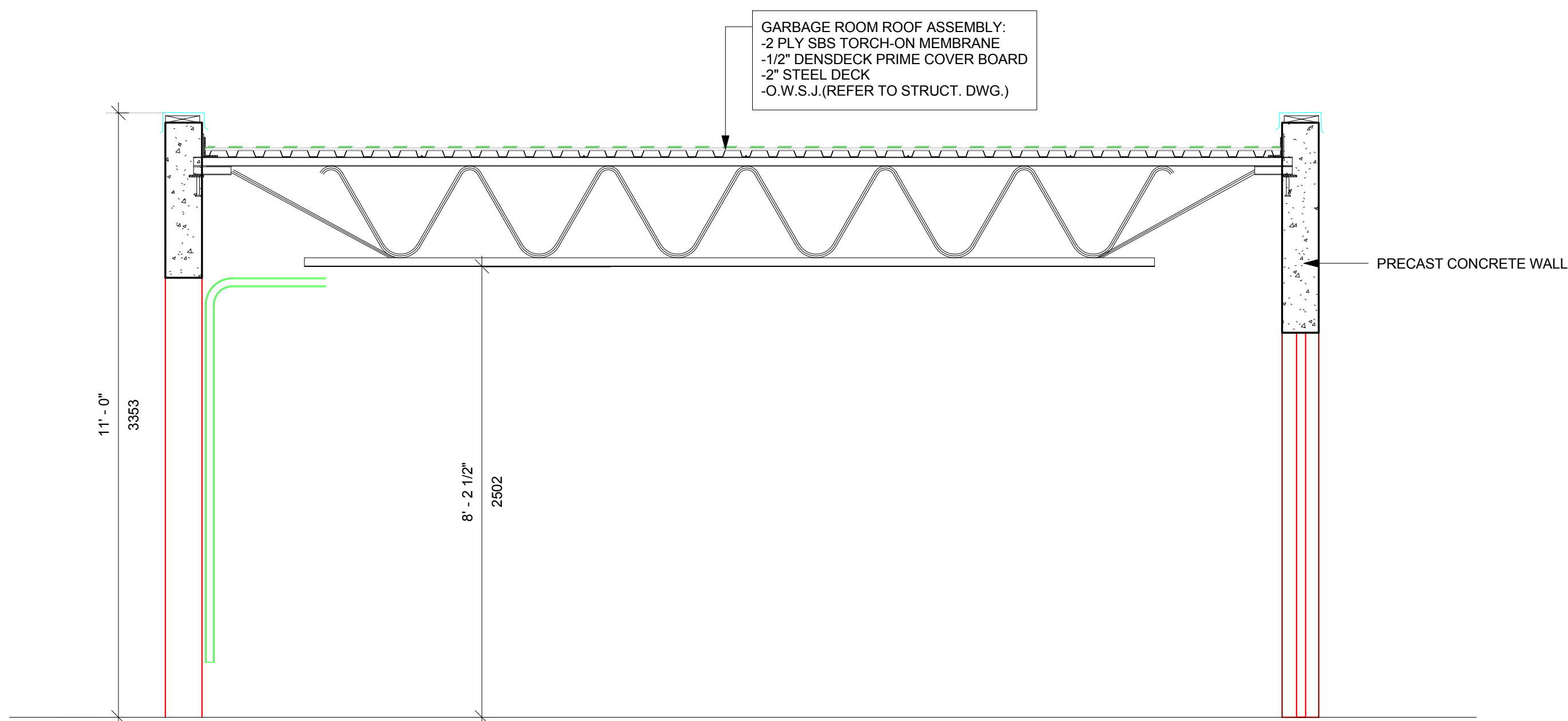
2 GARBAGE ROOM NORTH ELEVATION

A8.1 SCALE: 1/2" = 1'-0"



3 GARBAGE ROOM WEST ELEVATION

A8.1 SCALE: 1/2" = 1'-0"



4 GARBAGE ROOM SECTION

A8.1 SCALE: 1/2" = 1'-0"

MATERIAL LEGEND

- | | |
|---|--|
| 1 | PRE-CAST CONCRETE SMOOTH FINISH
COLOR: BENJAMIN MOORE-ALBANY WHITE-944 |
| 2 | PRE-CAST CONCRETE SMOOTH FINISH
COLOR: BENJAMIN MOORE-CABIN FEVER-1540 |
| 4 | DOOR FRAMES/WINDOW FRAMES/
CANOPY SUPPORTS/PERIMETER FLASHING
COLOR: BENJAMIN MOORE-BLACK IRON 2120-20 |

N



TOM BARRATT LTD.
Landscape Architects

8605 Drifter Way Whistler, BC Canada V0N 1B8
T.604.932.3040 info@tbla.com
www.tbla.com

PROJECT

Nester's Crossing

DRAWING TITLE

Landscape Plan

DATE	May 19, 2016	SCALE	1:200
PROJECT #	876	ITEM	
REVISION #	0	SHEET	L1.0

BOTANICAL NAME	COMMON NAME	SPACING SYMBOL	COUNT	SIZE
Ornamental Grasses				
Calamagrostis x acutifolia 'Karl Foerster'	Feather Reed Grass	Ck	35	#1pot
Carex densa	Dense Sedge	cd	202	#1pot
Carex stipata	Owlfruit Sedge	ct	218	#1pot
Deschampsia caespitosa 'Bronzeschleier'	Bronzeschleier Tufted Hair Grass	Dc	498	#1pot
Deschampsia caespitosa 'Fairy's Joke'	Fairy's Joke Tufted Hair Grass	Df	237	#1pot
Elymus cinereus	Wild Rye	e	135	#1pot
Helictotrichon sempervirens	Blue Oat Grass	H	14	#1pot
Miscanthus sinensis purpurascens	Flame Grass	MP	78	#1pot
Pennisetum alopecuroides	Fountain Grass	Pa	43	#1pot
Ferns				
Blechnum spicant	Deer Fern	df	64	#1pot
Polystichum munitum	Sword Fern	sf	76	#1pot
Perennials				
Achillea millefolium	Yarrow	y	52	#1pot
Echinacea purpurea	Echinacea	E	56	#1pot
Rudbeckia fulgida 'Goldsturm'	Goldsturm Cone Flower	rg	20	#1pot
Rudbeckia nitida 'herbstonne'	Herbstonne Rudbeckia	Rn	48	#1pot

BOTANICAL NAME	COMMON NAME	SYMBOL	COUNT	SIZE
Trees				
Acer rubrum	Red Maple	Ar	12	7cm Cal.
Chamaecyparis nootkatensis	Yellow Cedar	Y	5	1.5m
Tsuga mertensiana	Mountain Hemlock	Tm	5	#5pot
Shrubs				
Acer glabrum	Douglas Maple	A	27	#1pot
Amelanchier alnifolia	Serviceberry	m	33	#1pot
Cornus stolonifera	Redtwig Dogwood	Cs	132	#1pot
Rosa woodsii	Wood's Rose	w	130	#1pot
Rubus parviflorus	Thimbleberry	Rp	131	#1pot
Spirea douglasii	Hardhack	sd	122	#1pot

Revegetation Seed Mixture Composition (By Weight)
30% Hard Fescue
30% Sheep Fescue
40% Creeping Red Fescue

NOTE:
All Landscaping to be Installed to the BCSLA Standards
All Planting Beds to be Irrigated by an Accredited Irrigation Professional (IIABC)

The main drawing is a detailed landscape plan for a development. It features a large building footprint with an 'Entry' and a 'Bike Rack'. Adjacent to the building is a parking lot with several stalls. A 'SALT & SAND TENT 30' X 50'' is located near the top center. The plan includes various plantings indicated by symbols and codes (e.g., Ck, cd, ct, Dc, Df, e, H, MP, Pa, y, E, rg, Rn, A, m, Cs, w, Rp, sd). Key features include a '0.75m High Berm - 30% side slope', a 'Hydroseed' area, and a 'Hydroseed with Shrub Planting - 3.5m Width'. There are also 'Concrete Walkway' sections, a 'Concrete Walkway w/ Curb', and a 'Curb Let Down'. A 'Planted Swale' is shown near the bottom left. The plan is bounded by a 'REF. PLAN EPP23411 TREE BUFFER EASEMENT' on the left and a 'REF. PLAN EPP23228 ACCESS EASEMENT' and 'REF. PLAN EPP23224' on the bottom right. A 'FUTURE BUILDING 130' X 60'' is shown in the top right corner. A scale bar at the bottom left indicates 0, 10, 20, 30, and 40 meters. A north arrow is located in the top left corner.

Lot 2 Area = 3,632 sq m
Lot 2 Landscape Design

Lot 1 Area = 8259.5 sq m
Lot 1 Landscape Area = 859.5 sq m

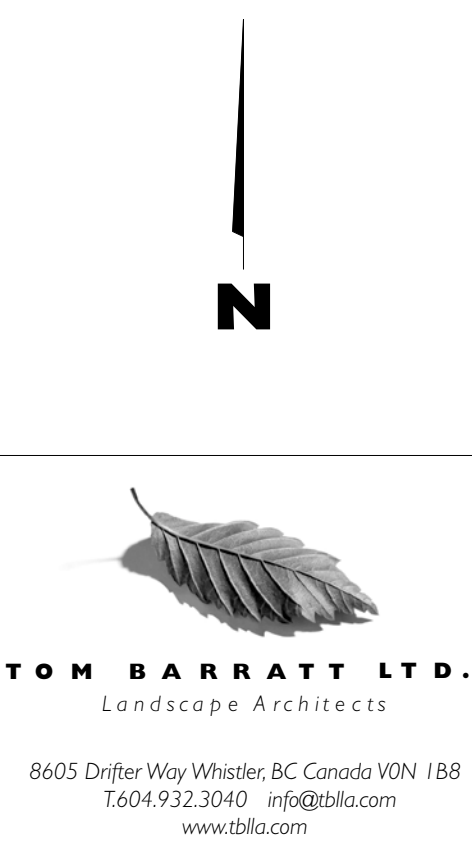
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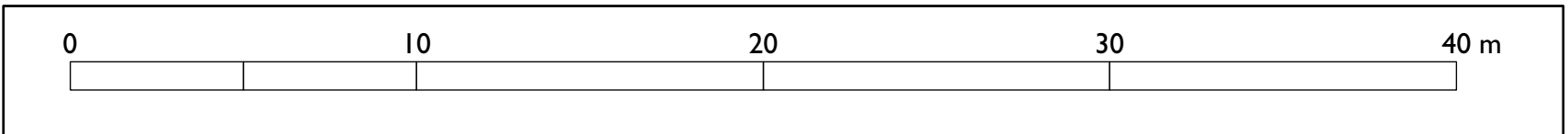
PROJECT

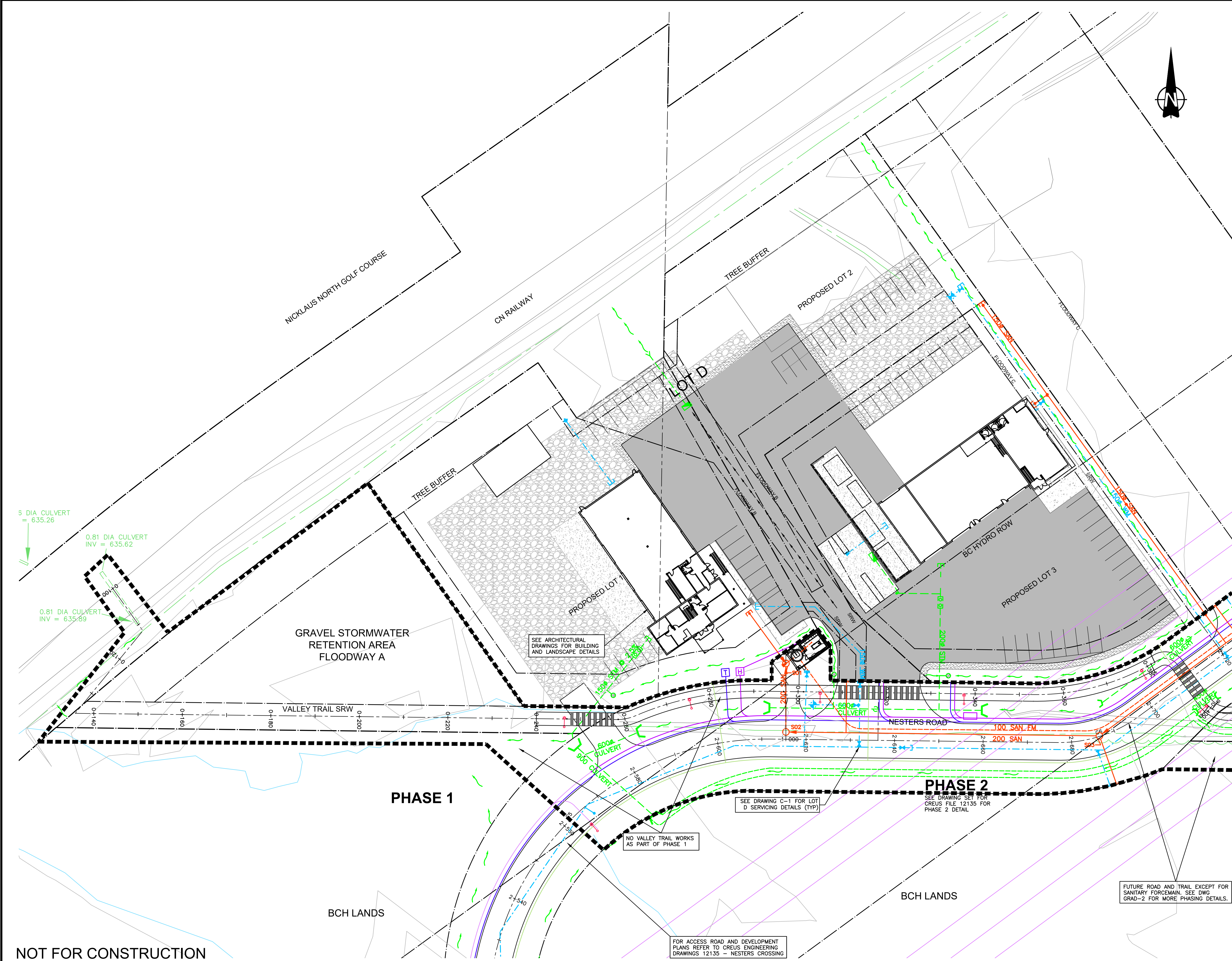
Nester's Crossing

DRAWING TITLE

Landscape Plan

DATE	May 19, 2016	SCALE	1:200
PROJECT #	876	ITEM	
REVISION #	0	SHEET	L1.0





LEGAL DESCRIPTION
LOT 1, DL 1757, GP 1, NEW WESTMINSTER DISTRICT, PLAN 14268

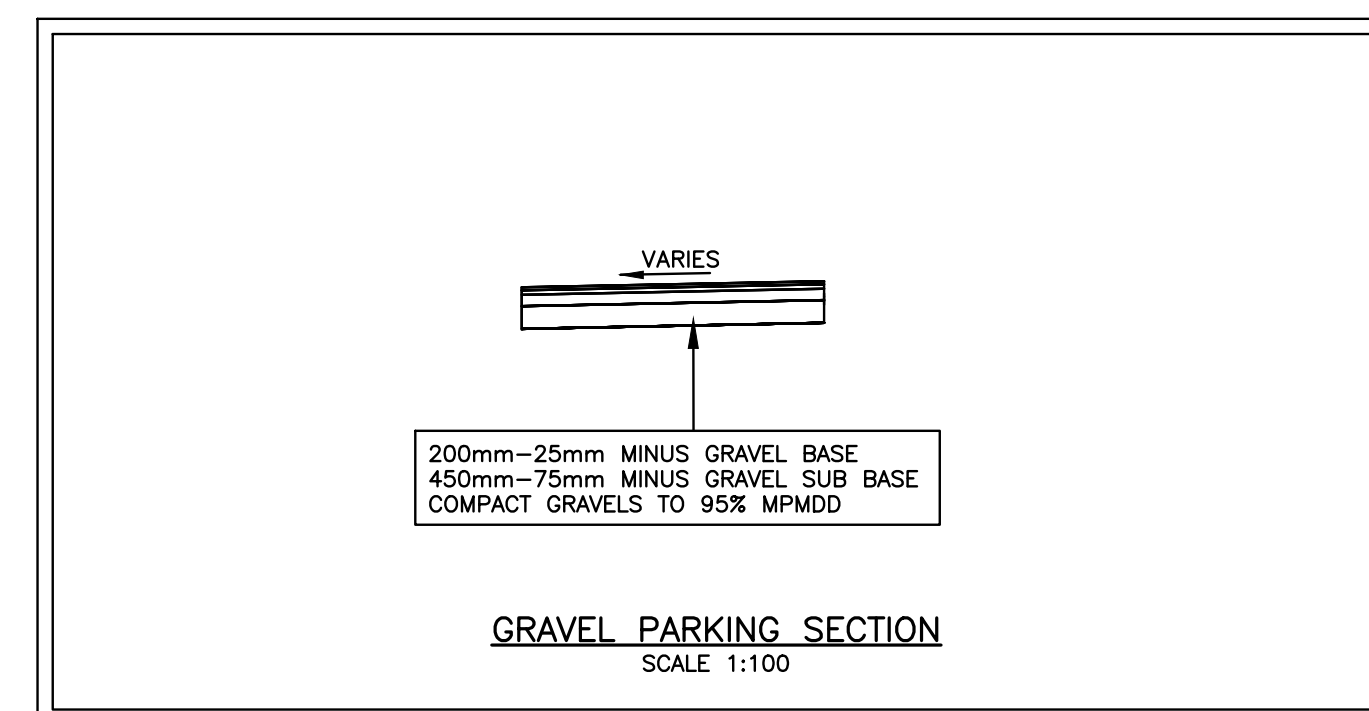
BENCHMARK CONTROL:
ELEVATIONS ARE METRIC AND DERIVED FROM GEODETIC DATUM.
BENCHMARK USED:
WATER RESOURCES MONUMENT 1685, LOCATED UNDER THE MONS OVERPASS
ELEVATION = 640.702m






- GENERAL NOTES**
1. ALL CONSTRUCTION MUST CONFORM TO THE RESORT MUNICIPALITY OF WHISTLER GENERAL SPECIFICATIONS AND MUST PASS R.M.O.W.'S INSPECTION ON COMPLETION OF EACH STAGE OF CONSTRUCTION. THE OWNER WILL PAY FOR THESE INSPECTIONS. THE CONTRACTOR WILL GIVE R.M.O.W. 48 HOURS NOTICE PRIOR TO THIS REQUIREMENT FOR INSPECTION.
 2. THE CONTRACTOR SHALL ENSURE THAT ALL APPROVALS REQUIRED FOR THE PROPOSED WORK HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
 3. LOCATIONS OF EXISTING UNDERGROUND SERVICES HAVE BEEN DETERMINED FROM R.M.O.W. AND UTILITIES AS-CONSTRUCTED DRAWINGS. CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING SERVICES AND TO NOTIFY ENGINEER OF ANY DISCREPANCIES, CONFLICTS OR OMISSIONS PRIOR TO BEGINNING CONSTRUCTION.
 4. ALL CUTS IN EXISTING ASPHALT REQUIRED FOR TRENCHING SHALL BE SAWCUT & REPLACED WITH MINIMUM 80mm ASPHALT, 150mm GRANULAR BASE & 300mm GRANULAR SUBBASE AFTER BACKFILL AND COMPACTION. ALL PAVEMENTS BOULEVARDS, ETC. ARE TO BE RESTORED TO ORIGINAL CONDITION WHEN NO IMPROVEMENT IS PROPOSED UNDER THIS CONTRACT.
 5. THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR EXISTING SERVICES AND ANY SERVICES DISTURBED ARE TO BE REPLACED TO THE SATISFACTION OF R.M.O.W., THE ENGINEER AND /OR APPROPRIATE UTILITY CORPORATION.
 6. THE CONTRACTOR'S SURVEYOR WILL RECORD ALL INFORMATION REQUIRED FOR THE ENGINEER TO PROVIDE A COMPLETE SET OF AS-CONSTRUCTED DRAWINGS.
 7. WHEN NO IMPROVEMENTS ARE PROPOSED UNDER THIS CONTRACT, THE EXISTING SECTION(S) OF ROADWAY SHALL BE KEPT CLEAN AND CLEAR FOR THE DURATION OF CONSTRUCTION AND LEFT IN SAME CONDITION AS PRIOR TO CONSTRUCTION.
 8. VEHICULAR ACCESS TO EXISTING DWELLINGS TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE CONTRACT.
 9. RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT SHALL BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. IF CONSTRUCTION ENTERS ONTO PRIVATE PROPERTY, THE CONTRACTOR OR DEVELOPER'S AGENT WILL REQUIRE WRITTEN AUTHORIZATION FROM THE PRIVATE PROPERTY OWNER.
 10. FOR BC HYDRO, TELUS & TERASEN INSTALLATION, SEE APPROPRIATE UTILITY COMPANY DRAWINGS & SPECIFICATIONS. LAYOUT SHOWN FOR REFERENCE ONLY.
 11. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT NO SILT IS DISCHARGED INTO THE STORM DRAINAGE SYSTEM, ROADWAYS OR ADJACENT PROPERTIES DURING THE COURSE OF CONSTRUCTION IN ACCORDANCE WITH DFO/MOELP'S "LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT"
 12. ALL ON LOT WORKS TO ALSO CONFORM WITH BCBC 2006.
 13. SEE LANDSCAPE DRAWINGS FOR ON-LOT PLANTING DETAILS (SEE NOTE 14 FOR LANDSCAPING IN ROAD RIGHT OF WAY).
 14. ALL DISTURBED SLOPES TO BE HYDROSEEDING, INCLUDING SIERRA SLOPE WALL. DISTURBED AREAS WITHIN THE ROAD RIGHT OF WAY TO BE COVERED WITH A MINIMUM OF 100mm GROWING MEDIUM AND HYDROSEEDING. HYDROSEED MIXTURE TO BE QUALITY SEED KODIAK ROADSIDE MIX WITH NO CLOVER INCLUDED IN THE MIX (WITH 10% NATURAL FLOWER MIX TO BC LANDSCAPE STANDARDS).
 15. CONTRACTOR TO PROVIDE TRUCK WHEEL WASH FACILITIES WHERE APPROPRIATE.
 16. CONTRACTOR TO PROVIDE TRAFFIC CONTROL, TO LOCAL REQUIREMENTS.

SEE DRAWING C-1 FOR STORM, SANITARY AND WATER NOTES
SEE DRAWING R-1 FOR ROADWORKS NOTES

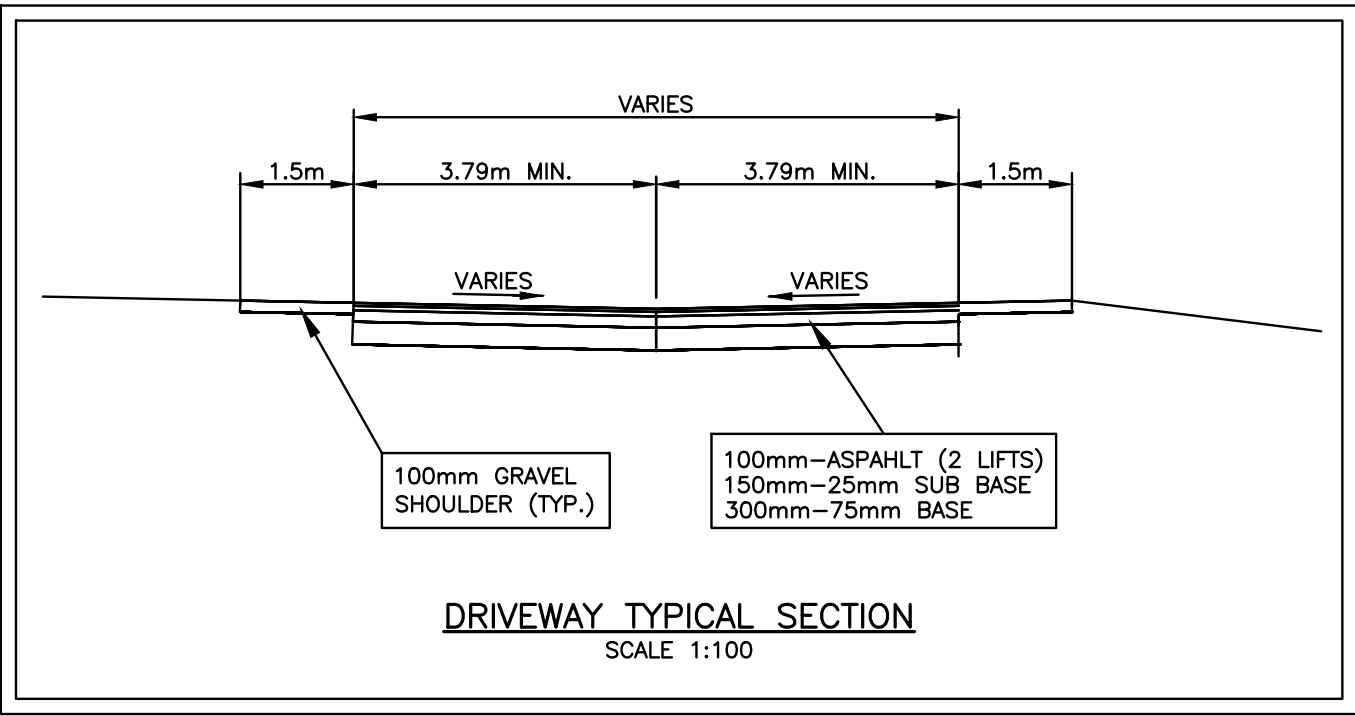
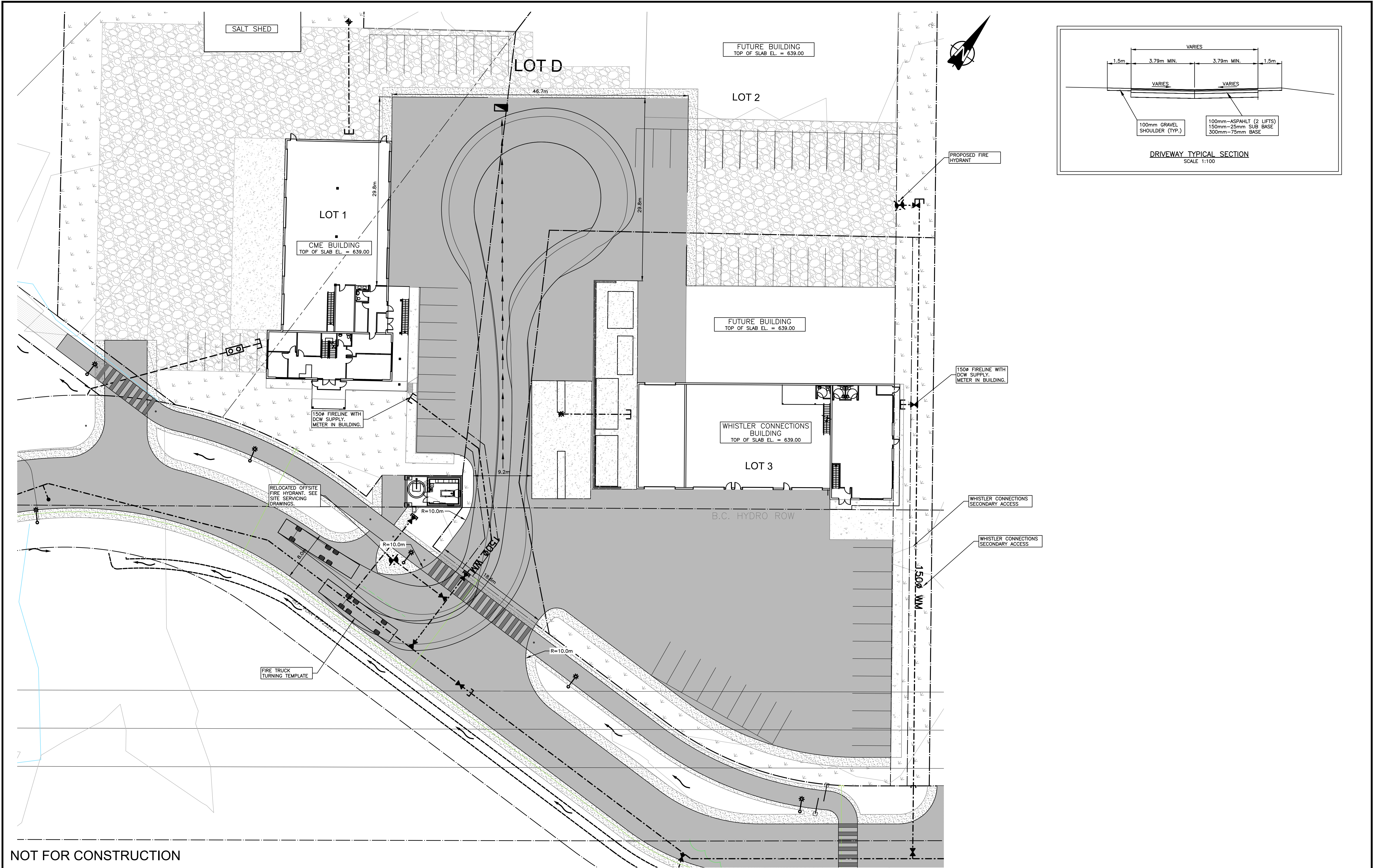
LINETYPE LEGEND		
	EXISTING	PROPOSED
LEGAL LINE		
WATERMAIN		
SANITARY		
STORM		
HYDRO		
TEL		
STREETLIGHT		
GAS		
SYMBOLS LEGEND		
	EXISTING	PROPOSED
FIRE HYDRANT		
GATE VALVE		
AIR VALVE		
METER BOX		
REDUCER		
INSPECTION CHAMBER		
CATCHBASIN		
SIDE INLET CB		
CAP		
MANHOLE		
POWER POLE		
STREETLIGHT		

4	DEC.16.15	REVISED PER CME COMMENTS	NPM	8	MAY.27.16	REVISED PER ARCHITECTURAL CHANGES	NPM	client	NSW HOLDINGS LTD.	www.creus.ca	CREUS Engineering Ltd	P: 604-987-9070 F: 604-987-9071 200 - 901 WEST 16TH ST NORTH VANCOUVER, BC V7P 1R2	Civil Engineers	COPYRIGHT RESERVED. THIS DRAWING AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF CREUS ENGINEERING LTD. AND CANNOT BE USED, REPRODUCED OR DISTRIBUTED WITHOUT WRITTEN CONSENT. © 2012 CREUS ENGINEERING LTD.	approved	designed by	R.A.W.	title	LOT D KEY PLAN	scales hor: 1:400 vert: -	file no. 13205	drawing no. KEY	rev. 8		
3	AUG.22.13	REVISED PER RMOW COMMENTS	STH	7	APR.12.16	REVISED PER CME COMMENTS	NPM									project	LOT D - NESTERS CROSSING WHISTLER, BC							drawn by	S.T.H.
2	AUG.19.13	REVISED PHASING DETAILS	STH	6	APR.05.16	REVISED PER RMOW COMMENTS	NPM																	checked by	F.M.C.
1	AUG.16.13	ISSUED FOR DEVELOPMENT PERMIT	STH	5	FEB.09.16	ISSUED FOR REVIEW	NPM	date	AUG.01.13																
no.	date	revision	chk'd	no.	date	revision	chk'd																		



	PAVED AREAS (ASPHALT)		FUTURE DEVELOPMENT AREAS
	CONCRETE AREAS		LANDSCAPED AREAS
	GRAVEL AREA (DUST-FREE GRAVEL)		

4	FEB.09.16	REVISED FOR DEVELOPMENT PERMIT	NPM	8	MAY.27.16	REVISED PER ARCHITECTURAL CHANGES	NPM	client	<div>NSW HOLDINGS LTD.</div> <div>LOT D - NESTERS CROSSING</div> <div>WHISTLER, BC</div>	<div>www.creus.ca</div> <div> <div>CREUS Engineering Ltd</div> <div>Civil Engineers</div> </div> <div> P: 604-987-9070 F: 604-987-9071 200 - 901 WEST 16TH ST NORTH VANCOUVER, BC V7P 1R2 </div>	<div> COPYRIGHT RESERVED. THIS DRAWING AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF CREUS ENGINEERING LTD. AND CANNOT BE USED, REPRODUCED OR DISTRIBUTED WITHOUT WRITTEN CONSENT. © 2012 CREUS ENGINEERING LTD. </div>	approved	designed by	R.A.W.	title	<div>scales</div> <div>hor: 1:400 vert: -</div>
3	JAN.28.16	REVISED FOR DEVELOPMENT PERMIT	NPM	7	MAY.05.16	ISSUED FOR APPROVAL	NPM	project				drawn by	S.T.H.	<div>file no.</div> <div>13205</div>		
2	AUG.22.13	REVISED PER RMOW COMMENTS	STH	6	APR.12.16	REVISED PER CME COMMENTS	NPM					checked by	F.M.C.	LOT D SITE GRADING & ROADWORKS PLAN	<div>drawing no.</div> <div>GRAD-1</div>	
1	AUG.16.13	ISSUED FOR DEVELOPMENT PERMIT	STH	5	APR.05.16	REVISED FOR RMOW COMMENTS	NPM					date	MAY.01.12	rev.		
no.	date	revision	chk'd	no.	date	revision	chk'd									



NOT FOR CONSTRUCTION

4	MAY 27 16	REVISED PER ARCHITECTURAL CHANGES	NPM			client	NSW HOLDINGS LTD.	www.creus.ca	CREUS Engineering Ltd P: 804-987-9070 F: 804-987-9071 200 - 901 WEST 16TH ST NORTH VANCOUVER, BC V7P 1R2 Civil Engineers	COPYRIGHT RESERVED. THIS DRAWING AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF CREUS ENGINEERING LTD. AND CANNOT BE USED, REPRODUCED OR DISTRIBUTED WITHOUT WRITTEN CONSENT. © 2009 CREUS ENGINEERING LTD.	approved	designed by	N.P.M.	title	FIRE DEPARTMENT ACCESS PLAN	scales	
3	MAY 05 16	ISSUED FOR APPROVAL	NPM			project					LOT D - NESTERS CROSSING WHISTLER, BC	drawn by	N.P.M.			hor: 1:250	vert:
2	APR 12 16	REVISED PER CME COMMENTS	NPM									checked by	F.M.C.			file no.	13205
1	APR 05 2016	REVISED PER RMOW COMMENTS	NPM									date	MAY 01 12			drawing no.	FA-1
no.		date	revision	chk'd	no.	date	revision	chk'd									

Nesters Crossing
1st Review
File No. DP1488

PRESENTATIONS

The applicant team of Mark Pedlow and Marie-Claude Vanasse of Kenwood Construction; Andrew Terrett of ATA Architectural Design; Nigel Woods of NSW Holdings Ltd. and Tom Barratt of Tom Barratt Landscape entered the meeting.

Melissa Laidlaw, Senior Planner, RMOW introduced the project proposal to subdivide 1 lot into 3 lots with initial development on 2 of the lots for existing Whistler businesses.

Andrew Terrett advised on the following.

1. This project proposes 2 simple precast concrete, steel and glass industrial buildings on an undeveloped industrial site.
2. The site is constrained by floodways and a BC Hydro right of way. The proposed building locations are the best locations due to the site constraints and have been developed to accommodate vehicle and equipment maneuverability.
3. One of the buildings will be built for use by Coastal Mountain Excavation (CME); the other building for Whistler Connections, a bus service company providing transportation between Whistler and Vancouver.
4. The CME offices will occupy the street fronting portion of their building with the industrial portion at the back. The vestibule component of the main entry may be removed.
5. The Whistler Connection building entrances face Nesters Road and the adjacent property. Fuel storage tanks are well screened behind concrete walls that match the building walls.
6. Patio and deck areas for office employees.
7. Proposing durable insulated concrete panels that will exceed ASHRAE standard. A building modeling exercise will be performed to determine the energy efficiency of the buildings.

Tom Barratt advised on the following.

8. Simple landscaping on a very level site provides some screening.
9. Rain garden system; wide spread low maintenance native planting.
10. BC Hydro planting requirements restricts plant height.

Panel thanked the applicant for a clear and easy to understand presentation package. Panel offers the following comments:

Site Context and Landscaping

1. Panel felt the project design is functional, aesthetically pleasing and appropriately screened.
2. Panel felt the low maintenance plant palette is refined and attractive. There is an opportunity to diversify and increase the amount of planting material and a suggestion that there could be larger scale planting relative to the scale of the building.

3. A panel member suggested that the planting adjacent to the CME building could relate more to the form and character of the building rather than just an extension of the character of the bioswale.

Form and Character

1. Panel recommended continued design development of the building façade to give the appearance of wrapping between the 2 buildings and to increase the visual appearance of the columns at the front entry to improve the sense of entry.

Materials, Colours and Details

1. Panel felt the proposed colours are appropriate.
2. Panel recommended further design development to address building signage and street address.
3. Panel recommended consideration of at grade materials to mitigate dirt and muddiness based on the function of this program.

Moved by Duane Siegrist
 Seconded by Pat Wotherspoon

That the Advisory Design Panel supports the project as presented; supports the variances mentioned by planning; and the applicant shall continue to work with staff taking into consideration Panel's comments to resolve building addressing/signage, to integrate at grade materials that would mitigate migration of dirt from truck/machine cleaning area to public roads, to provide a more diverse size and type of planting, to avoid the abruptness of the façade treatment by considering a wrapping appearance, and to provide a more prominent building façade at the front entry.

CARRIED.

The applicant team left the meeting.

Pangea Pod Hotel
 1st Review
 File No. DP1487

Duane Siegrist declared a conflict and stepped away from the Panel table. Dale Mikkelsen assumed the role of the Chair.

Amica Antonelli, Planner, RMOW and the applicant team of Shamus Sachs, Marc Bricault of Bricault Design; Russell Kling, Jelena Kling of Pangea Global and Duane Siegrist of Integra Architecture entered the meeting.

Amica Antonelli, Planner, RMOW introduced the project proposal to convert 9 timeshare units to hotel rooms, café, a licensed lounge, redesigned entrance, changes in paint colour and size reduction of exterior planters.

Duane Siegrist and Shamus Sachs advised on the following.

1. The building was built approximately 36 years ago and has fallen into disrepair.
2. This project proposes a significant tenant improvement to the interiors of the 2nd and 3rd floors, new entry and lobby, repainting and generally improvements to the building's image.

RESORT MUNICIPALITY OF WHISTLER

4325 Blackcomb Way
Whistler, B.C. V0N 1B4

March 31, 2016

Attention: Building Department

Re: Development Permit Application #1488 - 8040 Nesters Road

Coastal Mountain Excavators and Kenwood Construction have a commitment to sustainability, energy efficiency, water conservation, reuse of materials, and recycling. During construction of the new buildings, we will commit to following the goals, intent and spirit of the Whistler Green Building Policy. With the introduction of Part 10 of the BC Building Code and Ashrae 90.1 (2010) many of the Green Policy initiatives are now mandatory. As well many if not all of the suppliers now provide goods and services that meet and exceed the guidelines.

The Nesters Crossing project meets the objectives of the Green Policy and would be considered to meet the fifty percent or better than the Model National Energy Code for Buildings (1997)

A Project Completion Report will be submitted by the coordinating professional at the time of building permit final which details the implementation of green building practices proposed in the Project Checklist and will state whether or not the item was incorporated, and describes the manner and extent of its application.

Green Building Policy No. G 23**2.1 Site/Landscape**

- The location of the building is on a brown field site that minimizes disturbance to existing soils and vegetation.
- The site had been used for years as a scrap yard and had many tons of scrap material removed.
- A Phase 2 Environmental Assessment was carried out and the site made clean.
- The existing mature trees and vegetation will be maintained surrounding the site.
- Additional landscaping to be provided in accordance with the Development Agreement and "Landscape Plan" prepared by Tom Barratt Ltd., Landscape Architect
- The site is accessible by public transportation.
- Parking is provided on site in accordance with RMOW Zoning Bylaw No. 303
- A majority of the site is not paved allowing natural percolation of rain water.
- The roof has low reflective surface with a SRI 78.
- The exterior building lighting has been kept to a minimum to reduce light pollution
- A landscape berm was added to the north of the site to provide screening to the railroad tracks and Nicholas North Golf Course.

2.2 Energy

- The Architect, Electrical Engineer, and Mechanical Engineer have outlined their compliance to Ashrae 90.1 (2010) - see attachments
- The proposed heating and ventilation system will be designed to optimize the energy performance utilizing “Best Practice Commissioning”.
- Energy Star programmable thermostats will be used
- The cooling system does not use HCFCs or Halon gases.
- The hot water will be provided by an instantaneous tank less hot water system

2.3 Water

- The site will preserve the native vegetation and mature evergreen trees that surround the site. There will be no irrigation in this area.
- The new planted landscaping will be serviced with irrigation designed to reduce the water consumption by 50%
- The washroom fixtures are dual flush, the shower head will be low flow.
- The kitchen appliances are Energy Star rated

2.4 Materials – Building

- The building is constructed of an insulated precast concrete.
- The cement is supplied from Vancouver. The concrete uses 25% of flyash.
- The drywall, the ceiling tiles and the steel stud made from 100% recycled material.
- The insulation is made from 73% recycled material.
- The structural steel is made with 90% recycled material.
- The windows comply with NAFS. The glazing has a Low E coating and has Argon gas infill.

2.5 Waste

- The storage and collection of recyclables including organic waste is part of the Waste Management Plan. All the waste is sorted and disposed of in separate containers which allows for maximum recycling

2.6 Indoor Environment

- The paint is low or no VOC and is made with 10% recycled material.
- The roofing material is made with 10% recycled material.
- The flooring is made with 10% recycled material and is low formaldehyde.

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TABLE 5.5-5 Building Envelope Requirements for Climate Zone 5 (A, B, C)*

Opaque Elements	Nonresidential		Residential		Semiheated	
	Assembly Maximum	Insulation Min. R-Value	Assembly Maximum	Insulation Min. R-Value	Assembly Maximum	Insulation Min. R-Value
<i>Roofs</i>						
Insulation Entirely above Deck	U-0.048	R-20.0 c.i.	U-0.048	R-20.0 c.i.	U-0.119	R-7.6 c.i.
Metal Building ^a	U-0.055	R-13.0 + R-13.0	U-0.055	R-13.0 + R-13.0	U-0.083	R-13.0
Attic and Other	U-0.027	R-38.0	U-0.027	R-38.0	U-0.053	R-19.0
<i>Walls, Above-Grade</i>						
Mass	U-0.090	R-11.4 c.i.	U-0.080	R-13.3 c.i.	U-0.151 ^b	R-5.7 c.i. ^b
Metal Building	U-0.069	R-13.0 + R-5.6 c.i.	U-0.069	R-13.0 + R-5.6 c.i.	U-0.113	R-13.0
Steel-Framed	U-0.064	R-13.0 + R-7.5 c.i.	U-0.064	R-13.0 + R-7.5 c.i.	U-0.124	R-13.0
Wood-Framed and Other	U-0.064	R-13.0 + R-3.8 c.i.	U-0.051	R-13.0 + R-7.5 c.i.	U-0.089	R-13.0
<i>Walls, Below-Grade</i>						
Below-Grade Wall	C-0.119	R-7.5 c.i.	C-0.119	R-7.5 c.i.	C-1.140	NR
<i>Floors</i>						
Mass	U-0.074	R-10.4 c.i.	U-0.064	R-12.5 c.i.	U-0.137	R-4.2 c.i.
Steel-Joist	U-0.038	R-30.0	U-0.038	R-30.0	U-0.052	R-19.0
Wood-Framed and Other	U-0.033	R-30.0	U-0.033	R-30.0	U-0.051	R-19.0
<i>Slab-On-Grade Floors</i>						
Unheated	F-0.730	NR	F-0.540	R-10 for 24 in.	F-0.730	NR
Heated	F-0.860	R-15 for 24 in.	F-0.860	R-15 for 24 in.	F-1.020	R-7.5 for 12 in.
<i>Opaque Doors</i>						
Swinging	U-0.700		U-0.500		U-0.700	
Nonswinging	U-0.500		U-0.500		U-1.450	
Fenestration		Assembly Max. SHGC	Assembly Max. U	Assembly Max. SHGC	Assembly Max. U	Assembly Max. SHGC
<i>Vertical Glazing, 0%-40% of Wall</i>						
Nonmetal framing (all) ^c	U-0.35		U-0.35		U-1.20	
Metal framing (curtainwall/storefront) ^d	U-0.45	SHGC-0.40 all	U-0.45	SHGC-0.40 all	U-1.20	SHGC-NR all
Metal framing (entrance door) ^d	U-0.80		U-0.80		U-1.20	
Metal framing (all other) ^d	U-0.55		U-0.55		U-1.20	
<i>Skylight with Curb, Glass, % of Roof</i>						
0%-2.0%	U _{all} -1.17	SHGC _{all} -0.49	U _{all} -1.17	SHGC _{all} -0.49	U _{all} -1.98	SHGC _{all} -NR
2.1%-5.0%	U _{all} -1.17	SHGC _{all} -0.39	U _{all} -1.17	SHGC _{all} -0.39	U _{all} -1.98	SHGC _{all} -NR
<i>Skylight with Curb, Plastic, % of Roof</i>						
0%-2.0%	U _{all} -1.10	SHGC _{all} -0.77	U _{all} -1.10	SHGC _{all} -0.77	U _{all} -1.90	SHGC _{all} -NR
2.1%-5.0%	U _{all} -1.10	SHGC _{all} -0.62	U _{all} -1.10	SHGC _{all} -0.62	U _{all} -1.90	SHGC _{all} -NR
<i>Skylight without Curb, All, % of Roof</i>						
0%-2.0%	U _{all} -0.69	SHGC _{all} -0.49	U _{all} -0.69	SHGC _{all} -0.49	U _{all} -1.36	SHGC _{all} -NR
2.1%-5.0%	U _{all} -0.69	SHGC _{all} -0.39	U _{all} -0.69	SHGC _{all} -0.39	U _{all} -1.36	SHGC _{all} -NR

*The following definitions apply: c.i. = continuous insulation (see Section 3.2), NR = no (insulation) requirement.

^aWhen using R-value compliance method, a thermal spacer block is required; otherwise use the U-factor compliance method. See Table A2.3.

^bException to Section A3.1.3.1 applies.

^cNonmetal framing includes framing materials other than metal with or without metal reinforcing or cladding.

^dMetal framing includes metal framing with or without thermal break. The "all other" subcategory includes operable windows, fixed windows, and non-entrance doors.

ASHRAE 90.1 (2010) COMPLIANCE

THE PROPOSED LIGHTING SYSTEM HAS BEEN DESIGNED TO MEET THE 90.1 (2010) STANDARD REQUIREMENTS AND TO COMPLY WITH THE MANDATORY REQUIREMENTS IN THE REQUIREMENTS CHECKLIST. THE PROPOSED LIGHTING DESIGN REPRESENTED IN THESE DRAWINGS ARE CONSISTENT WITH THE BUILDING PLANS, SPECIFICATIONS AND CALCULATIONS SUBMITTED WITH THIS PERMIT APPLICATION. A COMPLIANCE REPORT HAS BEEN ISSUED TO THE CITY.

CONTROLS, SWITCHING, AND WIRING:

- ✓ 1) LIGHTING CONTROL (9.4.1)
- ✓ 2) AUTOMATIC LIGHTING SHUTOFF CONTROLS ARE PROVIDED BASED ON EITHER A SCHEDULING DEVICE OR AN OCCUPANT SENSOR (9.4.1.1)
- ✓ 3) EACH ENCLOSED SPACE HAS ITS OWN CONTROL INCLUDING BILEVEL OR OCCUPANCY BASED WHERE REQUIRED (9.4.1.2)
- ✓ 4) CONTROLS FOR PARKING GARAGES, INCLUDING BILEVEL, TRANSITION AND PERIMETER CONTROL AS REQUIRED (9.4.1.3)
- ✓ 5) AUTOMATIC DAYLIGHTING CONTROLS FOR PRIMARY SIDELIGHTED AREAS (9.4.1.4)
- ✓ 6) AUTOMATIC DAYLIGHTING CONTROLS FOR TOPLIGHTING (9.4.1.5)
- ✓ 7) ADDITIONAL CONTROLS FOR DISPLAY/ACCENT, CASE, GUEST ROOM, TASK, NONVISUAL AND DEMONSTRATION LIGHTING APPLICATIONS (9.4.1.6)
- ✓ 8) EXTERIOR LIGHTING CONTROLS INCLUDING AUTOMATIC SHUTOFF AND BILEVEL AS REQUIRED (9.4.1.7)
- ✓ 9) EXIT SIGNS DO NOT EXCEED 5 W PER FACE (9.4.2)
- ✓ 10) EXTERIOR LIGHTING POWER (9.4.3)
- ✓ 11) FUNCTIONAL TESTING COMPLETED ON SPECIFIED CONTROLS (9.4.4)

Marie-Claude Vanasse
2015A -1410 Alpha Lake Rd.
Whistler, BC

June 7, 2016

RE: DP1488 – 8040 Nesters Road

The following provides a list of outstanding items to be provided and reviewed to the satisfaction of the General Manager of Resort Experience as a condition of development permit approval.

1. Provide a comprehensive sign plan illustrating the proposed location of signs on the buildings and proposed freestanding sign, if any, at the driveway entrance.
2. Final review of planting plan dated May 19, 2016.
3. Cluster the proposed hydro kiosk and phone kiosk closer to the pump station building instead of in front of the CME building patio.
4. Extend the sidewalk to the drive isle on the CME site. Label all surface materials. Coordinate the civil drawings with the architectural and landscape drawings.
5. Register a shared access easement for the shared garbage and recycling building.
6. Submit a landscape estimate prepared by a landscape architect for the hard and soft landscaping. Provide a letter of credit in the amount of 135% of the approved landscape estimate as security for completion of the works.
7. Provide 1 full size hard copy and 1 pdf of the architectural, landscape and civil drawings for development permit issuance.

Regards,



Melissa Laidlaw
Senior Planner



REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: June 7, 2016
FROM: Resort Experience
SUBJECT: DP 1483 – 8060 NESTERS ROAD – INDUSTRIAL DEVELOPMENT

REPORT: 16-069
FILE: DP 1483

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Resort Experience be endorsed.

RECOMMENDATION

That Council approve the issuance of Development Permit DP 1483 for the proposed first phase of industrial development at 8060 Nesters Road (Lot C) as per the architectural plans A-DP1.0, A-DP1.1, A-DP1.1a, A-DP1.2, A-DP1.3, A-DP1.3a prepared by abbarch architects, dated May 2, 2016, the landscape plans L1 and L2 prepared by PMG Landscape Architects, dated May 3, 2016, and the preliminary site servicing plans SS1 and SG1 prepared by Binnie and Associates Ltd., dated May 3, 2016, attached respectively as Appendices B and C to Council Report No. 16- 069 , and subject to the resolution of the following items to the satisfaction of the General Manager of Resort Experience;

1. Finalization of the architectural, landscape and engineering plans to address the following items:
 - a. Provide additional asphalt adjacent to the surface parking lot to reduce gravel being tracked onto the paved driveway;
 - b. Finalize the drainage and interception system plans to municipal standards to address the soil preloading for Phase 2;
2. Provision of a letter of credit, or other approved security, in the amount of 135 percent of the costs of the hard and soft landscape works as security for the construction and maintenance of these works;
3. Provision of a snow shed analysis, prepared by a certified engineer, consistent with Council Snow Shed Policy G-16; and
4. Finalization of signage details.

REFERENCES

Location: 8060 Nesters Road
Legal Description: Lot C District Lot 1757 NWD Plan EPP54641
Owner: Nesters Crossing Holdings Ltd., Inc. No. BC1037949
Current Zoning: CTI1 (Community and Transportation Infrastructure One)
Appendices:
‘A’ Location Map
‘B’ Architectural, Landscape and Engineering Plans
‘C’ Advisory Design Panel Minutes March 16, 2016
‘D’ Advisory Design Panel Minutes April 20, 2016
‘E’ Advisory Design Panel Minutes May 17, 2016
‘F’ Applicant’s letter Green Build Policy

PURPOSE OF REPORT

This report seeks Council's approval of Development Permit DP 1483, an application for Phase 1 of an industrial development at 8060 Nesters Road in the Nesters Crossing industrial subdivision.

The proposed development is subject to development permit guidelines for the form and character of development, protection of development from hazardous conditions and protection of the natural environment. The development permit is subject to Council approval as the proposal involves the development of a building greater than 20 square metres in floor area.

DISCUSSION

Background

This development permit application is for a 874 square metre two-storey industrial building with surface parking and landscaping. This CTI1 zoned property is located in the Nesters Crossing industrial subdivision in the Mons area as shown in Appendix A. The intent of this zone is to permit industrial type uses supporting community and transportation infrastructure. The building will be purpose built for a local site works contractor (Alpine Works Ltd.). The owner of the business will live in the auxiliary dwelling located on the second storey.

Based on the CTI1 zone regulations there is sufficient remaining lot area and gross floor area to accommodate a Phase 2 development on the property. Future development permits will be required for the design and landscaping of future phases of development.

Proposed Development

The proposed development is shown in the architectural, landscape and engineering plans provided in Appendix B. The following describes the proposed development.

Site Planning

The lot area for development of buildings is constrained by several rights of way on the property. There is a 43.3 metres wide hydro right of way over the front of the property (south side), a 14 metres wide portion of a 20.1 metres wide floodway along the west side of the property, and a 10 metres wide native vegetation buffer area along the north property line. This buffer area of existing vegetation is a tree buffer to assist with screening the industrial development from the golf course on the north side of the rail tracks. These constraints result in the Phase 1 building being located near the rear of the property and the preloading of soil for Phase 2 as shown on the drawings in Appendix B. The proposed soil preloading for Phase 2 shown on the Phase 1 drawings is part of this development permit approval. Prior to issuance of the development permit final details will be required from the applicant's civil engineer concerning how the runoff from the preload for Phase 2 impacts the drainage and interception system plan for Phase 1.

Site Circulation

The proposed building is located towards the rear of the property due to the wide hydro right of way located over the front of the property and the industrial user's need to utilize the area adjacent to the building for outdoor storage. An asphalt driveway with a walkway delineated by painted lines on the asphalt will provide access from the street to the building as shown in Appendix B.

Building Design

The proposed two-storey building is 11.1 metres in height and approximately 16.8 metres in width and 27.4 metres in length. The height of the first storey includes a mezzanine level which provides additional internal storage and working space for the industrial user. Although the proposed

building is not immediately adjacent to Nesters Road it will be quite visible given the open nature of the front portion of the property due to the wide hydro right of way which does not permit permanent buildings to be located within it. The building will be a positive enhancement to the Nesters Crossing industrial subdivision given the proposed building materials, colors, and landscaped parking area and entrance.

Articulation of the building facades is achieved with door and window frame mullions, scoring and color changes on the precast concrete panels, alternating fascia treatment between the precast concrete panels and the second storey fibre cement lap siding, metal overhead doors and awnings over pedestrian entrances. The proposed building's earth tone color scheme with the charcoal color metal roofing is suitable for the industrial location. The proposed external light design choices for the building and light posts will be shielded to direct light downward to illuminate entrances and parking areas but reduce the impact on the night sky. The proposed design is a good response to site restrictions and surrounding conditions.

Parking

The required parking for the Phase 1 building is 13 parking spaces and a total of 17 parking spaces are proposed in two paved parking areas. There are 12 parking spaces in the parking area adjacent to the front property line and 5 parking spaces in the smaller parking area near the building. The larger parking lot adjacent to the road will be screened by a 7.92 metres wide landscaped buffer which includes a 1.5 metre in height landscaped berm with a mixture of coniferous and deciduous trees and shrubs as shown on the landscape drawings in Appendix B.

Landscape Concept

The landscape plan is an important aspect of the overall design. The landscape plan provides the main landscaped area adjacent to Nesters Road to enhance the property's appearance and to screen the surface parking area as shown in Appendix B. A portion of the proposed landscaping screening of the surface parking lot may be relocated if a second driveway access to Nesters Road is required with Phase 2. The relocation and redesign of the landscape area would be subject to approval of a future development permit application.

Signage

The property's signage is subject to development permit approval for form and character, coordination, and compliance with the Sign Bylaw. The proposed signage is preliminary in nature as shown in Appendix B. The proposed location for a freestanding sign in the landscape area adjacent to the road is acceptable, however more details are required respecting sign area and materials. The proposed projecting sign's area and letter size exceed the maximum sizes permitted under the Sign Bylaw for a projecting sign. Given the applicant's interest to obtain development and building permits to commence construction this year, staff recommend further details regarding the proposed signage be prepared and submitted for approval by the General Manager of Resort Experience prior to the installation of any signs as a condition of the development permit.

Advisory Design Panel Review

The proposal was presented to the municipal Advisory Design Panel on March 16, 2016 at which time the Panel had comments respecting integration of the architecture of the building and landscaping and encouraged the applicant to work with staff. At the April 20, 2016 Panel meeting under new business staff indicated to the Panel that they would like to bring the project back to the Panel for review of the architectural component of the proposal, as the Panel had several comments respecting the architecture. The Panel reviewed the revised proposal at their May 17,

2016 meeting and supported the further integration of the overall design as presented. The minutes of the March, April and May ADP meetings are attached as Appendices C, D, and E for reference.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Built Environment	The built environment is attractive and vibrant, reflecting the resort community's mountain character.	The development is an attractive and positive new industrial building for the Nesters Crossing industrial area.
Economic	Locally owned and operated business thrive and are encouraged as an essential component of a healthy business mix	The development provides additional space for a local industrial user to locate in the RMOW that support the operations of the resort municipality.
Energy	The energy system is continuously moving towards a state whereby a build-up of emissions and waste into air, land and water is eliminated	The development proposes to incorporate the goals and objectives of Whistler's Green Building Policy. Proposed building materials are considered durable to withstand Whistler's harsh climate.

W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
Energy	The energy system is continuously moving towards a state whereby a build-up of emissions and waste into air, land and water is eliminated.	Energy is required to manufacture the necessary building materials and construct the project. This energy requirement will be partially offset by the measures undertaken to meet Green Building Policy objectives.

OTHER POLICY CONSIDERATIONS

The property is located within Development Permit Area #25 – Mons Industrial Lands and is subject to development permit guidelines for the form and character of development, protection of development from hazardous conditions and protection of the natural environment. The applicable guidelines are contained within the Official Community Plan.

Guidelines	Comments
Building design, siting, parking and loading areas must be designated and coordinated to maximize solar penetration with the intent to conserve electrical consumption.	Large windows are proposed for solar access into the building for the second storey. A deck area for staff and caretaker residence is located on the second storey with partial southern exposure for solar access.
All landscaping and screening elements must be able to withstand Whistler's harsh climatic conditions and coordinated with adjacent landscaping. A ten metre minimum buffer shall be maintained within the site that parallels the CN rail right of way.	The proposed landscaping meets this guideline. The ten metre tree buffer is retained and protected by an existing concrete no post and chain link fence barrier. This area contains the only existing natural vegetation on the property.
Areas of existing natural vegetation shall be retained and where necessary to separate land	The lot will have a minimum 10% landscaped area in addition to the tree buffer area to separate land uses and provide a visual screen

uses and provide a visual screen of development.	of the parking and back of house from the valley trail and Nesters Road.
All buildings to be developed shall use an accepted checklist by the municipality to ensure measures are provided for energy and water conservation during the building's usage.	The applicant has provided a green building project checklist attached as Appendix F. The checklist outlines how the proposal addresses each of the green building objectives outlined in Section 2.0 of the Green Building Policy G-23.
The amount of excavation and grading "cut and fill" shall be minimized.	The site is flat and the amount of excavation and grading "cut and fill" is minimized.
When a development is completed, landscaping shall be provided to mitigate or improve the damage caused by the removal of any pre-development vegetation on the site.	The proposed development occurs on a brownfield site and no pre-development vegetation is proposed to be removed.
Development of the site must take into consideration potential flood hazards that the site is subject to.	The proposal is designed to meet the registered flood plain covenant which directs minimum building elevations, site grading and required floodways through the sites.
All property development must provide for measures to mitigate any negative infiltration to the local aquifer system.	The property is located outside of local aquifer areas, nonetheless, oil interceptors are proposed as well as landscape areas that can infiltrate and accommodate storm water run-off.

The property is also subject to form and character design guidelines contained within a covenant registered on title of the property and the proposed development is considered to be consistent with these guidelines. These design guidelines are an early draft of the guidelines contained in proposed OCP Amendment Bylaw No. 1983, 2011 which the owners committed to during the rezoning process for Nesters Crossing.

Snow Shed Policy

Council Snow Shed Policy G-16 requires any building subject to a development permit be required to undergo a snow shed analysis, prepared by a certified engineer, and used solely for the benefit of the building design team. This is required to be submitted prior to development permit issuance.

Green Building Policy

Council Green Building Policy G-23 provides suggestions and guidance for six broad objectives for the design, construction and operation of buildings and their surrounding landscapes (Site/Landscape, Energy, Water, Materials, Waste and Indoor Environment). The applicant's February 17, 2016 letter outlines their commitments with respect to meeting the performance goals in relation to these broad objectives and is attached as Appendix F.

Zoning Analysis

The property is zoned CTI1 (Community and Transportation Infrastructure One). The proposed development is consistent with the CTI1 zone and all other applicable regulations of Zoning and Parking Bylaw No. 303, 2015.

Legal Encumbrances

The proposal has been designed to meet the registered flood plain covenant which directs minimum building elevations, site grading and required floodway through the site. The covenant containing the additional design guidelines is addressed in the section above.

BUDGET CONSIDERATIONS

There are no significant budget implications associated with this proposal. Development Permit application fees provide for recovery of costs associated with this application. Building Permit fees will be charged at the time of Building Permit application.

COMMUNITY ENGAGEMENT AND CONSULTATION

An information sign has been posted on the property per Development Permit application requirements. Staff have received one letter of support for the proposed development from the owner of the adjacent property located at 8040 Nesters Road.

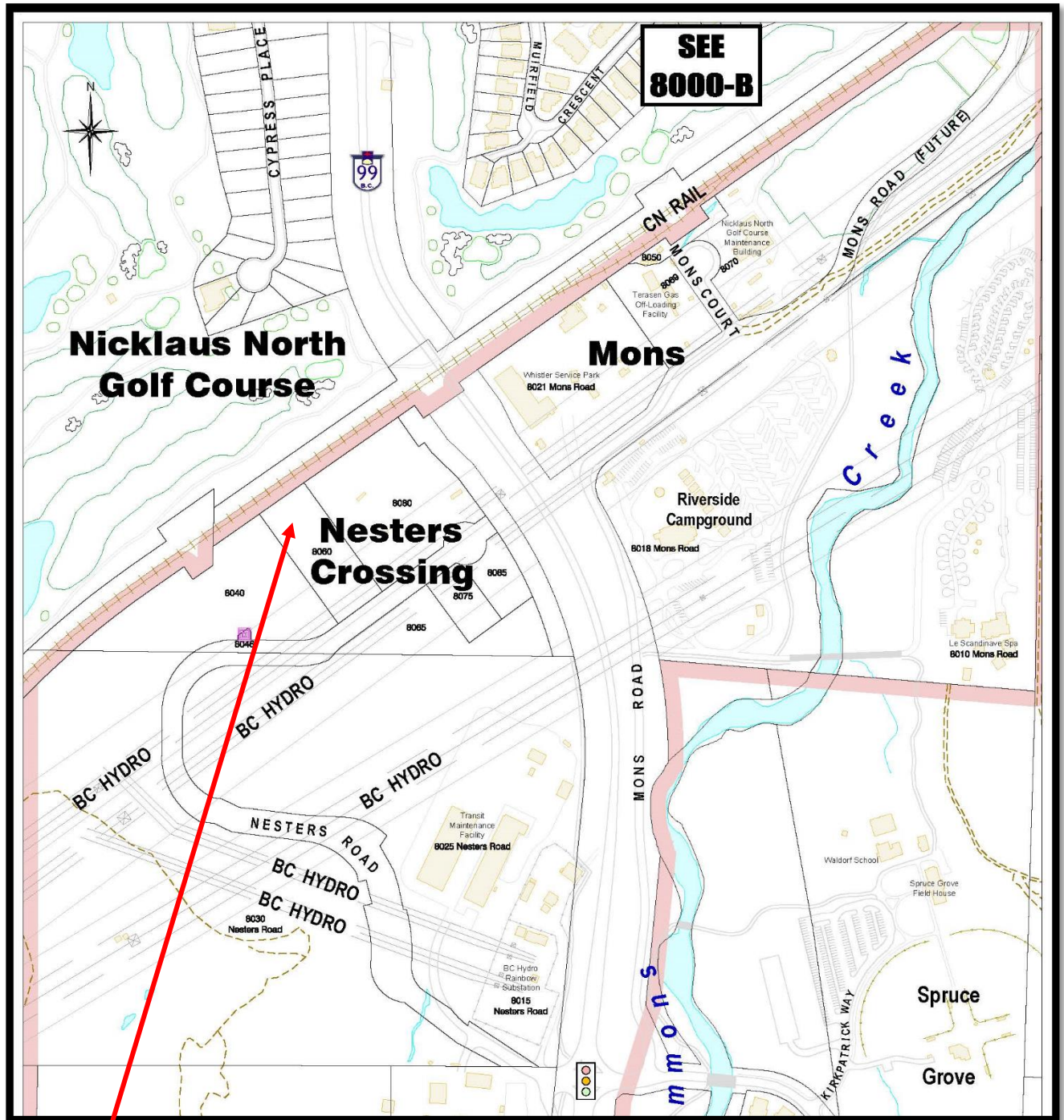
SUMMARY

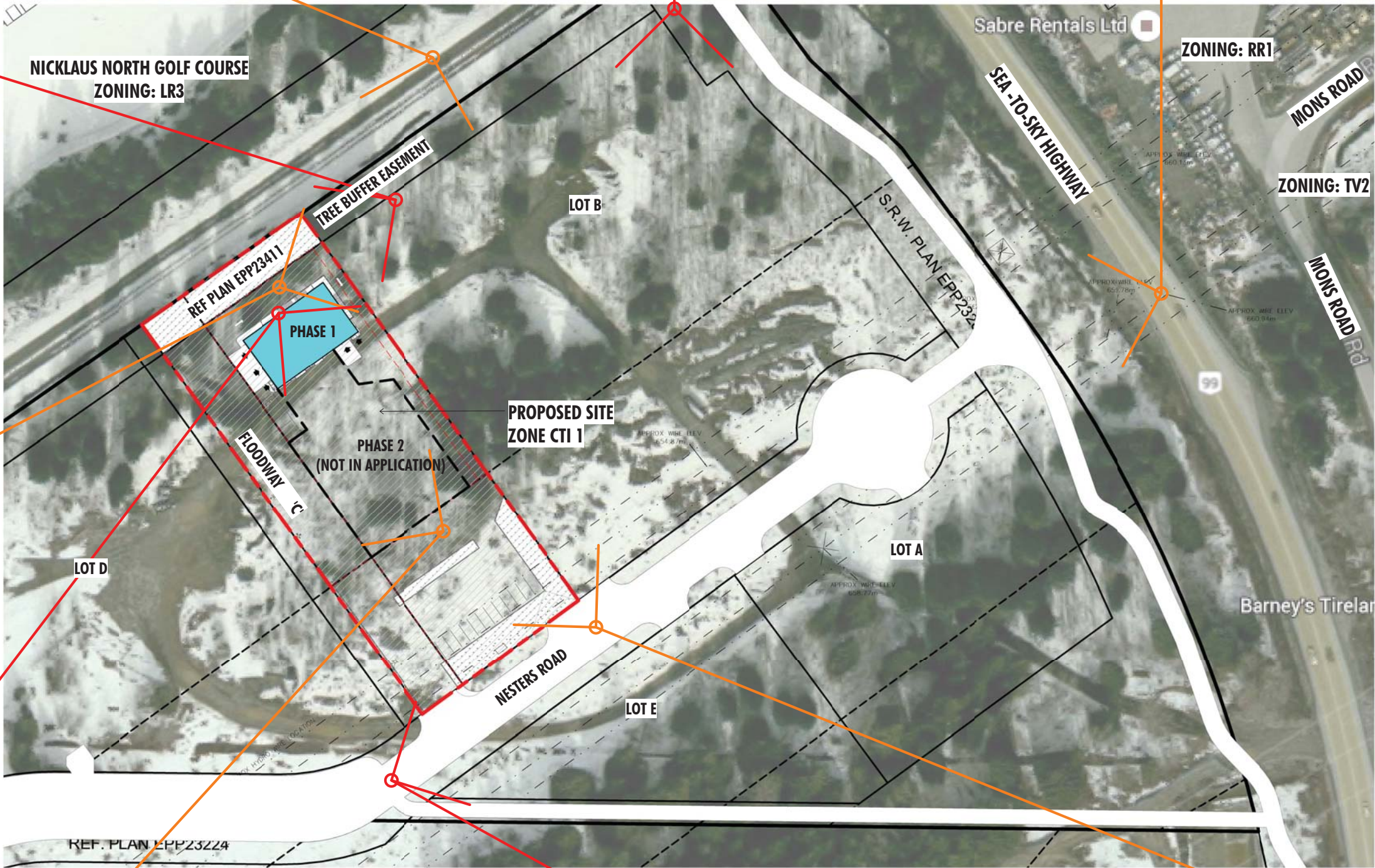
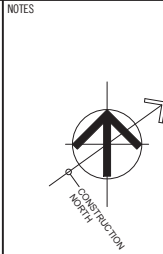
This report seeks Council's approval of the issuance of Development Permit DP 1483, an application for the Phase 1 industrial development at 8060 Nesters Road and the soil preloading for Phase 2.

Respectfully submitted,

Robert Brennan, MCIP
PLANNER
for
Jan Jansen
GENERAL MANAGER of RESORT EXPERIENCE

APPENDIX A – LOCATION MAP 8060 Nesters Road





RESPONSE TO DP COMMENTS	MAY 2, 2016
ISSUED FOR DEVELOPMENT PERMIT	FEB. 17, 2016
REVISIONS / ISSUES	DATE

NESTERS CROSSING HOLDINGS LTD.

8060 NESTERS ROAD, WHISLER, BC



ABBARCH
ARCHITECTURE INC.
VANCOUVER, BC 604.669.4041
EDMONTON, AB 780.424.4041
TORONTO, ON 416.340.8441

CONTEXT PLAN

SCALE:	1" = 40'-0"	PROJECT No:
DRAWN BY:	JB	2543
CHECKED:	MBB	SHEET No:
		A-DP1.0

NOTES



NOTE:
GRADING SHOWN FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR COMPLETE GRADING PLAN.

LEGAL ADDRESS LOT C, D.L. 1787 NWD PLAN EPP54641
MUNICIPAL ADDRESS 8060 NESTERS ROAD
PROPERTY OWNER NESTERS CROSSING HOLDINGS LTD.
SITE ZONING (CTI) COMMUNITY AND TRANSPORTATION INFRASTRUCTURE 1

AREA & PARKING CALCULATIONS

PARKING STATISTICS AS PER RESORT MUNICIPALITY OF WHISTLER STANDARDS

STANDARD STALL SIZE REQUIRED:
UNCOVERED, UNPAVED: 10'-0" WIDE x 20'-0" DEEP (3m WIDE x 6.1m DEEP)

UNCOVERED, PAVED: 8'-6" WIDE x 20'-0" DEEP (2.6m WIDE x 6.1m DEEP)

STANDARD STALL SIZE PROVIDED (PHASE 1 TEMPORARY PARKING):
GENERAL: 10'-0" WIDE x 20'-0" DEEP (3m WIDE x 6.1m DEEP)

GROSS FLOOR AREA:
1) WAREHOUSE (F2)
MAIN FLOOR 4776 SF (443.8 m²)
MEZZANINE 2053 SF (190.8 m²)
2) AUXILIARY OFFICE + STORAGE
OFFICE (D) 1461 SF (135.7 m²)
STORAGE 526 SF (48.7 m²)
3) AUXILIARY RESIDENTIAL (C) 785 SF (72.9 m²)
TOTAL 9403 SF (873.9 m²)

PARKING REQUIRED:
WAREHOUSE
MAIN FLOOR: 443.8 m² (4,950 SF) / 100 = 4.4 x 1.0 STALLS
MEZZANINE: 190.8 m² (2,095 SF) / 100 = 1.9 x 1.0 STALLS
OFFICE 135.7 m² (1,547.6 SF) / 100 = 1.4 x 1.0 STALLS
RESIDENTIAL 1 SPACE PER DWELLING
TOTAL 13 STALLS

PARKING PROVIDED:
REGULAR 16
HANDICAP 1
TOTAL PROVIDED: 17 STALLS

SITE AREA: 1.75 ACRES (16,069 SF) (1067 m²)

BUILDABLE AREA 0.71 ACRES (31,000 SF) (2880 m²)

TOTAL BUILDING AREA: 4,950 SF (460 m²)
*NOT INCLUDING MEZZANINE OR ADDITIONAL FLOORS

SITE COVERAGE (F.A.R.) (BUILDING AREA/SITE AREA x 100): 6.5%

FLOOR SPACE RATIO (F.S.R.) (GROSS FLOOR AREA/SITE AREA x 100): 12.4%

NUMBER OF STOREYS: 2 STOREYS + MEZZANINE

LANDSCAPING STATISTICS

MIN. LANDSCAPING REQUIRED: 7,607 SF (706.7 m²)
(10% OF SITE AREA)

TOTAL LANDSCAPED AREA PROVIDED: 7,709.03 SF (716.2 m²)

SITE PLAN LEGEND

- EXTENT OF ASPHALT PAVED SURFACE
- EXTENT OF PERMANENT CONCRETE SURFACE
- EXTENT OF LOW DUST GRAVEL SURFACE
- EXTENT OF PERMANENT LANDSCAPED SURFACE
- EXTENT OF TEMPORARY PHASE 1 LANDSCAPED SURFACE TO BE RELOCATED IN PHASE 2

- OUTLINE OF FUTURE PHASE(S)
- PROPERTY LINE
- SETBACKS
- CHAINLINK FENCE
- HIGH IMPACT FENCE

NESTERS CROSSING HOLDINGS LTD.

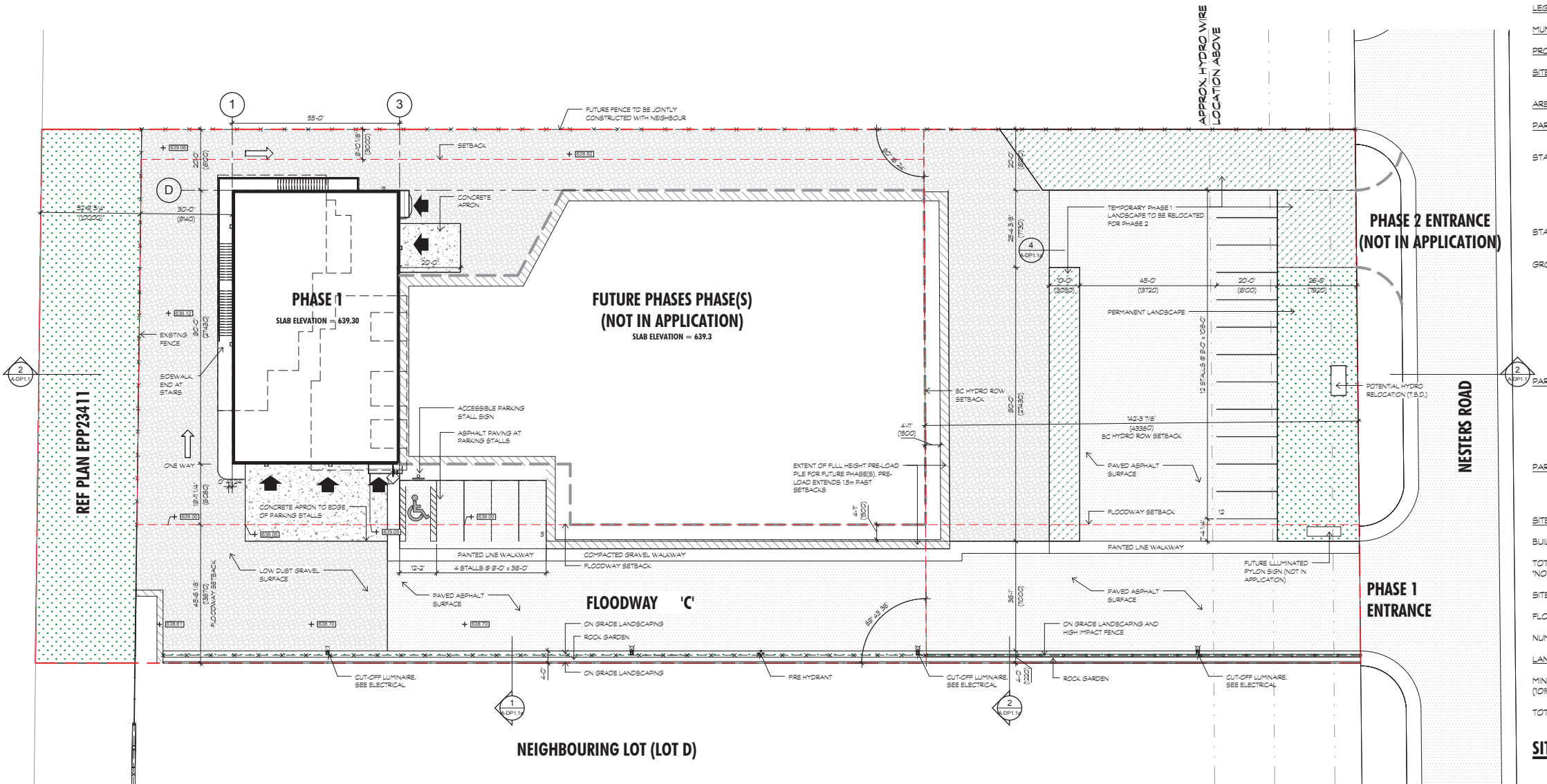
8060 NESTERS ROAD, WHISTLER, BC



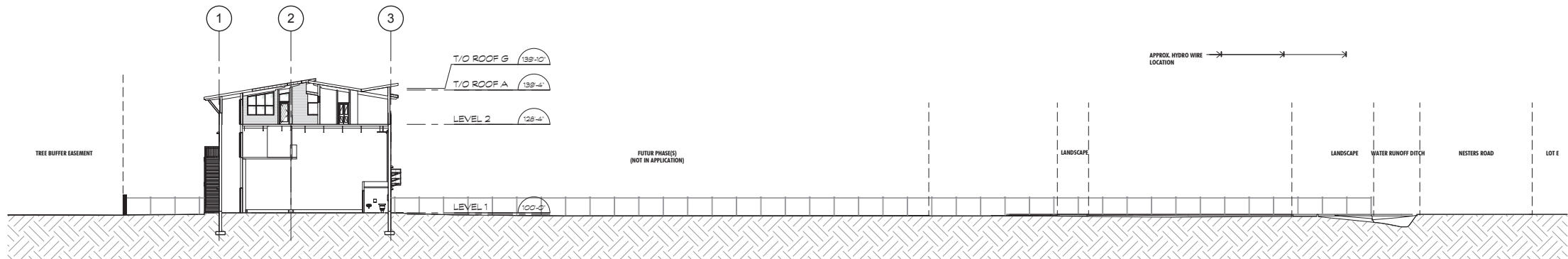
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EDMONTON, AB 780.424.4041
TORONTO, ON 416.340.8441

SITE PLAN

SCALE: 1/16" = 1'-0"
DRAWN BY: JB
CHECKED: MBB
PROJECT No: 2543
SHEET No: A-DP1.1

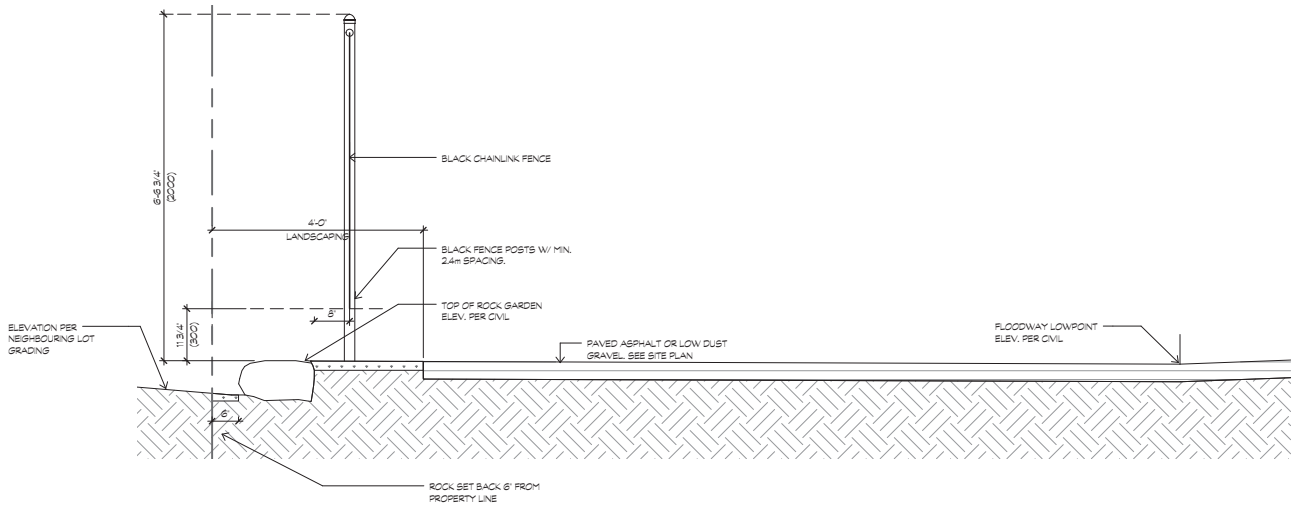


1 SITE PLAN
SCALE: 1/16" = 1'-0"

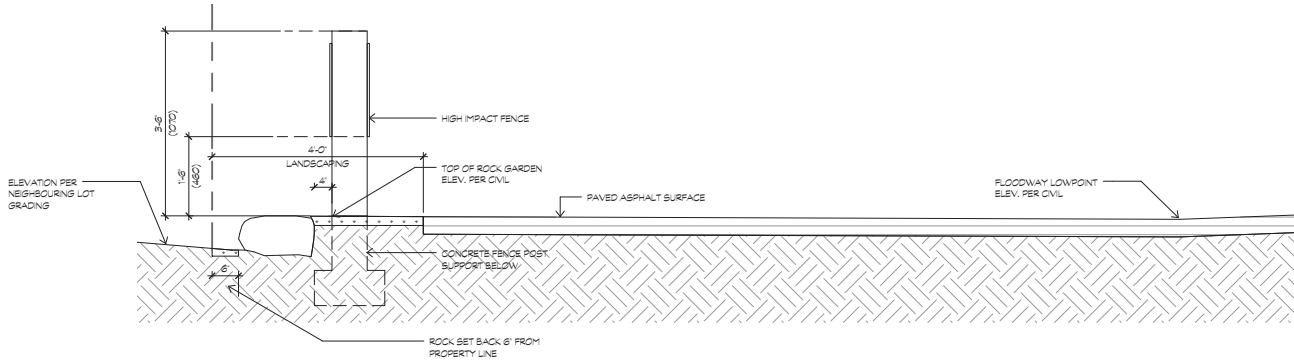


2 SITE SECTION
SCALE: 1/16" = 1'-0"

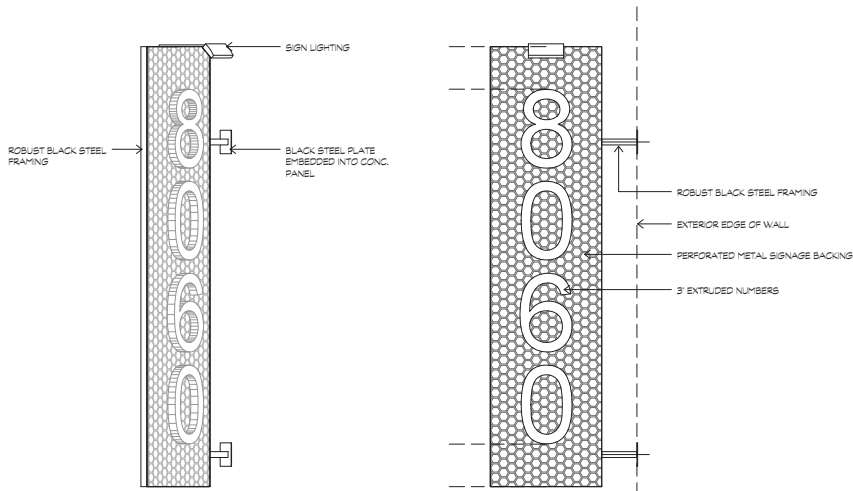
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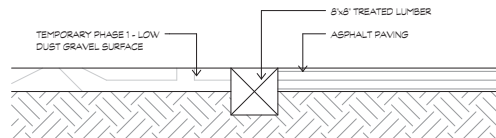
1 FLOODWAY FENCE DETAIL AT CHAINLINK FENCE
A-DP1.1 SCALE: 3/4" = 1'-0"



2 FLOODWAY FENCE DETAIL AT HIGH IMPACT FENCE
A-DP1.1 SCALE: 3/4" = 1'-0"



3 SIGN DETAIL
SCALE: 1/2" = 1'-0"



4 Paving Edge
SCALE: 1" = 1'-0"

RESPONSE TO DP COMMENTS	MAY 2, 2016
REVISIONS / ISSUES	DATE

NESTERS CROSSING HOLDINGS LTD.

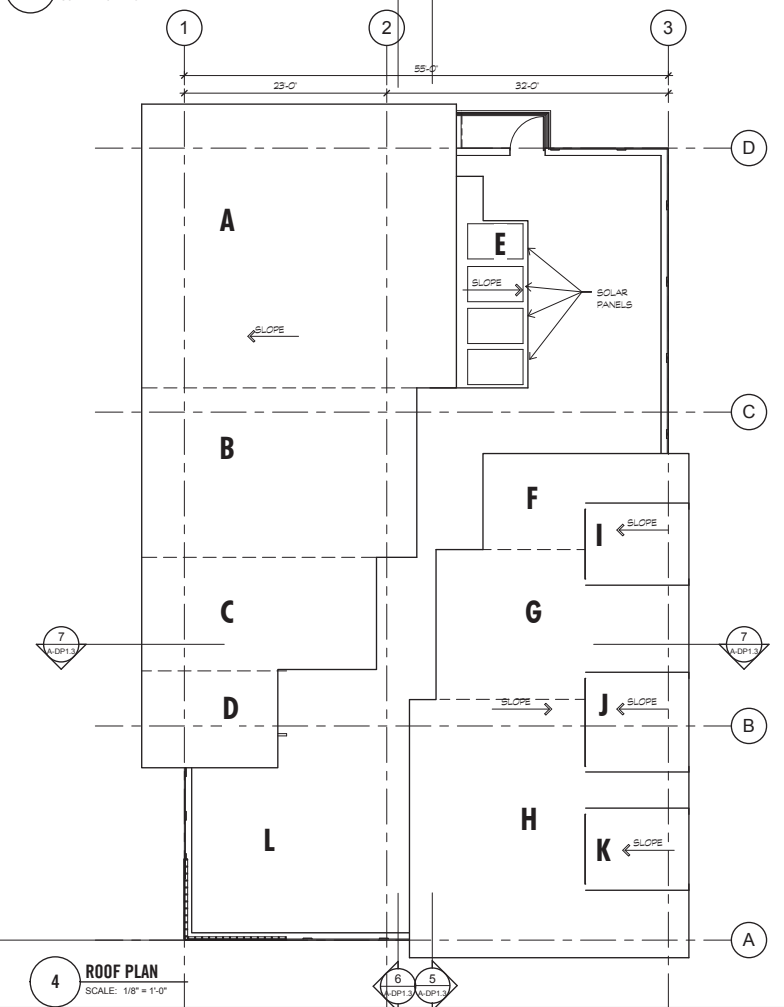
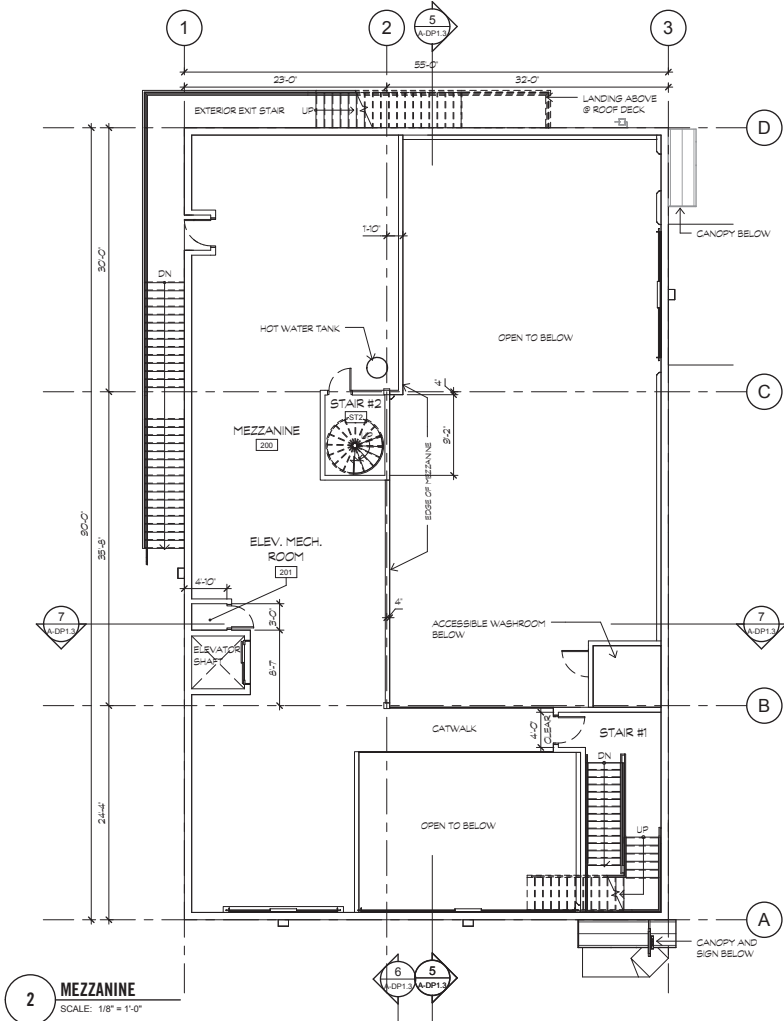
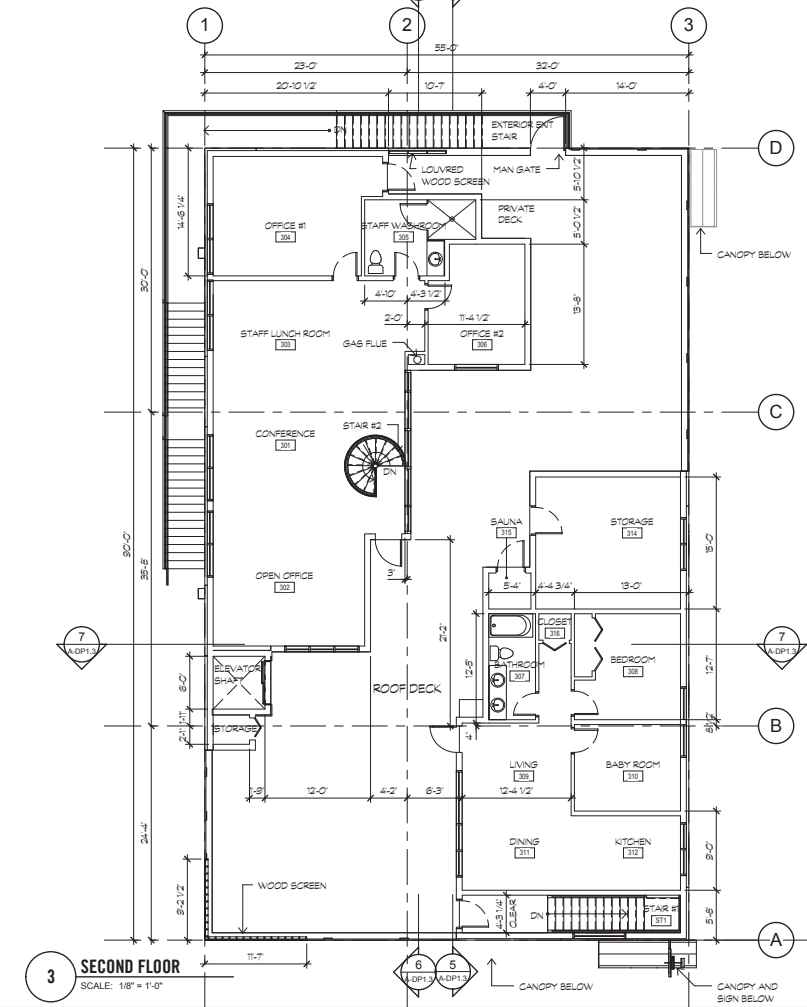
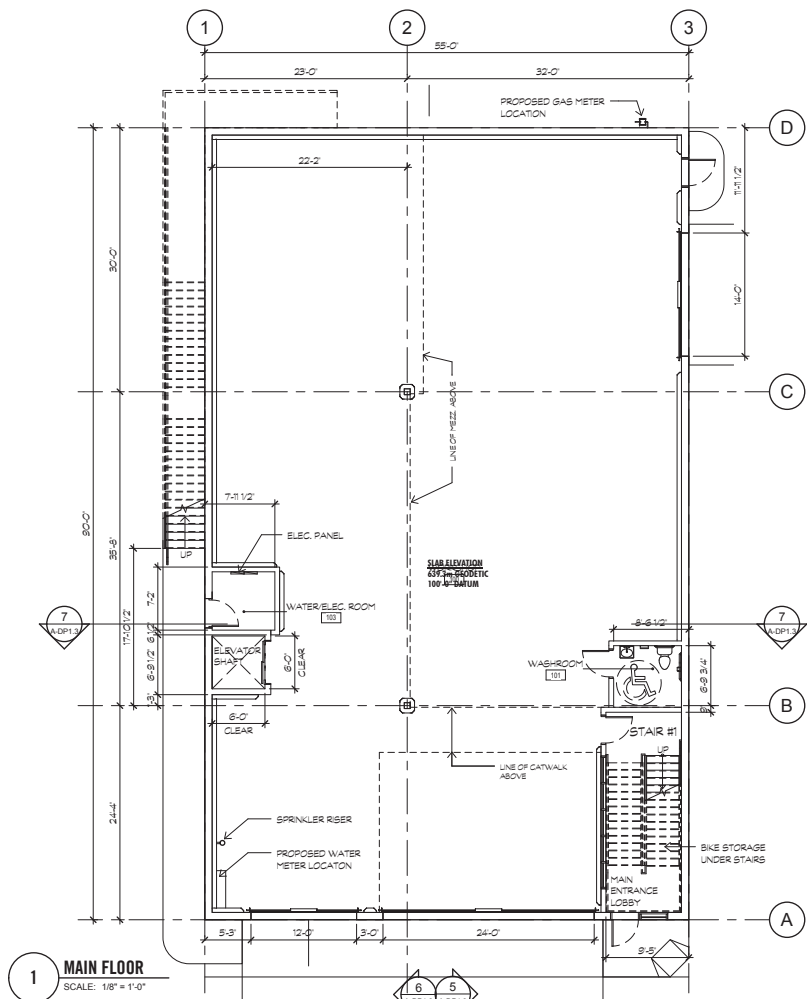
8060 NESTERS ROAD, WHISLER, BC



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TORONTO, ON 416.340.8441

SITE DETAILS

SCALE:	As indicated	PROJECT No:
DRAWN BY:	JB	2543
CHECKED:	MBB	SHEET No:
		A-DP1.1a



ROOF HEIGHT CALCULATION				
ROOF	AREA (SF)	PERCENT (%)	HEIGHT (FT)	TOTAL
A	1153.47	17.58	40.00	7.03
B	601.76	9.17	39.63	3.63
C	340.13	5.18	39.25	2.03
D	216.67	3.30	38.40	1.27
E	254.62	3.88	38.0	1.47
F	256.01	3.90	39.55	1.54
G	484.09	7.38	39.96	2.95
H	921.25	14.04	40.21	5.65
I	110.06	1.68	40.52	0.68
J	133.21	2.03	40.52	0.82
K	110.06	1.68	40.52	0.68
L	1980.47	30.18	28.33	8.55
TOTAL	6562.00	100.00		36.31 (36'-4")

RESPONSE TO DP COMMENTS	MAY 2, 2016
ISSUED FOR DEVELOPMENT PERMIT	FEB. 17, 2016
REVISIONS / ISSUES	DATE

NESTERS CROSSING HOLDINGS LTD.

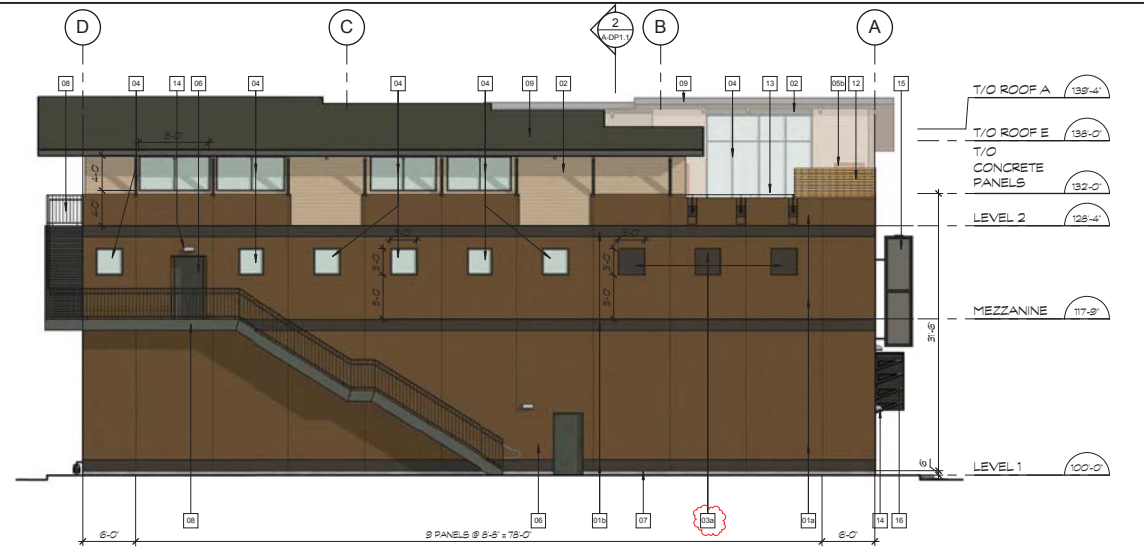
8060 NESTERS ROAD, WHISLER, BC



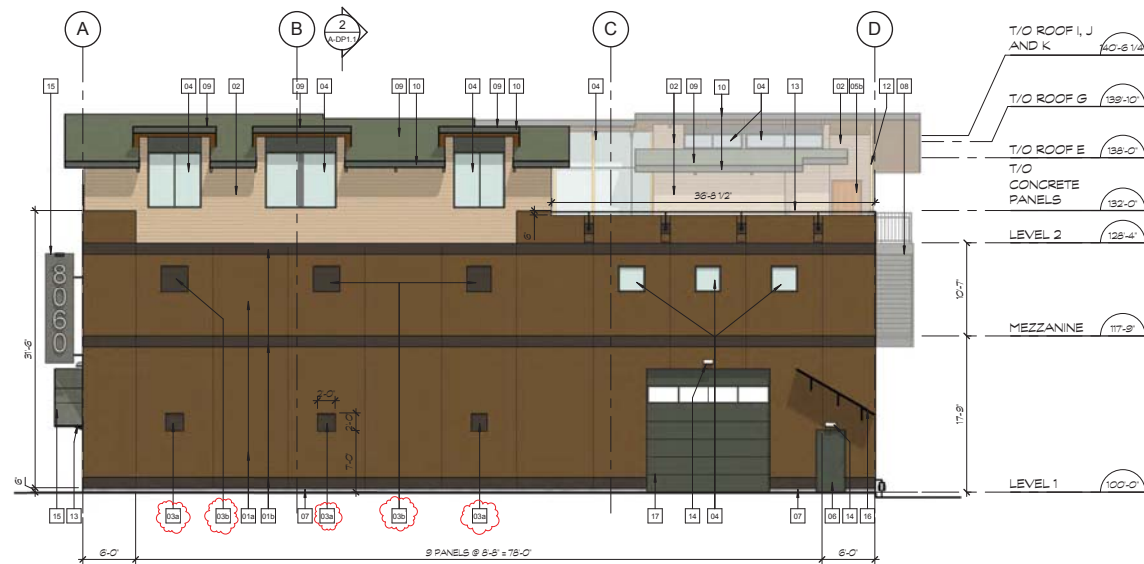
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TORONTO, ON 416.340.8441

FLOOR PLANS

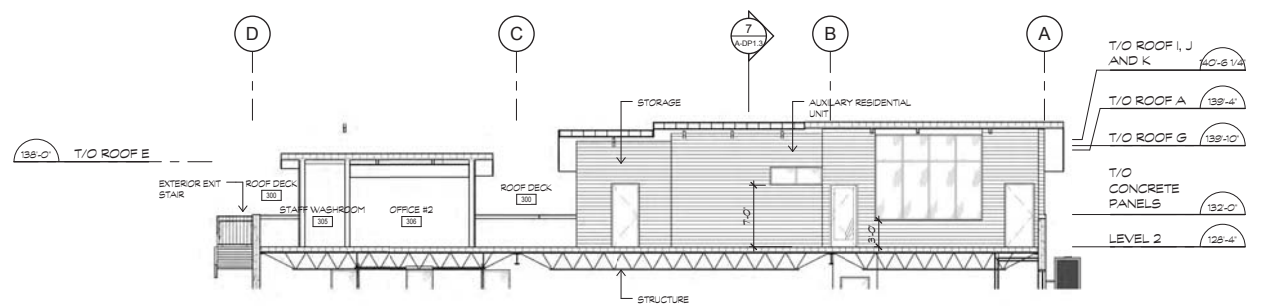
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DRAWN BY:	JB	SHEET No:	A-DP1.2
CHECKED:	MBB		



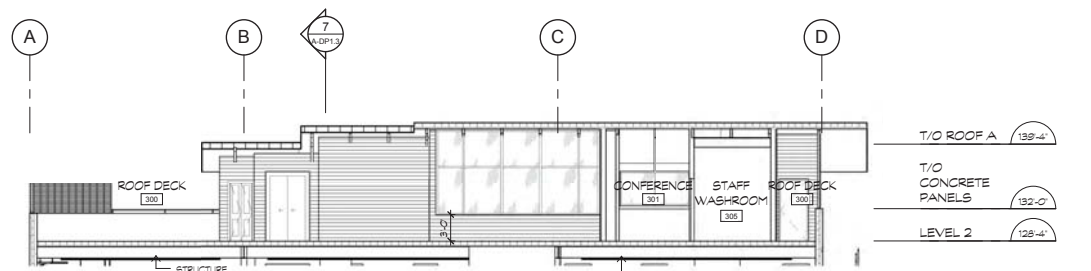
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



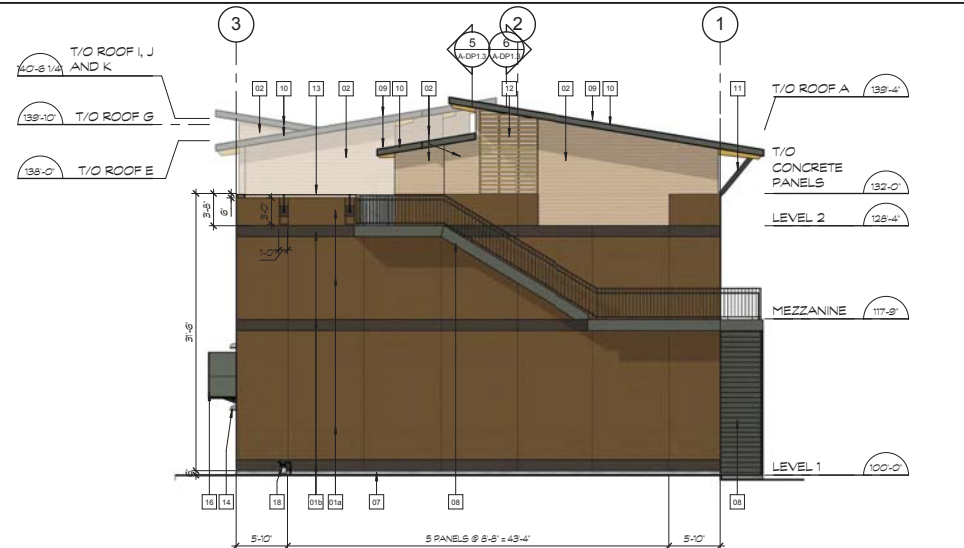
3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



5 PARTIAL SECTION 1 - FACING RESIDENTIAL
SCALE: 1/8" = 1'-0"



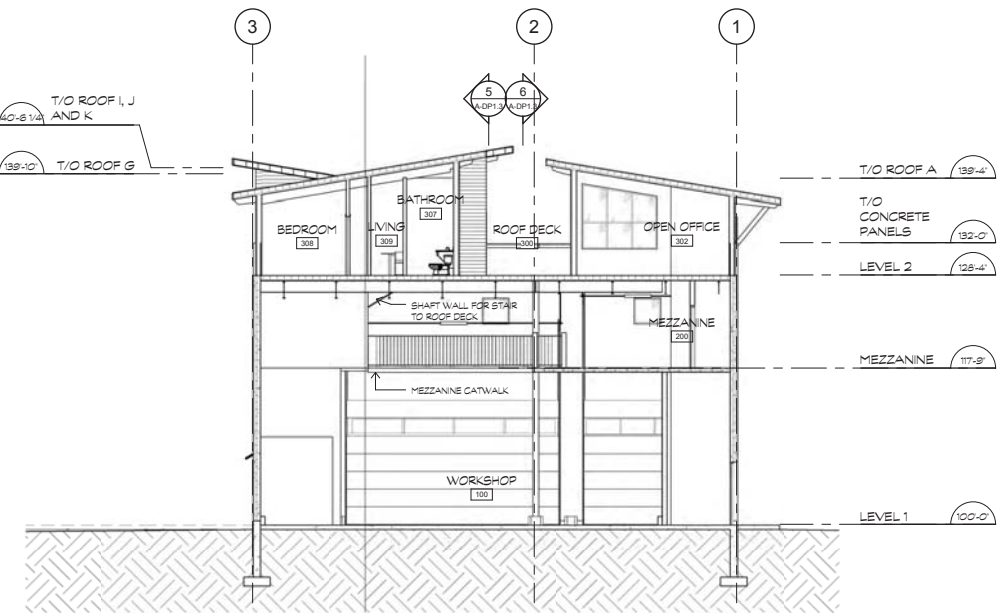
6 PARTIAL SECTION 2 - FACING OFFICE
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



7 DP - SECTION 4
SCALE: 1/8" = 1'-0"

NOTES	
EXTERIOR FINISH LEGEND:	
0114	PRECAST INSULATED CONCRETE PANEL - COLOUR BENJAMIN MOORE PLYMOUTH BROWN
0115	PRECAST INSULATED CONCRETE PANEL - COLOUR BENJAMIN MOORE IRON MOUNTAIN
02	7" HORIZONTAL FIBRE CEMENT LAP BOARD AS SPC - COLOUR BENJAMIN MOORE WHEELS NEUTRAL
03a	RECESSED SQUARES SIZED PER ELEVATION - COLOUR BENJAMIN MOORE IRON MOUNTAIN
03b	KNOCK-OUT PANELS FOR POTENTIAL FUTURE WINDOWS - COLOUR BENJAMIN MOORE IRON MOUNTAIN
04	DOUBLE PANELED SHARP FRAME WINDOW FRAME COLOUR CASCADE CHARCOAL
05	WOOD FRAMED DOOR C/W CLEAR LAMINATED GLAZING
06a	WOOD FRAMED DOOR
06	PAINTED METAL DOOR - COLOUR BENJAMIN MOORE IRON MOUNTAIN
07	CONCRETE UPSTAND
08	PAINTED EXTERIOR STEEL ENT STAIR AND RAILING - COLOUR CASCADE CHARCOAL
09	SLOPED ROOF STANDING SEAM METAL ROOF C/W SNOW GUARDS - COLOUR WEATHERED ZINC
10	PASCO - COLOUR CASCADE CHARCOAL
11	ROOF OVERHANG SUPPORT - COLOUR CASCADE CHARCOAL
12	LOUVERED WOOD PRIVACY SCREEN
13	REFINISHED METAL RAILING, COLOR BLACK
14	LIGHT FIXTURE, SEE ELECTRICAL
15	SIGNAGE BLADE, SEE DETAIL 3/A-DP1.1
16	SHEET METAL ROOFING ENTRANCE CANOPY - COLOUR CASCADE CHARCOAL
17	OVERHEAD SECTIONAL ALUMINUM DOOR C/W GRAPE PANELS COLOUR BENJAMIN MOORE IRON MOUNTAIN
18	GAS METER

RESPONSE TO DP COMMENTS	MAY 2, 2016
RE-ISSUED FOR DEVELOPMENT PERMIT	MARCH 8, 2016
ISSUED FOR DEVELOPMENT PERMIT	FEB. 17, 2016
REVISIONS / ISSUES	DATE

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8060 NESTERS ROAD, WHISLER, BC

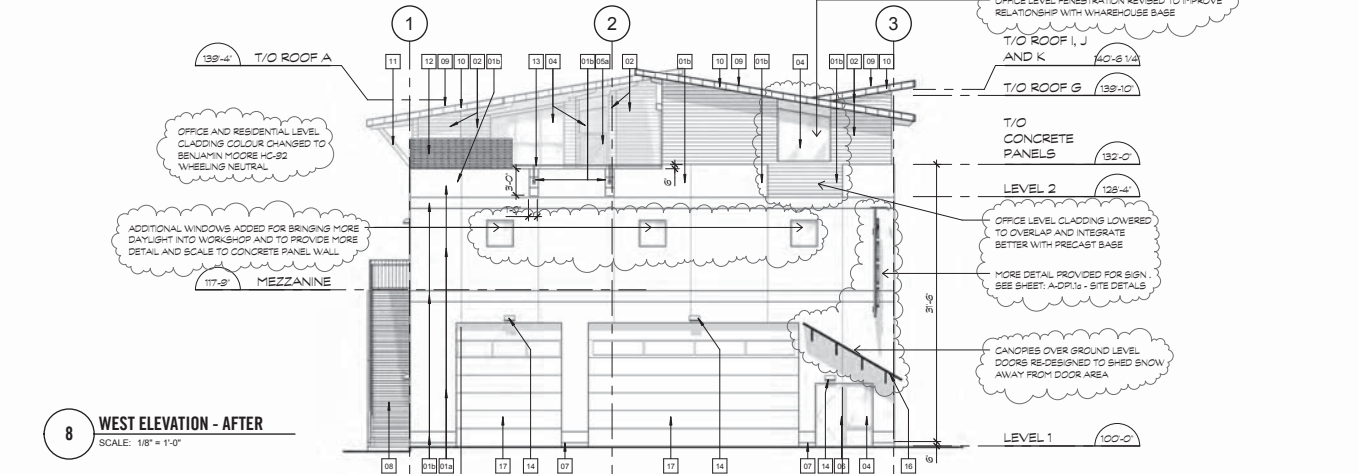
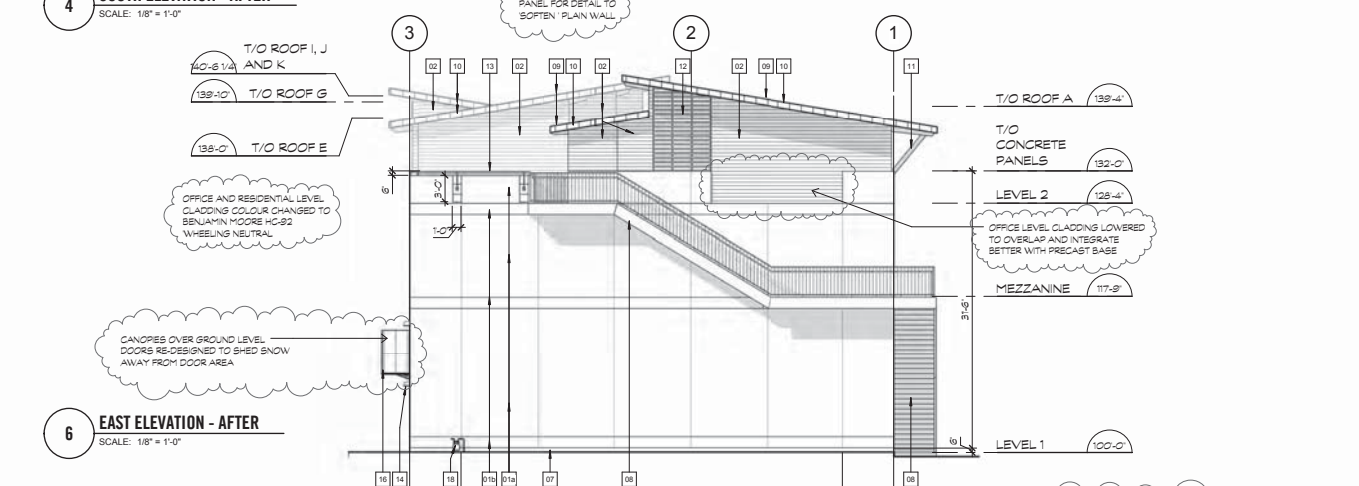
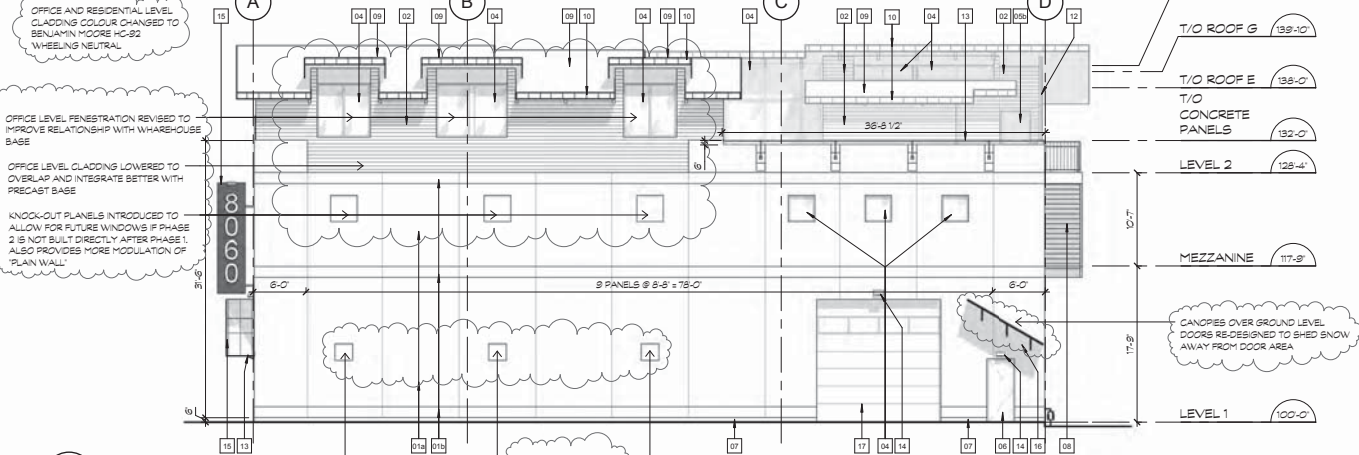
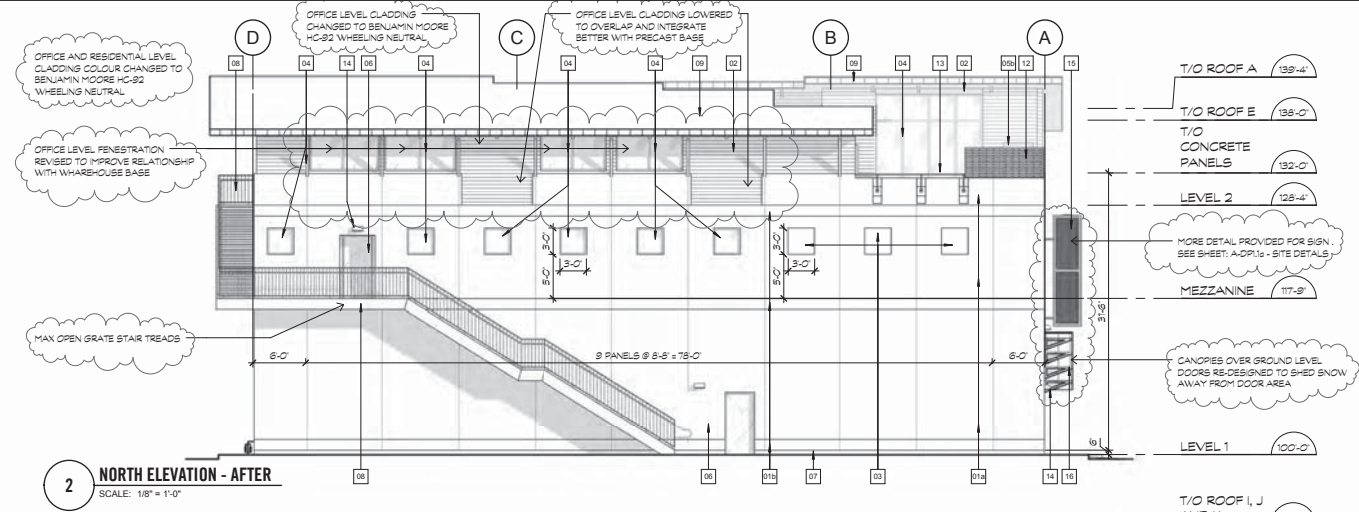
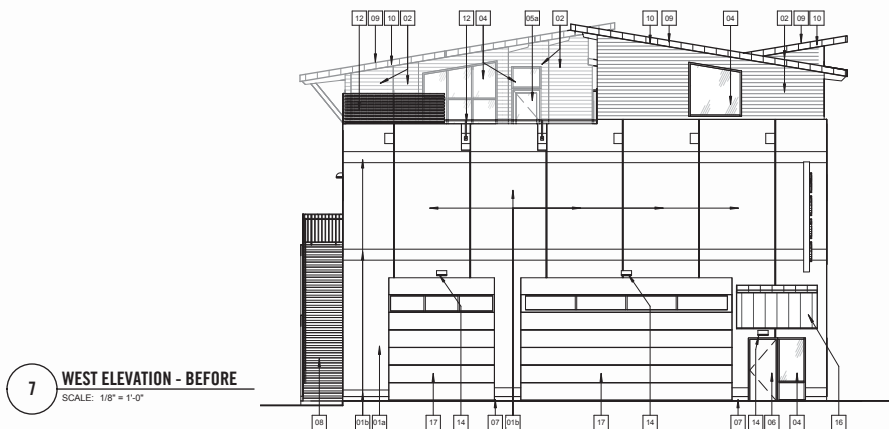
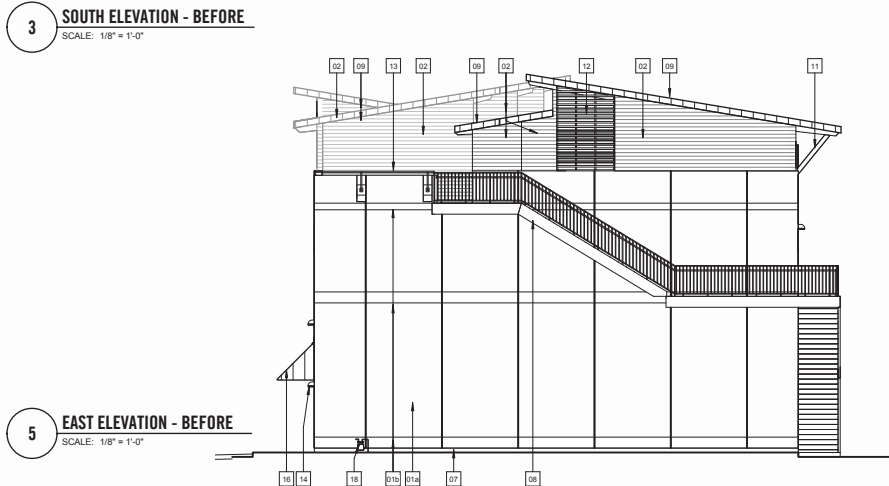
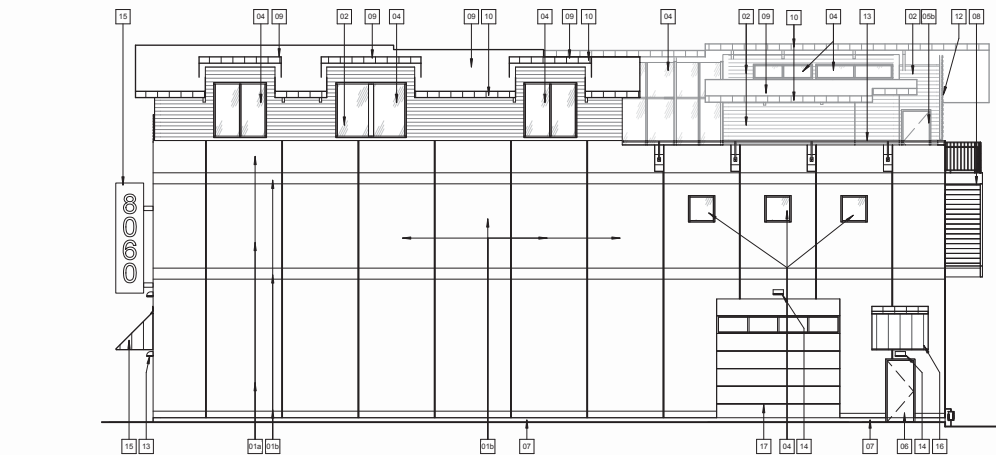
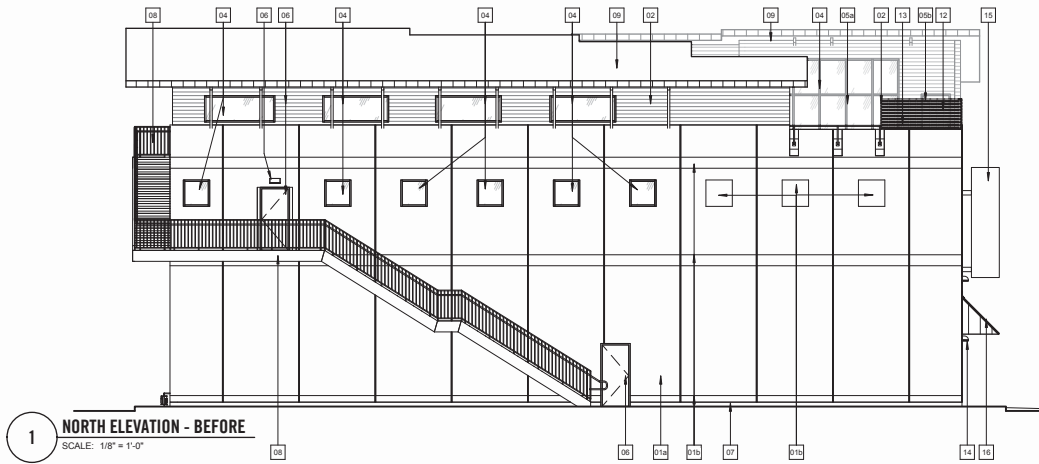


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TORONTO, ON 416.340.8441

ELEVATIONS AND SECTIONS

SCALE: 1/8" = 1'-0"	PROJECT No: 2543
DRAWN BY: JB	SHEET No: A-DP1.3
CHECKED: MBB	

NOTES



RESPONSE TO DP COMMENTS	MAY 2, 2016
REVISIONS / ISSUES	DATE

NESTERS CROSSING HOLDINGS LTD.

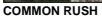
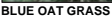
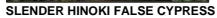
8060 NESTERS ROAD, WHISLER, BC



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TORONTO, ON 416.340.8441

BEFORE/AFTER ELEVATIONS

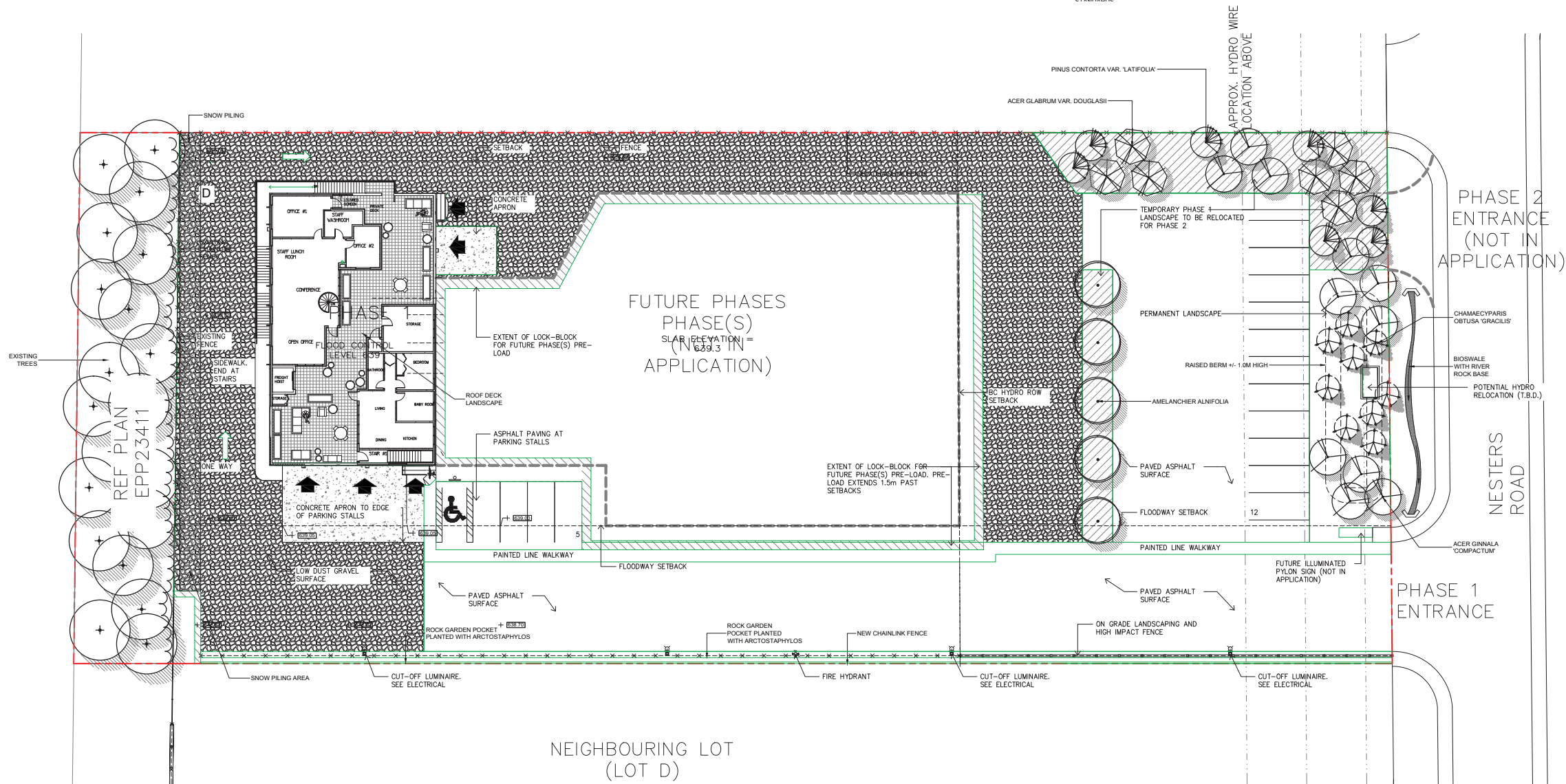
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DRAWN BY: JB
CHECKED: MBB
PROJECT No: 2543
SHEET No: A-DP1.3a



PLANT MATERIAL SELECTION

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ANTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY THE ARCHITECT AND LANDSCAPE ARCHITECT PRIOR TO ORDERING. ** APPROVAL: OBTAIN WRITTEN APPROVAL FROM THE ARCHITECT PRIOR TO ORDERING. ** APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

NOTE: ALL LANDSCAPE AREAS TO BE IRRIGATED WITH DESIGN BUILD IRRIGATION SYSTEM TO COMPLY WITH MUNICIPAL REQUIREMENTS AND IABC STANDARD



PROJECT:

**LOT C
NESTERS CROSSING**

**NESTERS ROAD
WHISTLER, BC**

DRAWING TITLE:

**LANDSCAPE
PLAN**

DATE: 16.FEB.15 DRAWING NUMBER: **L1**

SCALE: 1/16"=1'-0"

DRAWN: DO

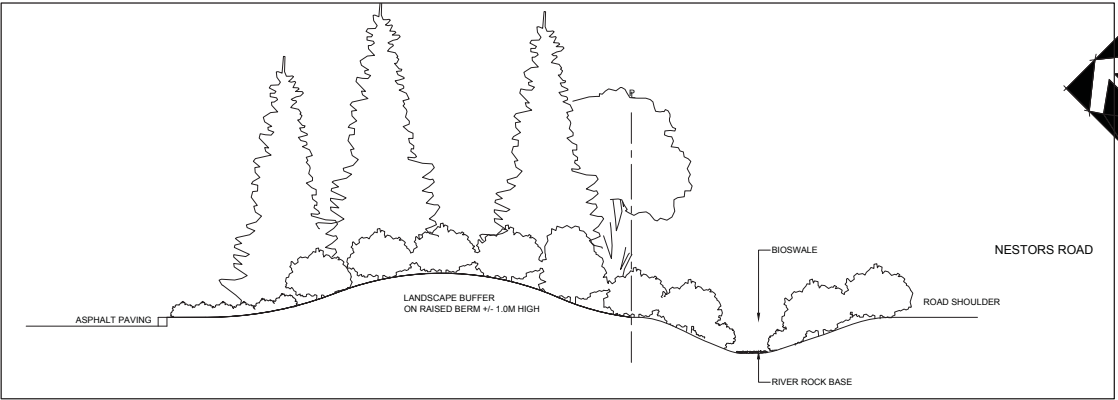
DESIGN: MCY

CHK'D: MCY OF 2

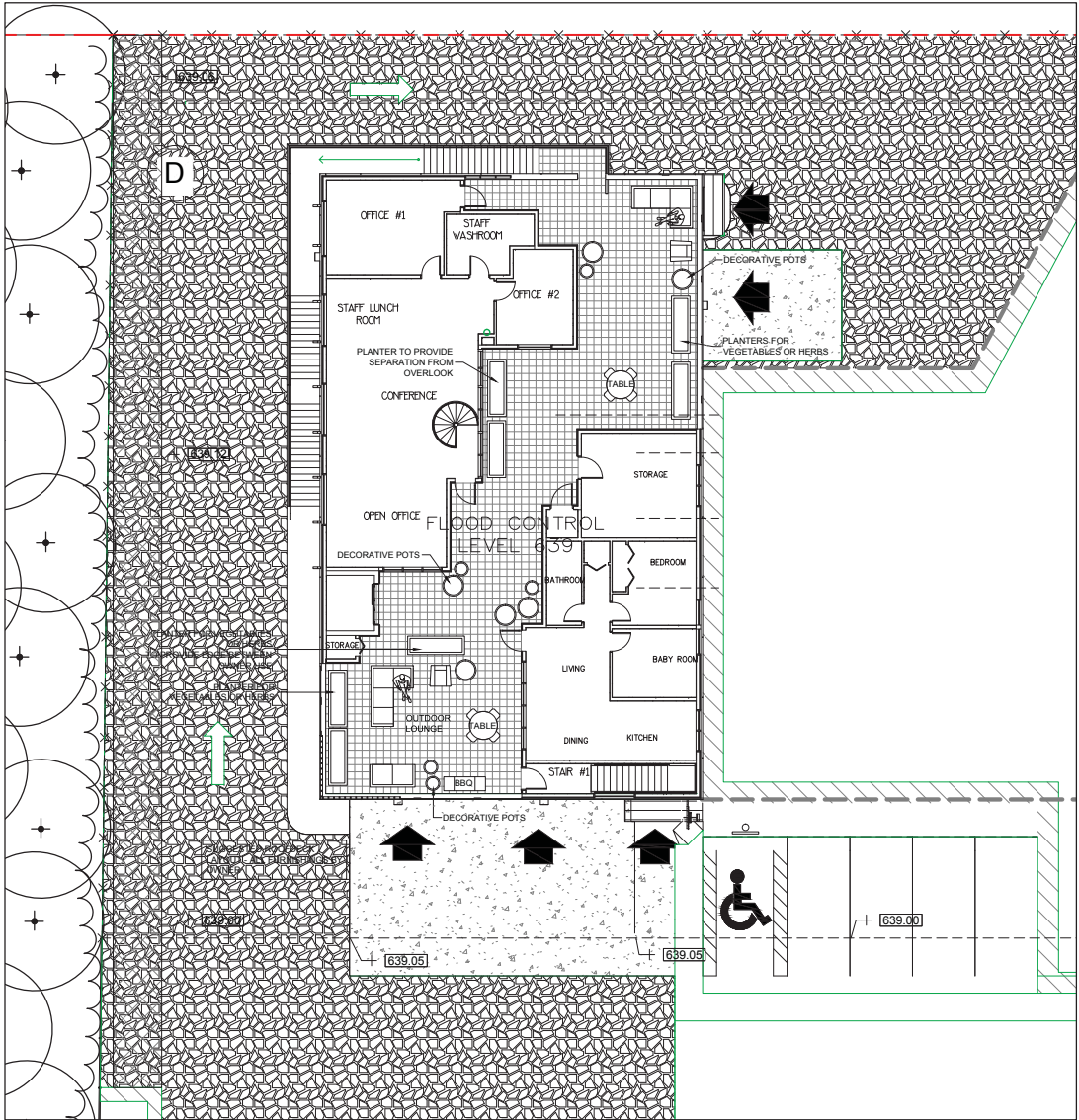
L1

OF 2

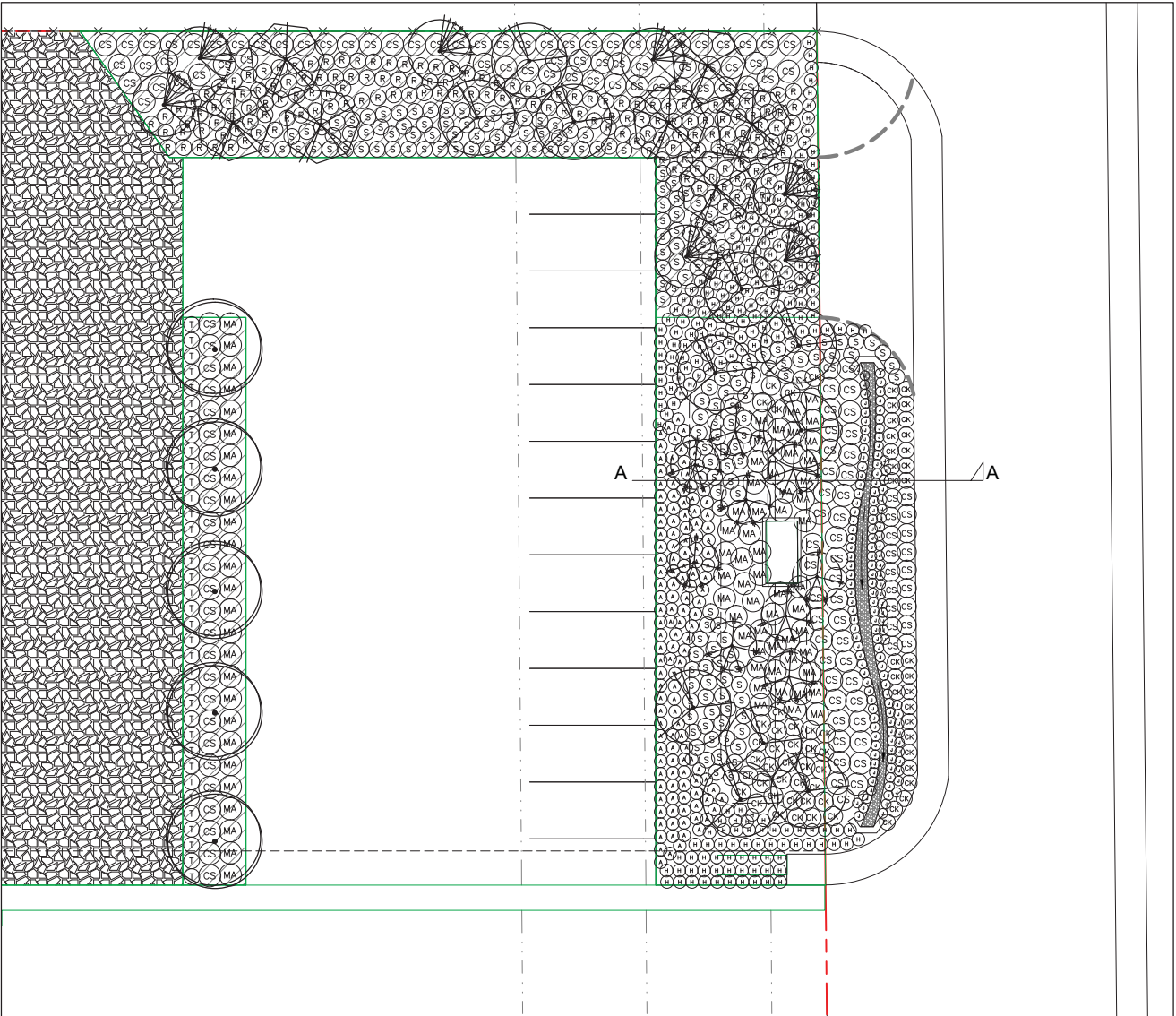
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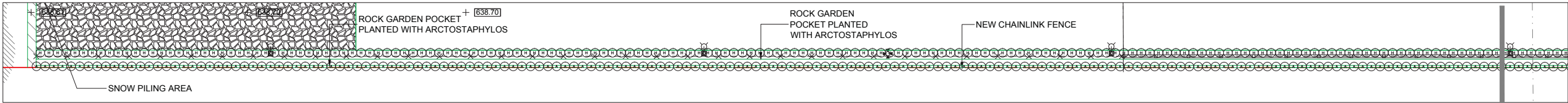
SECTION A-A
1/4"=1'-0"



BUILDING AMENITIES



SITE FRONTAGE PLANTINGS



SOUTH PROPERTY PLANTINGS

NO.	DATE	REVISION DESCRIPTION	DR.
1	2016 MAY 03	SITE PLAN/LANDSCAPE UPDATE	

CLIENT:

PROJECT:

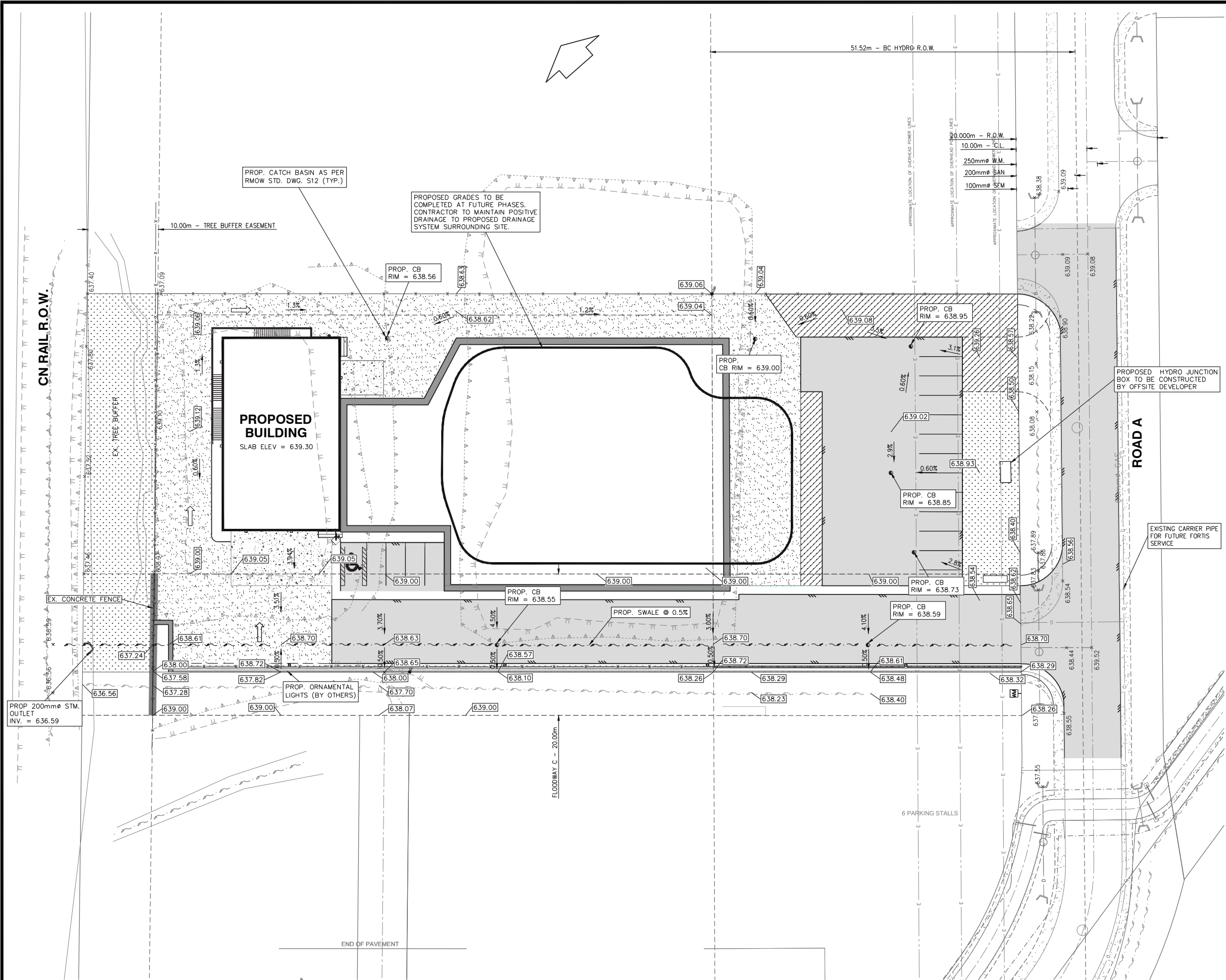
**LOT C
NESTERS CROSSING**
NESTERS ROAD
WHISTLER, BC

DRAWING TITLE:

**LANDSCAPE
PLAN**

DATE: 16 FEB 15
SCALE: 1"=10'-0"
DRAWN: DO
DESIGN: MCY
CHKD: MCY

DRAWING NUMBER:
L2
OF 2



BENCHMARK:
WATER RESOURCES MONUMENT 1685,
LOCATED UNDER THE MONS OVERPASS
640.702M

SURVEYED BY:
DOUG BUSH SURVEY SERVICES LTD.

CIVIC ADDRESS:
8060 NESTERS ROAD
WHISTLER, BC

LEGAL DESCRIPTION:
LOT 1 AND ADJACENT PROPERTIES
DL1557, GP 1
NEW WESTMINSTER DISTRICT
PLAN 14268

SCALE:
0 1:250 10m

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2016/05/03	1	ISSUED FOR DP
ISSUED:	REVISION	DESCRIPTION
M/D/Y		

PROJECT:
**LOT C
NESTER'S CROSSING**

CLIENT:
NESTERS CROSSING LTD.

BINNIE
Your Challenges. Our Solutions. Build with Binnie.
R.F. BINNIE & ASSOCIATES LTD.
201 - 40147 Glenalder Place,
Squamish, BC V8B 0G2
TEL 604 892 8222
BINNIE.com

DATE: 05/03/2016

SEAL:

DRAWN: LS

DESIGN: EL

CHECKED: EL

SCALE: 1:250m

SHEET TITLE:
**PRELIMINARY
SITE GRADING**

DRAWING NO.:

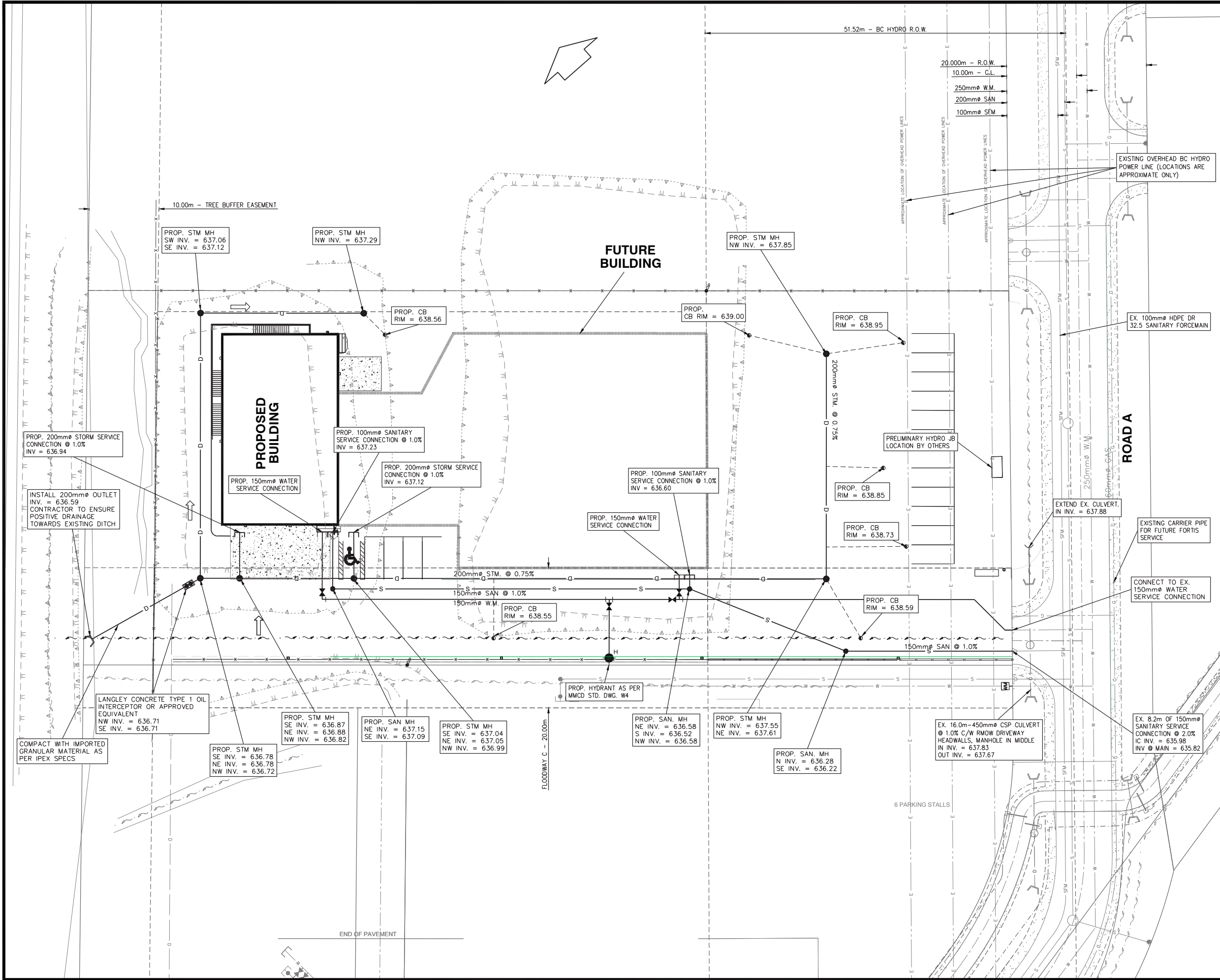
SG1

REV.

1

RFB JOB No 15-0291

SHEET 2 OF 6



BENCHMARK:
WATER RESOURCES MONUMENT 1685,
LOCATED UNDER THE MONS OVERPASS
640.702M

SURVEYED BY:
DOUG BUSH SURVEY SERVICES LTD.

CIVIC ADDRESS:
8060 NESTERS ROAD
WHISTLER, BC

LEGAL DESCRIPTION:
LOT 1 AND ADJACENT PROPERTIES
DL1557, GP 1
NEW WESTMINSTER DISTRICT
PLAN 14268

SCALE:
0 1:250 10m

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is in possession of the latest revision of this drawing.

2016/05/03 1 ISSUED FOR DP
ISSUED: M/D/Y REVISION DESCRIPTION

PROJECT:
LOT C
NESTER'S CROSSING

CLIENT:
NESTERS CROSSING LTD.

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TEL 604 892 8222
BINNIE.com

DATE: 05/03/16

SEAL:

DRAWN: LS

DESIGN: EL

CHECKED: EL

SCALE: 1:250m

SHEET TITLE:
PRELIMINARY
SITE SERVICING

DRAWING NO.:

SS1

REV.

1

RFB JOB No. 15-0291

SHEET 1 OF 6

Nesters Crossing
 8060 Nesters Rd.
 1st Review
 File No. DP1483

The applicant team of Michael Burton-Brown and Joseph Brini, Abbarch Architecture Inc.; Michelle Charlton, M.A. Charlton & Associates; Spencer Charlton, Alpine Works Contracting; Mary Chan Yip, PMG Landscape Architects entered the meeting.

Robert Brennan introduced the project and provided clarification regarding the landscape plan. Landscaping will be included in phase 1.

Michael Burton-Brown, advised on the following.

1. This project will be completed in 2 phases.
2. The site has been pre-loaded.
3. The phase 1 building located at the back of the site will need to be built quickly so that the business Alpine Works can occupy the space.
4. A floodway, landscape buffer adjacent to railway, and a hydro right of way limits what can be done on the site.
5. An existing stand of trees forms part of the landscape, they buffer and shield the site from the railway line and golf course.
6. The proposed building is simple and functional.
7. The building is set back to allow for Phase 2 buildings with businesses requiring greater visibility for customers to the area to be located closer to the road.
8. The building's design and configuration is specifically to permit Alpine Works truck to drive through and either load or unload within the building.
9. Lower floor contains a maintenance workshop, entrance to building, truck doors with internal loading bay area, washroom, stairwell that reaches both mezzanine and second storey, accessible elevator, elevator machine room, BC Hydro room.
10. Mezzanine above with catwalk and storage space. A separate spiral staircase connects to the second storey above to access the office space and residential suite.
11. The residential suite is situated in the corner to overlook the site for CPTED and security purposes and to take advantage of the southern exposure for natural light.
12. Landscaped roof deck for use by employees and the residents.
13. Exit stair on the outside of the building.
14. The lower industrial part of the building will use precast concrete panels with R22 value.
15. The upper residential and office component will be frame construction, hardi plank material, windows, pitched roofs and exposed wood roof system.
16. Zinc finished roof material, with the same material for the canopies over the entrance doors.

17. Proposing a large building address feature because the building is set back so far from the street. It will also add some whimsy and character.
18. Proposed dark brown building colour scheme, band treatment to break down expanse of the wall.
19. There is a proposed large blank wall area on the south elevation as it is expected that a future building will be built up against it on the first level.

Mary Chan Yip advised on the following.

20. Rear setback is a 10 metre wide tree buffer area adjacent to the rail line.
21. Proposed landscaping at the front of the site will consist of buffer landscaping to provide some green separation between this proposal and Nesters Rd.
22. Short growing species due to the hydro right of way running through the front of the site, and also to comply with hydro's requirements.
23. Planting will be drought tolerant native style or native looking species. They will offer colour and texture throughout, providing interest along the frontage.
24. Bioswale component of the subdivision drainage system is located adjacent to the proposed landscape screening on the subject property.
25. Roof deck patios and amenity area. Residential patio consists of lounge seating, table, potential for BBQ, long linear planters for gardening.
26. Office patio area with lounge chairs for staff to have lunch or a coffee break, additional planting to provide some colour.
27. The design of the Phase 1 building is to have all garbage and recycling materials to be stored inside. A separate built enclosure for garbage and recycling will be submitted as part of Phase 2.

Panel thanked the applicant for a well presented project and offers the following comments.

Site Context and Landscaping

1. Integrating to the site needs a little more work.
2. The concept of urban agriculture in the roof deck is great, but there is a preference for built-in planters so the space does not end up as storage space.
3. The panel felt there was not enough landscape screening from the road.
4. The panel had concerns regarding snow in the bioswale.
5. The panel preferred to see a more permanent solution for the parking lot and access requirements for the Phase 1 building. There is potential to track a lot of gravel on to Nesters Road which would need constant clean up.
6. The panel recommended planting temporary tall narrow trees in front of the blank wall in case phase 2 does not go forward for 5 or 10 years.
7. A panel member felt there was no sense of arrival at the building entrance door, it felt like a lost space.

Form and Character

1. The panel felt the "cabin" on top of the industrial building offers a great multi-functional aspect, however it could be better articulated from the industrial component of the building. The panel suggested the residential

and industrial functions of the building's design be either totally separated or more integrated to read as a more cohesive building.

2. The panel noted that there will be snow issues on the roof top patio; consideration should be given for shoveling the snow off and or de-icing.
3. The panel cautioned that if the exterior stairs are not covered there is potential for a lot of snow build up which could present safety issues.
4. There are opportunities for daylighting of the work spaces.
5. Soften the large walls with additional planting.

Materials, Colours and Details

1. A panel member felt the large blade style address sign did not add anything to the building. Another panel member felt it was more functional than interesting and a successful solution for something mundane.

Universal Design

1. The panel had concerns regarding surface treatment for parking and wheelchair accessibility and noted that wheelchairs do not work very well in gravel.

Moved by Duane Siegrist
Seconded by Pat Wotherspoon

That the Advisory Design Panel supports the project as presented and does not need to see this project return for further review; but the panel encourages the applicant to satisfy the Panel comments and continue to work with staff considering that this project is 'setting the stage' for future phased design work to follow. There is a need to resolve the upper floor's building form and integration to the roof deck, to soften the appearance of the large facade, to provide a stronger integration to the ground plane / site, and to design identifiable permanent building signage.

CARRIED.

The applicant team left the meeting.

Nesters Crossing
8060 Nesters Rd.
File No. DP1483

OTHER BUSINESS

Staff spoke with the applicant and requested the project return to Advisory Design Panel for a 2nd review. Panel was asked if they would prefer the presentation be given by staff or by the project architect. Panel advised that they prefer the presentation pertaining to the building form be given by the project architect.

ADJOURNMENT

Moved by Dale Mikkelsen

That Advisory Design Panel adjourn the April 20, 2016 committee meeting at 4:12 p.m.

CARRIED

CHAIR: Duane Siegrist, Architect AIBC

SECRETARY: Melissa Laidlaw

Nesters Crossing
2nd Review
File No. DP1483

PRESENTATIONS

Robert Brennan, Planner, RMOW and the applicant team of Michael Burton-Brown and Joseph Brini of Abbarch Architecture; Michelle Charlton and Spencer Charlton of Nesters Crossing Ltd. entered the meeting.

Robert Brennan, Planner, RMOW introduced the project which was reviewed by Panel on March 16, 2016. Staff seeks Panel comments pertaining to the changes made to the building's architecture.

Michael Burton Brown advised on the following.

1. Panel had suggested to either separate or integrate the residential and industrial components. This iteration proposes to integrate the two. The siding will be extended down at each elevation to provide a greater overlap, breaking the horizontal line between the upper residential and lower industrial part of the building.
2. Additional recessed windows for the workshop area provide texture and modulation.
3. Door canopies have been changed so that snow will not shed into the entry areas.
4. The proponent does not envision any issues with clearing snow from the roof top patio spaces.
5. Minor tweaks made to the building colours.
6. Additional detail to the building signage and address.

Panel felt the applicant has addressed the concerns and recommends that the project move forward; this project does not need to return for further review. Panel offers the following comments.

Form and Character

1. Panel felt the building has been well integrated with the site and feels like a more cohesive development.

Materials, Colours and Details

1. Panel felt the lighter colour selection brings the building together as well as bringing the upper and lower building facades together.
2. Panel felt the proposed signage provides greater visibility.

Robert Brennan and the applicant team left the meeting.

OTHER BUSINESS

Suite 1830, One Bentall Centre
505 Burrard Street, Box 79
Vancouver, BC
V7X 1M6
604.669.4041 T
abbarch.com W

Members of

The Architectural Institute of British Columbia
The Alberta Association of Architects
The Saskatchewan Association of Architects
The Manitoba Association of Architects
The Ontario Association of Architects
The Architects Association of Prince Edward Island
The Architects Association of New Brunswick
The Nova Scotia Association of Architects
The Newfoundland and Labrador Association of Architects

February 17, 2016

Resort Municipality of Whistler
4325 Blackcomb Way
Whistler, BC V0N 1B4

Attention Robert Brennan

Dear Sir,

RE: 8060 Nesters Road, DP No. 1483

The planned first phase of the project is designed to respect and reflect the objectives of the **Green Building Policy** as follows:

Site / Landscape

- The existing tree buffer along the north property line is protected by a chainlink fence, there will be no disturbance to this protected portion of the site either during or after construction.
- The plants to be added at the front of the parcel are all native species and suitable for the Whistler climate.
- There are no areas of lawn to maintain.
- Mulch will enhance microbial activity and moisture retention for plants.
- Irrigation is provided in the landscaping at the front of the property.

Energy

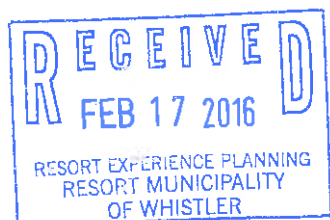
- The exterior cut-off type fixtures are LED and controlled by photocell/timers and motion detectors where appropriate.
- Select lights controlled with occupancy sensors.
- Lighting designed to conform to or beat ASHRAE lighting densities.
- All appliances in the auxiliary dwelling unit and staff lunch area will be energy efficient models.
- Heat to be distributed via forced air, no passive electric baseboard heaters used.
- The roof is designed to accommodate solar panels, conduits to be installed for future installation.
- The windows and doors on the second storey have been placed to provide natural cross ventilation.
- The precast panels are constructed with insulation inside the panels, the walls on the second storey will be well insulated during construction.

Water

- The drought resistant plants in the landscaped area can be maintained with a minimum amount of water using a controlled drip system.
- Water saving appliances are specified for the dwelling unit and staff lunch area.
- All water fixtures and toilets are low flow models.

Materials

- The precast concrete panels are highly durable and can provide 75+ years of service.





- The reinforcing steel inside the concrete panels is recycled steel fabricated into rebar.
- The hardipanel siding, metal roof & metal fascia are all very durable products requiring minimal maintenance. These products have been sourced locally.
- There are no carpets in either of components on the second storey.

Waste

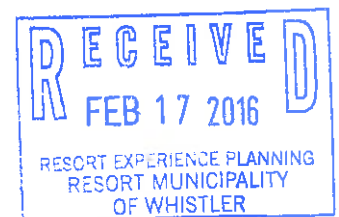
- There is virtually no waste in the precast concrete panel construction or installation. All dunnage is removed and taken back to the plant on the return trip for reuse.
- All excess on-site construction materials will be re-used, recycled or offered to the Whistler Re-Use It Centre.
- Each area of the premises will include bins for recycling the respective materials generated.

Yours truly,

ABBARCH Architecture Inc.

Michael Burton-Brown, Principal
Architect AIBC AAA SAA MAA OAA NSAA AANB AAPEI FRAIC

MBB/cl.





REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: June 7, 2016

REPORT: 16-071

FROM: Corporate and Community Services

FILE: 8337.01

SUBJECT: FireSmart Grant Application

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Corporate and Community Services be endorsed.

RECOMMENDATION

That Council support the UBCM FireSmart grant application to hire and train a Local FireSmart Representative. This person would conduct site visits and community assessments, make recommendations on FireSmart plans for specific areas and assist owners in coordinating FireSmart activities.

REFERENCES

Appendix A – 2016 FireSmart Grant Program application and budget

PURPOSE OF REPORT

The purpose of this report is to describe the application to fund the hiring of a Local FireSmart Representative and to seek Council's support.

DISCUSSION

Council recognizes the need for proactively managing wildfire fuels in the Municipality. To this extent, they have invested as a Municipality and obtained Provincial money through Union of British Columbia Municipality, to reduce fuels in strategic locations on Public Lands. This money specifically cannot be spent on private lands. FireSmart is the program which provides guidelines for private land owners to manage their wildfire risks.

Council has provided \$84,000 in Capital Budget funding in 2016 for FireSmart programming in Whistler. Much of that funding will be used to directly assist taxpayers to move forward with FireSmart projects.

In order to provide coordination on projects underway such as: fuel removal, owner's concerns and questions, provide site specific guidance and recommendations a part time person will be employed.

To assist with this cost, the RMOW has applied (and already has tentative approval) for \$10,000 from the UBCM 2016 FireSmart Grant Program to hire a FireSmart Representative, subject to a Council Resolution supporting the application.

This grant application will not impact current or future applications for UBCM fuel management funding.

A Resolution supporting this application will, by allowing for funding of this position, help administer the overall spending, and provide coordination for, Whistler's FireSmart Program.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Partnership	Residents, taxpayers, business and local government hold a shared vision for the resort community and work in partnership to achieve that vision	
	Decisions consider the community's values as well as short and long-term social, economic and environmental consequences	
	Partners work together to achieve mutual benefit	
Health and Social	The Resort Community is safe for both visitors and residents, and is prepared for potentially unavoidable emergency events	

W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
	N/A	

OTHER POLICY CONSIDERATIONS

FireSmart fuel management on private lands will complement the ongoing work and Municipal expenditures on Public Lands within the Municipality.

BUDGET CONSIDERATIONS

If successful, the UBCM will provide the funds for the FireSmart Representative, who will work for the Fire Chief to provide a well-coordinated, high quality FireSmart programing in Whistler that helps homeowners to enhance Wildfire safety within their neighbourhoods and become an important part of the overall wildfire preparedness of the RMOW.

COMMUNITY ENGAGEMENT AND CONSULTATION

The community will be engaged mainly by the FireSmart Representative. The FireSmart Representative will work closely with individual owners as required. They will provide information to Whistler residents on how to FireSmart their property and assist them with understanding options, prioritizing work, fuel removal, engaging arborists, and connecting with Parks or other land managers, as needed.

SUMMARY

Fuel Management is a key component of wildfire risk reduction. Ongoing programs of fuel reduction in strategic locations on public lands are important and should continue.

FireSmart offers guidelines to assist homeowner's in making decisions on fire risk reductions on their properties. FireSmart projects along with RMOW Fuel Management Programs provide the community with increase protection from wildfires and help mitigate associated risks.

Respectfully submitted,

Geoff Playfair
FIRE CHIEF
for
Norm McPhail
GENERAL MANAGER, CORPORATE AND COMMUNITY SERVICES

Strategic Wildfire Prevention Initiative 2016 FireSmart Grant Program

APPLICATION FORM

Please type directly in this form or print and complete. Additional space or pages may be used as required. For detailed instructions regarding application requirements please refer to the 2016 SWPI FireSmart Grant Program & Application Guide.

SECTION 1: APPLICANT INFORMATION

Local Government or First Nation: Resort Municipality of Whistler

Date of Application: November 23, 2015

Contact Person*: Geoff Playfair

Title: Fire Chief

Phone: 604-935-8261

E-mail: gplayfair@whistler.ca

* Contact person must be an authorized representative of the applying local government or First Nation

SECTION 2: COMMUNITY INFORMATION

1. SCOPE OF PROJECT - Are the proposed activities for a specific neighbourhood or community within your local government/First Nation or for entire area? Please describe the proposed area.

Resort Municipality of Whistler

What is the current wildfire threat rating for the proposed area?

Various threat ratings identified in the Community Wildfire Protection Plan updated in 2011 by B.A. Blackwell and Associates.

2. FIRESMART COMMUNITY RECOGNITION - Has your First Nation or a neighbourhood or community within your local government/First Nation achieved FireSmart Community Recognition status from Partners in Protection?

No

3. LOCAL FIRESMART REPRESENTATIVE TRAINING - Has a staff person, elected official or community member in your local government or First Nation completed the Local FireSmart Representative workshop? Please indicate the workshop date and location.

Chris Nelson, Deputy Fire Chief attended a session in Nanaimo on December 2-3, 2014.

Fire Chief Geoff Playfair attended a course in April 2012, Kamloops

SECTION 3: PROJECT INFORMATION

4. PROJECT INFORMATION

Project title: Hiring and Training a Local FireSmart Representative, conducting site visits and community assessments and developing FireSmart Plans for specific areas.

Proposed project start and end dates: Start: January 1, 2016 End: October 30, 2016

Total Project Budget: \$10,000

5. DESCRIPTION OF PROPOSED ACTIVITIES - Please describe the specific activities you plan to undertake.

Hiring and training a local FireSmart representative. This person would then manage Whistler's FireSmart program, coordinating with homeowners and Stratas. Responsibilities would include conducting site visits and community assessments as well as assisting in developing plans for specific areas.

6. INTENDED OUTCOMES & DELIVERABLES - What will be the specific deliverables? How will the project support residents to undertake FireSmart planning activities for private lands and/or advance wildfire mitigation planning activities for private lands?

The individual would be trained to oversee and promote FireSmart related activities in the community. They would be expected to oversee the FireSmart initiatives during 2016 and the spending of \$84,000 budgetted by Council for this purpose. Specific targets would be to have a minimum of 4 neighbourhood projects completed and 2 Strata projects completed by year end.

7. FIRESMART COMMUNITY RECOGNITION - Does your community intend to apply for FireSmart Community Recognition status from Partners in Protection?

Yes

8. COMMUNITY PARTNERS - Please list all confirmed partners (e.g. community or resident organization, First Nation or Aboriginal organization or other local government) that will directly participate in your project and the specific role they will play.

Local government - RMOW

SECTION 4: SIGNATURE (To be signed by Local Government or First Nation Applicant)

Applications are required to be signed by an authorized representative of the applicant. Please note all application materials will be shared with the Province.

Name: Geoff Playfair

Title: Fire Chief

Signature:

Date: March 23, 2016

See Section 6 of the [Program & Application guide for complete application requirements](#). In addition to the Application Form, the following separate attachments are required to be submitted:

- ☒ Local government Council or Board resolution, or First Nation Band Council resolution, indicating support for the current proposed activities and willingness to provide overall grant management

☒ Detailed budget

Applications should be submitted as Word or PDF files. If you choose to submit your application by e-mail, hard copies do not need to follow. Submit applications to Local Government Program Services, Union of BC Municipalities

E-mail: lgps@ubcm.ca or mail: 525 Government Street, Victoria, BC, V8V 0A



REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: June 7, 2016

REPORT: 16-072

FROM: Infrastructure Services

FILE: 155.7

SUBJECT: NEW BUILDING CANADA FUND – 2016 INTAKE

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Infrastructure Services be endorsed.

RECOMMENDATION

That Council endorse the application submitted under New Building Canada Fund – Small Communities Fund for funding assistance for the Compost Facility Capacity Improvements (Project E063) as set out in the Five-Year Financial Plan.

PURPOSE OF REPORT

Council's renewed endorsement of the application for funding assistance under the New Building Canada Fund for the Compost Facility Capacity Improvements Project is required to complete the grant application.

DISCUSSION

The Provincial/Federal governments have recently opened a new intake period for the Building Canada Fund – Small Communities Fund. An RMOW submission was made prior to the deadline for this intake utilizing the resolution provided for this project last year. The RMOW has since been informed that the application must be accompanied by evidence of current support for the submission from Council. The rules established for this intake allow only one application to be submitted and this project was re-submitted with updated information. The resolution associated with this report will satisfy that requirement.

Staff have reviewed the amount available to BC through this fund over the next 10 years. Given the number of applications likely to be submitted and approved in BC, staff have concluded that a project with a total construction value of approximately \$1.5 million would have the best chance of receiving funding assistance approval.

Staff reviewed the municipal projects that align with the eligible project categories established for this intake, with total construction values within the favourable range. From that review, staff have concluded that the Compost Facility Capacity Improvements (Project E063) not only fits neatly within the eligible project categories, but also strongly satisfies many of the more-detailed evaluation criteria used to judge these projects. Staff are of the view that this project will be a strong candidate for funding assistance approval.

Please note that this application for funding assistance does not change the scope of the approved project, it merely seeks to acquire funding from an alternate source.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Economic	Whistler proactively seizes economic opportunities that are compatible with tourism, and effectively adapts to changing external conditions.	Periodic funding opportunities come up, yielding opportunities for significant cost avoidance for the taxpayers, thereby keeping the Resort Community as affordable as possible.
Economic	Effective partnerships with government and tourism organizations support economic health.	Receiving funding through senior government programs strengthens our partnerships with the Provincial and the Federal Government.
Finance	Senior levels of government recognize the value of the resort community and support its success	Receiving funding through these funding programs Tax strengthens our partnerships with the Province and the Federal Government.

W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
N/A	N/A	N/A

OTHER POLICY CONSIDERATIONS

None.

BUDGET CONSIDERATIONS

Project E063 has an expenditure schedule of \$700,000 in 2017 and \$700,000 in 2019. Up to two-thirds of these amounts may be eligible for funding assistance if approved.

COMMUNITY ENGAGEMENT AND CONSULTATION

No further engagement and consultation is foreseen for this request to make application for funding assistance. This funding request does not change the scope of the already approved project.

SUMMARY

The Province, in partnership with the Federal Government has accepted applications for the New Building Canada Fund – Small Communities Fund. Each local government is permitted to submit one application. Staff had determined that Project E063 – Compost Facility Capacity Improvements would be a very strong candidate to secure senior government funding assistance. Staff request

that Council endorse the submitted application to the Province/Federal governments for funding assistance under the New Building Canada Fund – Small Communities Fund.

Respectfully submitted,

Jim Dunlop
ACTING MANAGER OF TRANSPORTATION AND WASTE MANAGEMENT
For
James Hallisey
GENERAL MANAGER OF INFRASTRUCTURE SERVICES



WHISTLER

MINUTES

REGULAR MEETING OF ILLEGAL SPACES TASK FORCE COMMITTEE (ISTFC) MONDAY, MAY 11, 2015, STARTING AT 9:00 A.M.

**In the Oboe Room at Municipal Hall
4325 Blackcomb Way, Whistler BC V0N 1B4**

PRESENT:

Ario Construction, Chris Addario
Duane Jackson, Design & Development, ISTFC Chair, Duane Jackson
Peak Ventures Ltd., David Girard
The Whistler Construction Co., Jim Charters
Councillor, Steve Anderson
Director of Planning, RMOW, Mike Kirkegaard
Fire Chief, RMOW, Sheila Kirkwood
Manager Building Department, RMOW, Joe Mooney
Planner, RMOW, Robert Brennan
Senior Planner & ISTFC Secretary, RMOW, Jake Belobaba
Recording Secretary, Kay Chow

ADOPTION OF AGENDA

Moved by Duane Jackson
Seconded by Chris Addario

That the ISTFC adopt the Regular ISTFC agenda of May 11, 2015.

CARRIED

ADOPTION OF MINUTES

Moved by Duane Jackson
Seconded by David Girard

That the ISTFC adopt the Regular ISTFC minutes of March 20, 2014.

CARRIED

ITEMS FOR DISCUSSION

Election of Committee
Chair

Moved by Jim Charters
Seconded by David Girard

That the Illegal Spaces Task Force Committee elected Duane Jackson as
committee Chair.

CARRIED

Housekeeping

1. The task force TOR (Terms of Reference) will be updated to reflect changes in membership, meeting scheduling, purpose, allow flexibility and ability to address a broader scope. The CHBA (Canadian Home Builders Association) has appointed Duane Jackson as their representative. Staff will draft the amendments and return to the task force for their input. The amendments will require approval by municipal council.
2. There was a discussion regarding a change of the committee's name to more accurately describe the work that the task force is doing. Some suggestions:
 - Excluded space
 - Encourage conforming space
 - Building task force
 - Home building task force – encompasses all aspects
 - Construction task force
 - Municipal community construction
 - Residential advisory committee (would not include village tenant improvements)
 - A working group
 - A more general name
3. The task force would not operate in an Advisory Design Panel format.
4. Members were asked if the task force work should include customer service initiatives, monitoring impacts, impacts to neighbourhood character, green building initiatives, other safety issues such as fire safety or wildfire hazards.
5. A member stated that the relationship between the RMOW Building Dept. and builders is "the best it's ever been" due to the willingness of council and staff to listen to what's going on and then make adjustments and tweaks where possible and should not be limited to illegal spaces.
6. Continue to collaborate and develop the working relationship and communication between the RMOW and builders.
7. Townhouse buildings have not been addressed. Would it be worthwhile to add a strata property representative as a member of the task force? Outreach to stratas? Could communicate and identify the processes for the stratas to address their responsibilities and potential liabilities. It is up to the property owners to understand their strata property act and any risks they may have.
8. Community members may be reluctant to come into the RMOW. Is there an opportunity to create a community liaison or ombudsman position?

Monitoring Criteria

1. There was a discussion regarding monitoring criteria items identified in the April 3, 2012 Report to Council (report # 12-038); excerpt:
 - Track the number of detached and duplex buildings submitted and obtaining proper permits.
 - Track the amount of excluded GFA in basement floor areas.

- Monitor the number of DVP applications for setback and height variances as a result of designs which are maximizing the permissible GFA and the new floor area exclusion.
 - Track the change in energy consumption patterns based on the construction methods used for the renovations or new builds.
 - Monitor the impact on RMOW infrastructure capacity.
2. The task force is required to report back to council with the monitoring information.
 3. What should the task force analyze? Overall massing, neighbourhood and community character impacts? What type of analysis?
 4. What about site grading? Parking? Landscaping? What attributes need to be reviewed? What is the approach? Most of these are not affected, however lot size could impact neighbourhood character.
 5. Did the excluded space bylaw drive variance applications for building height or setbacks? No, but continue to gather the data.
 6. **There should be no visible difference from the street.**
 7. Too many rules will create other problems; as long as building and fire safety codes are met, that should be sufficient.
 8. Is data available from energy audits?
 9. How can we track additional occupancy? Data is available from MSP (Medical Services Plan), BC Assessment, election information, Statistics Canada data.
 10. Could make projections for a range of potential impacts. Report significant impacts to council and measure those impacts.
 11. Over height crawl space converted to a suite. Does this improve housing?

Preliminary Findings

1. There was a discussion regarding the preliminary summaries of building permit data.
2. Volume and number fluctuations identified.
3. Staff will perform a thorough review of the data and look for patterns.
4. Staff will work with the RMOW GIS analyst to populate the addresses for plotting and digitizing the data onto a map for geographical analysis.
5. Schedule a working session; review with the task force; report to council.

Moving Forward

1. Was the task force successful in its mission? Yes.
2. Unintended consequences? No.
3. Tweaks needed to zoning bylaw definitions? Probably.
4. Rock stack retaining walls – is this an issue that needs to be addressed? Yes, relates to in ground basements and requirements for variances.
5. Where do we go from here? What do we hope to accomplish? Can we tackle built spaces, i.e. vaulted or attic spaces? Multi-family?
6. There has been a trend toward flat roofs which eliminates volumetric issues.
7. Real estate agent feedback has been good, they have been supportive.

Next Meeting

1. Staff to determine date of next meeting, in 6 – 8 weeks.

ADJOURNMENT

Moved by Duane Jackson

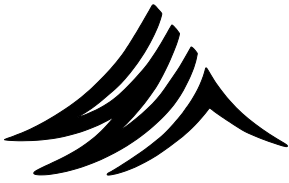
That the ISTFC adjourn the May 11, 2015 committee meeting at 10:45 a.m.

CARRIED

Chair: Duane Jackson

Secretary: Jake Belobaba

cc: 7645.01



WHISTLER

MINUTES

REGULAR MEETING OF FOREST & WILDLAND ADVISORY COMMITTEE

WEDNESDAY, March 9, 2016, STARTING AT 3:00 P.M.

In the Flute Room

4325 Blackcomb Way, Whistler, BC V0N 1B4

File: 8221.03

Name	Meetings to Date: 3
Present:	
Gordon McKeever, Chair	3
Arthur DeJong	3
Johnny Mikes	3
Craig Mackenzie, WORCA	3
Claire Ruddy (AWARE)	2
Rob Davis	1
Candace Rose-Taylor	2
John Hammons	2
Regrets:	
Peter Ackhurst	1
Steve Anderson, Councillor	2
Derek Bonin	2
Bryce Leigh (AWARE)	1
Recording Secretary	
Heather Beresford, RMOW	3

1. Agenda

ADOPTION OF AGENDA

Moved by John Hammons
Seconded by Candace Rose-Taylor

That the Forest & Wildland Advisory Committee adopt the Forest & Wildland Advisory Committee agenda for March 9, 2016

CARRIED

2. Minutes

ADOPTION OF MINUTES

Moved by Johnny Mikes
Seconded by Arthur DeJong

That the Forest & Wildland Advisory Committee adopt the Forest & Wildland Advisory Committee minutes for February 10, 2016.

CARRIED

VERBAL REPORTS

3. Updates

Council:

Chair raised topic of new Terms of Reference passed by Council March 1. Membership term is an initial three year term that becomes renewable annually to a maximum of six years at Council's discretion.

Current membership status:

Name	Start Date	Max End Date (6 years)
Peter Ackhurst	1990s	2016
John Hammons	1990s	2016
Gordon McKeever	2002 November	2016
Bryce Leigh	2008 February	2016
Rob Davis	2009 September	2016
Johnny Mikes	2012 August	2018 August
Steve Anderson	2014 November	2018 November
Candace Rose-Taylor	2013 April	2019 April
Craig Mackenzie	2015 March	2021 March
Arthur DeJong	2015 April	2021 April
Derek Bonin	2015 July	2021 July

Members retiring in 2016:

- John Hammons, Peter Ackhurst (RPFs)
- Bryce Leigh (AWARE) replaced in March 2016 by Claire Ruddy
- Gordon McKeever and Rob Davis at year end

ACTION: H. Beresford to advertise for 2 positions immediately with a preference for people with forestry experience. Advertise other 2 positions in October.

FWAC also discussed benefit of the same person being the CCF Board member and FWAC Council appointee. Opportunity to improve communications and understanding.

AWARE:

AWARE replaced Bryce Leigh with Claire Ruddy.

WORCA:

N/A

RMOW:

- FWAC Terms of Reference amendments passed on March 1 by Council.
- Callaghan fuel thinning project being completed. CCF met with CWA again on March 4 to discuss.
- Brio fuel thinning project scheduled to begin May 1.

- Rotary Club applying to CFOW for WIF sign funds.
- Trail Planning Working Group meeting on April 16.

Cheakamus Community Forest:

Cheakamus 16 logging scheduled to start in late March.
Board of Directors meeting held February 22.

4. Access Management Principles

Reviewed Draft 5 distributed prior to meeting.

- Add WB and BC Parks to preamble paragraph
- Add public safety (wildfire) to goal
- Discussion re: how to define necessary and unnecessary roads. Suggested a strategic plan that prioritizes and balances values, and directs decisions.
- Discussion re: adding quality nature-based tourism experience as an outcome, and potential for conflict with priority roads decisions.
- Access is safe and enjoyable: added carrying capacity and cumulative effects wording
- Plan should capture categories of access, not specifics so that new forms of backcountry use won't be excluded in future.

MOTION: FWAC adopts the Access Management Planning Principles version 5 as revised above.

Moved by Craig Mackenzie
Seconded by Johnny Mikes

3:50 Rob Davis arrived

J. Mikes also drafted a cover letter addressed to Council and intended to accompany access management planning principles.

ACTION: Move the three recommendations to the FWAC March 9, 2016 minutes. Add modified body of letter to access management planning principles document.

ACTION: G. McKeever will revise the principles and letter as per comments today.

Recommendations to Council:

1. The RMOW adopt a set of goal(s) and principles based on FWAC's Access Management Planning Principles (attached). The process should include the RMOW convening conversations with staff and the appropriate "access-related" committees/entities (e.g. Cheakamus Community Forest (CCF), Trail Planning Working Group, Recreation & Leisure Advisory Committee, Forest & Wildland Advisory Committee).

It is recommended the RMOW initially focus on two access projects:

2. Provide input to the CCF's emerging access planning initiative. Implicit in this would be Whistler's input on measures to protect drinking water sources from inappropriate access, prioritizing affordable hiking and biking

trailhead access for residents and visitors, respecting existing access planning, etc.)

3. Develop an access management plan for the areas closest to Whistler's neighbourhoods from Cheakamus Crossing to Emerald Estates and adjacent to the Whistler Urban Containment Development Area (WUDCA).

MOTION: FWAC recommends that the RMOW implement the Access Management Planning Principles and recommendations.

Moved by John Hammons
Seconded by Arthur DeJong

5. CCF Long Term Plans FWAC reviewed the CCF's 1-3 year plan and the 4-10 year conceptual plan.

FWAC wants to review volume data of the 1-3 year plan.

MOTION: FWAC commends CCF on completing the long term operational plan and encourages it to update the plans regularly.

Moved by Johnny Mikes
Seconded by Rob Davis

FWAC will engage with CCF on access planning. Long terms plans clearly link to FWAC's access management planning principles. Add to preamble.

Confirm with T. Cole that CCF accepted changing Cheakamus 16 (e) to moderate retention.

6. Spearhead Traverse Project Update

See February 24, 2016 Pique article
<http://www.piquenewsmagazine.com/whistler/green-lighting-spearhead-huts-many-years-overdue/Content?oid=2749408>

- BC Parks approval received.
- Russet Lake hut opening in 2018
- RMOW providing \$150,000 in 2017 to support Russet Lake cabin construction. See 2016 Budget information:
https://www.whistler.ca/sites/default/files/related/project_list_community_meeting_feb_23_v3.pdf. Project A058, Spearhead Hut Project Support
- FWAC discussed preference for RMOW budget contribution to be directed to specific, nature-based values of the project, e.g. waste management, environmental improvements
- Discussed importance of project managers monitoring for effects on and use of alpine trails. Establish baseline conditions and monitor.

7. MOF Visual Quality Objectives and Wildfire Management Projects

Frank DeGagne, MOF, provided the following update by email:

Visual Quality Objectives:

- The visuals project is waiting on the regional resource staff to fill in the gaps to complete the inventory. Once a draft inventory (VQO polygons and recommended VQOs) for Callaghan is done (this will be new inventory), Frank DeGagne can provide it for the committee's review. Timing is uncertain due to resource constraints.

Fire Management Planning:

- Frank DeGagne is not the lead. He does have a contract to conduct about 20 plots to verify coastal fuel types on Crown land around the small communities in the regional district (excluding municipal areas). Expecting to do some level of public engagement at a later date.

OTHER BUSINESS

Future Agenda Items:

- Landscape Fuel Management model update (April)
- MOF Visual Quality Objectives (confirm timelines with MoFLNRO)
- MOF Fire Management Plan (confirm timelines with MoFLNRO)
- Determine date of spring field trip (April)

ADJOURNMENT

That the Forest & Wildland Advisory Committee adjourn the March 9, 2016 meeting at 4:55 p.m.

CARRIED



CHAIR: Gordon McKeever



WHISTLER

MINUTES

**REGULAR MEETING OF WHISTLER BEAR ADVISORY
COMMITTEE
WEDNESDAY, MARCH 9, 2016 STARTING AT 8:30 A.M.
In the Decker Meeting Room
Public Works Building, Whistler, BC V0N 1B4**

PRESENT:

Heather Beresford, RMOW, Co-Chair, Recording Secretary
Sylvia Dolson, GBS, Co-Chair
Chris Reiss, RMOW Bylaw Services
Paul Kindree, Carney's Waste Systems
Arthur DeJong, WB
Sue Maxwell, RMOW Council
Simon Gravel, Conservation Officer Service
Colin Hedderson, Member at Large
Claire Ruddy, AWARE/C2C Grizzly Bear Initiative

REGRETS:

Nicole Fitzgerald, Member at Large
Brittany Mueller, Conservation Officer Service
Sgt. Rob Knapton, RCMP

1.

ADOPTION OF AGENDA

Moved by C. Hedderson
Seconded by S. Maxwell

That the Whistler Bear Advisory Committee adopt the Whistler Bear Advisory Committee agenda of March 9, 2016.

CARRIED

2.

ADOPTION OF MINUTES

Moved by S. Dolson
Seconded by S. Maxwell

That the Whistler Bear Advisory Committee adopt the regular Whistler Bear Advisory Committee minutes of February 10, 2016.

CARRIED

PRESENTATIONS/DELEGATIONS

1. Wildlife Alert Reporting System

Skype presentation by Frank Ritcey, Program Manager for WildsafeBC (formerly Bear Safe)

Viewed Wildlife Alert Reporting System (WARP)
<https://wildsafebc.com/>

Icons representing species and type of attractant are generated from calls to RAPP line and updated every 24 hours. Personal data is removed before posting.

Contains data back to 2010. Site can filter by attractant, species, date range, city. etc.

Community coordinators can use reports to identify clusters, developing situations and conduct public education in specific areas.

If call data is recorded incorrectly (e.g., incorrect or mis-spelled address), site will place an icon in centre of community. Impossible to adjust once placed on WARP.

Access to Whistler data would be through the COS. WARP only shows data submitted to RAPP line. Province publishes quarterly review of all predator calls and outcomes. Available on-line, Frank will send link.

Set up individual user account to enter information as "General Public". Can receive email alerts for incidents in an area of interest. Can set up "My Wildlife Encounters" to enter your own sightings.

9:10 S. Gravel arrived

WBAC can be set up as a Reporting Group. Historic Whistler data could be entered by F. Ritcey.

Potential for public to be encouraged to sign up, receive alerts, and take action to remove attractants.

9:30 A. DeJong left

All encounter data can be exported as a CSV/Excel file for data analysis.

Signed off Skype call with F. Ritcey.

District of Squamish created its own GIS reporting system and app for community coordinator. Potential for RMOW to do same.

S. Gravel shared COS GIS reporting system that maps all bear reports that go to COS, with locations corrected on Google Earth. WARP uses a different platform so can't share. More information is included about location, type of complaint. COS system not useful for up to the minute reporting or use by the public, but good for overall pattern analysis and planning.

ACTION: S. Gravel will check with GIS technician about how incorrect locations were fixed.

2. UPDATES

CONSERVATION OFFICER SERVICE (COS) UPDATE

- C. Doyle promoted to Deputy Chief of Provincial Operations. Murray Smith is new Inspector for Sea to Sky.
- Quiet, with some bobcat sightings

BYLAW SERVICES UPDATE

- Bylaw Services and COS will meet to discuss working relationship
- Quiet

RCMP UPDATE

N/A

CARNEY'S UPDATE

- Discussed concern that some current large developments may not have solid waste management plans. Problems with space requirements and implementation of new bylaw may occur because of lack of early planning.

ACTION: H. Beresford confirm what information is requested from developers regarding waste disposal facilities.

The Builder's Information Package (Section 3.8.5) alerts developers to Garbage Disposal & Wildlife Attractants Bylaw and provides link.
https://www.whistler.ca/sites/default/files/related/builders_information_package_-_updated_march_2015.pdf

WHISTLER BLACKCOMB UPDATE

- N/A

C2C GRIZZLY BEAR INITIATIVE

- Ongoing work with sign program, etc.
- AWARE is taking over the community garden program

3. RMOW

- Bear Smart Program Assistant starts May 2.
- Garbage Bylaw still aiming for July adoption by Council.
- Conservation Officer Letter of Agreement signed for 2016.
- Special Events waste management process updated with suggestions from H. Beresford based on input from WBAC.
- COS, RMOW and GBS working on bear response plan.

4. GBS

Car-less Residents subcommittee developed draft TOR, and will meet soon.

OTHER BUSINESS

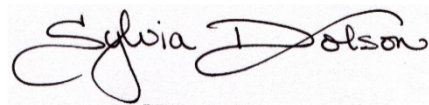
- Actions from previous meetings:
 - COS & Bylaw yet to meet
 - Milestones – COS following up
- Next Meeting – April 13

ADJOURNMENT

Moved by S. Maxwell

That the Whistler Bear Advisory Committee adjourn the March 9, 2016
Regular meeting at 10:31 a.m.

CARRIED

A handwritten signature in dark ink, reading "Sylvia Dolson". The signature is fluid and cursive, with the first name "Sylvia" and last name "Dolson" clearly legible.

CO-CHAIR: Sylvia Dolson



WHISTLER

MINUTES

**REGULAR MEETING OF WHISTLER BEAR ADVISORY
COMMITTEE
WEDNESDAY, APRIL 13, 2016 STARTING AT 8:30 A.M.
In the Decker Meeting Room
Public Works Building, Whistler, BC V0N 1B4**

PRESENT:

Heather Beresford, RMOW, Co-Chair, Recording Secretary
Sylvia Dolson, GBS, Co-Chair
Simon Gravel, Conservation Officer Service
Brittany Mueller, Conservation Officer Service
Murray Smith, Conservation Officer Service
Cara Barnsley, RMOW Bylaw Services
Paul Kindree, Carney's Waste Systems
Sue Maxwell, RMOW Council
Colin Hedderson, Member at Large
Nicole Fitzgerald, Member at Large
Sgt. Rob Knapton, RCMP
Lori Homstol, Public

REGRETS:

Claire Ruddy, AWARE/C2C Grizzly Bear Initiative
Arthur DeJong, WB

ADOPTION OF AGENDA

Moved by S. Maxwell
Seconded by N. Fitzgerald

That the Whistler Bear Advisory Committee adopt the Whistler Bear Advisory Committee agenda of April 13, 2016.

CARRIED

ADOPTION OF MINUTES

Moved by S. Maxwell
Seconded by L. Homstol

That the Whistler Bear Advisory Committee adopt the regular Whistler Bear Advisory Committee minutes of March 9, 2016.

CARRIED

PRESENTATIONS/DELEGATIONS

Welcome to Inspector Murray Smith, COS.

1. UPDATES

CONSERVATION OFFICER SERVICE (COS) UPDATE

- Little activity, no calls.
- Meeting with Milestones on April 19
- GIS presentation at March meeting raised questions. GIS tech was correcting address mistakes by using his local knowledge. May be useful to use the data to review seasonal patterns. Could post weekly info on social media.

ACTION: S. Gravel determine capacity, timeframes and agreements. Provide update at next meeting.

BYLAW SERVICES UPDATE

- Bins for day lot 4 arrived. Install in May.
- WB hired 1 FTE to clean day lots.

ACTION: H. Beresford provide L. DeBou with bear messaging for day lot staff person.

RCMP UPDATE

- No calls
- Training by COS next month.

CARNEY'S UPDATE

- All quiet.

WHISTLER BLACKCOMB UPDATE

- N/A

C2C GRIZZLY BEAR INITIATIVE

- N/A

Reviewed 2016 workplan:

2. RMOW

GIS – underway

Update Bear Management Plan – S. Dolson completing.

Bear Response Plan – COS & RMOW will contract out the writing.

Public Education – Restaurant Program will resume with new Bear Smart Program Assistant (position starts May 9)

RMOW Garbage Disposal Bylaw Update – RMOW hired AWARE to help businesses plan for organics diversion. Many problems identified, particularly around space available. WBAC can provide bear messaging.

Golf Courses outreach – S. Dolson will ask if they want the life size bear signs for messaging.

ACTION: COS will meet with golf course management.

Riverside Campground – meeting with new management proposed.

ACTION: COS will contact campground management for a meeting.

Whistler Spirit/Welcome Week – Bylaw used to do a “Trash Talkin” segment. Does that opportunity still exist?

ACTION: Determine if bear messaging can be included in the new video being prepared.

3. GBS

Car-less Residents subcommittee held one meeting, another scheduled for April 15. Identifying target population segments, aligning with other initiatives (TAG, zero waste), existing information, data gaps, barriers

Mountain FM PSAs prepared (1 spring, 2 summer, 1 fall)

Safety training for RMOW outside staff and two adventure companies.

ACTION: GBS connect with Museum on its Nature 101 guide training program.

OTHER BUSINESS

- Actions from previous meetings:
 - COS & Bylaw yet to meet
 - Information to developers – H. Beresford shared website information. Discussed Squamish’s system.
ACTION: H. Beresford discuss solid waste planning process with DOS staff.
- Next Meeting – May 11

ADJOURNMENT

Moved by S. Maxwell

That the Whistler Bear Advisory Committee adjourn the April 13, 2016 Regular meeting at 10:10 a.m.

CARRIED

CO-CHAIR: Sylvia Dolson



WHISTLER

MINUTES

REGULAR MEETING OF RECREATION LEISURE ADVISORY COMMITTEE

THURSDAY, FEBRUARY 11, 2016, STARTING AT 4:30 P.M.

At Municipal Hall – Flute Room

4325 Blackcomb Way, Whistler, BC V0N 1B4

PRESENT:

Member-at-Large, Bob Calladine
Member-at-Large, Colin Pitt-Taylor
Member-at-Large, Eric Wight
Member-at-Large, John Konig
Member-at-Large, Roger Soane (acting chair)
Member-at-Large, Stephanie Sloan
Manager, Resort Parks Planning, RMOW, Martin Pardoe
Manager, Recreation, RMOW, Roger Weetman
Planner, Planning Services, RMOW Frank Savage
Councillor, Andrée Janyk
Tourism Whistler Representative, Meredith Kunza

REGRETS:

Chair, Murray Lunn
School District Representative, Rick Hume

ADOPTION OF AGENDA

Moved by John Koing
Seconded by Colin Pitt-Taylor

Add Water refilling stations to agenda

That the Recreation Leisure Advisory Committee adopt the Recreation Leisure Advisory Committee agenda of February 11, 2016

CARRIED

ADOPTION OF MINUTES

Moved by Stephanie Sloane
Seconded by Colin Pitt-Taylor

That the Recreation Leisure Advisory Committee adopt minutes of January 14, 2016

CARRIED

PRESENTATIONS/DELEGATIONS

Sea to Sky Cycling

Sea to Sky Cycling Route Signage Proposal presented by Frank Savage. Frank Savage provided a brief presentation on a municipal proposal to enhance destination road cycling signs along the Sea to Sky corridor. The proposal is being submitted to the Ministry of Transportation and Infrastructure (MOTI), and it is to provide road cycling specific signage along the Highway 99 between Squamish and Lillooet, as well as additional roads leading to Paradise valley, Callaghan Valley, Garibaldi Provincial Park, Alta Lake Road, Pemberton Meadows and Darcy. With the number of road cycling participants increasing year over year, the signage is intended to improve safety for cyclists and drivers, raise the awareness of the area for destination road cycling, and provide cyclist specific information for key 'climbs' along the routes. The proposal is consistent with a number of related recommendations and initiatives:

- RMOW's Economic Partnership Initiative: 1.1.5 "Actively support growth of road cycling in Whistler"
- RMOW's Recreation and Leisure Master Plan – Report: Key Strategy 2.3 "Work closely with the Ministry of Transportation and Infrastructure to improve the road cycling experience on Highway 99 and Callaghan Valley Road"
- RMOW's Recreation and Leisure Master Plan - Detailed Recommendations :17.3 Road Cycling Recommended Directions;
- MOTI's Ten Year Transportation Plan priority to develop and implement a cycling tourism and marketing strategy.
- A similar MOTI initiative was launched in 2015 in the South Okanagan; and
- The proposal is supported by the local Whistler Cycling Club.

Moved by Stephanie Sloane
Seconded by Bob Calladine

That the Recreation Leisure Advisory Committee supports the RMOW proposal to the Ministry of Transportation and Infrastructure to implement a Sea to Sky Cycling Route Signage Program in collaboration with corridor partners.

CARRIED

Frank Savage left the meeting at 5:02pm

Pilot Park Ranger

Presentation on pilot park ranger program from Manager of Recreation, Roger Weetman. Roger provided a brief overview of a potential initiative being considered by municipal staff and the Senior Management Team. The intent of this possible program is to initiate a mobile municipal 'ranger' with potential bylaw enforcement capability who could circulate through key parks and known problem areas. The primary objectives include educating users, assisting resort guests and observing and gathering data to inform future decision making.

Moved by Bob Calladine
Second by Colin Pitt-Taylor

That the Recreation Leisure Advisory Committee supports the idea of pilot park ranger recreational management program and looks forward to receiving more information and providing input.

CARRIED

RLAC Terms

Recreation Leisure advisory Committee term expiration and appointment process. Manager of Resort Parks Planning reminded members that all terms to the Committee members have expired. Anyone wishing to be considered for another two year term needs to apply with a resume and brief statement outlining why they should be considered by Council for the Committee to Shannon Perry by February 19, 2016. An ad has also been placed in the Pique Newsmagazine. The only exceptions are the members from Tourism Whistler and School District 48.

Artificial Turf Field

Artificial Turf Field project update for Parks Planning Manager

Manager of resort parks planning provided a short update on the status of this project. The Multi-Use Recreation Facility Investigative Study that was shared with the Committee in November 2015 and Council in December 2015 has been finalized. Preliminary site servicing costs for the large indoor facility at the four potential sites identified within the Investigative Study is near complete. A project webpage has been created at www.whistler.ca/node/14550/artificial-turf-field-project. It provides a brief overview of the project and includes information on project timeline, as well as anticipated stakeholder and community engagement opportunities.

Moving forward, a Request for Proposal (RFP) for consultant services will soon be released and will close in mid-March. The scope of services is first to undertake a facility needs assessment. If the assessment recommends a new or the substantial reworking of an existing facility then subsequent phases will likely occur. These include a site selection process, preparation of a business case model, information on artificial turf product 'cradle to grave' considerations and possible impacts to personal health, and preparation of a summary project brief document. The work within the RFP is required in order to validate assumptions, understand potential opportunities and provide a solid platform upon which future decisions can be made.

Municipal Budget

Managers of Recreation, Roger Weetman, and Manager of Resort Parks Planning, Martin Pardoe, provided a brief update on the municipal budgeting process. A Community Information Meeting is scheduled for February 23 from 4 to 7 pm at Maury Young Arts Centre (formerly Millennium Place) at 4335 Blackcomb Way. The meeting will include a discussion of community plans, the budget, displays, a presentation by Chief Administrative Officer Mike Furey and a question and answer period.

OTHER BUSINESS

Water Filling Stations in Parks

Previously the Committee had discussed the effectiveness of the existing policy that discourages the sale of plastic bottled water in municipal parks and facilities. There has been a desire expressed by the Committee to consider implementation of water filling stations which provide, when compared to a typical municipal water fountain, a more sanitized appearing means of refilling one's water bottle. It was suggested that water filling station supplier be invited to a future Committee meeting to help inform members as well as key municipal parks operations staff. Perhaps a station could be piloted in one of Whistler's parks this summer.

Next meeting to be March 10, 2016

ADJOURNMENT

That Recreation Leisure Advisory Committee adjourn the February 11, 2016 committee meeting at 5:53 p.m.

Moved by

CARRIED

CHAIR: Roger Sloane (acting chair)

From: Pivnick, Evan [<mailto:Evan.Pivnick@leg.bc.ca>]
Sent: Wednesday, May 18, 2016 17:03
To: Weaver.MLA, Andrew
Subject: Office of Andrew Weaver - Introducing an Environmental Bill of Rights

Dear Mayor and Council,

Please find attached a letter from me concerning the introduction of Bill M236 – *Environmental Bill of Rights Act, 2016*. I am emailing you because you are one of the 47 municipalities across our province that signed on to the David Suzuki Foundation's Blue Dot Tour, and have made a declaration about the right our citizens have to a healthy environment.

If you have any comments or questions, please feel free to get in touch with my office.

All the best,

Andrew

Andrew Weaver
MLA, Oak Bay-Gordon Head
Legislative Assembly, Room 027
Tel: 250-387-8347
Email: andrew.weaver.mla@leg.bc.ca

Andrew Weaver, M.L.A.
Oak Bay-Gordon Head

Constituency Office:
219 - 3930 Shelbourne Street
Victoria, BC V8P 5P6
Phone: 250 472-8528
Fax: 250 472-6123
e-mail: Andrew.Weaver.MLA@leg.bc.ca



**Province of
British Columbia**
Legislative Assembly

Legislative Office:
Room 027
Parliament Buildings
Victoria, BC V8V 1X4

May 18th, 2016

Dear Mayor and Council,

I am writing you to inform you and your colleagues about a Bill I introduced in the BC Legislature: The *Environmental Bill of Rights Act, 2016*.

You are receiving this letter because you are one of the 47 municipalities across our province that signed on to the David Suzuki Foundation's Blue Dot Tour, and have made a declaration about the right our citizens have to a healthy environment.

I was at the back of the room in Vancouver last September when the Union of BC Municipalities endorsed resolution A5, which called on the Province of British Columbia to enact a provincial environmental Bill of rights.

Yesterday in the Legislature I introduced a bill intituled Environmental Bill of Rights Act, 2016.

This Bill specifically states that British Columbians' have a right to a healthy environment and that it is the government's responsibility to protect it for this generation as well as those to come. There are five key components to this Bill. The Bill:

1. outlines the Rights and Responsibilities of the BC Government and its residents when it comes to environmental decision making;
2. creates a publicly accessible one-stop-shop for environmental information;
3. ensures that all ministries consider the environmental impacts their operations may be responsible for;
4. creates an environmental commissioner responsible for investigating violations, providing the public an opportunity to participate in and access the decision making process, and providing regular reports about the state of the B.C. environment.
5. protects whistle blowers who act to prevent or mitigate environmental damage.

I am no longer confident that the next generation of British Columbians will enjoy the same opportunities that we have today. The problem is that governments are frequently pitting the environment against industry and it doesn't have to be that way.

The rhetoric that we hear in this province — 'the forces of no,' 'get to yes' no matter what the question is — is not helpful to anybody, despite the fact that it's a great sound bite. The intention of my bill is to create the rules in which industry can operate. Industry has crying out for this; the last thing industry

wants is uncertainty. They want to know what the rules are. They want to know what the penalties are. They want to know how they can do business in British Columbia.

It's also important to note that this conversation is taking place across the country. A number of jurisdictions across Canada already have some form of an Environmental Bill of Rights in place including Ontario, Quebec, Yukon, NWT and Nunavut. In addition, Manitoba and Nova Scotia have now had Bills introduced to their respective legislatures.

It's time that we moved on from the outdated thinking that every environmental law brought forward is somehow an attack on industry. I have visited projects across British Columbia and the most successful businesses, which also create the greatest benefits for their local economy, are those that account for their impacts on the environment. This should become the norm for anyone who wants to do business in B.C.

I want to thank you for raising your voice on this issue and I hope the Bill I have introduced will help you to continue to have this conversation in your communities.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Andrew Weaver', with a stylized, cursive script.

Andrew Weaver
MLA Oak Bay – Gordon Head
Leader, BC Green Party

Submitted on Sunday, May 22, 2016 - 15:53 Submitted by anonymous user: 207.81.87.155 Submitted values are:

Full Name: Yvonne Goller

Mailing Address: 909 Merritt Street Coquitlam BC V3J 7K9 Civic address if different from mailing address:

Email Address: doogie2@telus.net

Phone Number: 604-936-0264

Your Message:

Mayor & Council

Over the years I have emailed the Mayor & Council a couple of times on this matter to which I have never had a reply from anyone on the council.

We have a place at Northstar and are in Whistler a lot. My concern is the Northlands Blvd, the entrance to Market Place, on the other side of the street is the entrance to Northstar, Twin Peaks, & Valhalla. Plus traffic going both ways on this very busy street. I have asked council to look into putting some sort of lightning at this crosswalk as at night it is very dark and unsafe but I never get a reply. I am VERY concerned as now the crosswalk lines on the road are all worn out making this situation very hazardous. If you are not considering doing something about this dangerous intersection for the taxpayers of this community please get a crew there ASAP to re-do the lines before someone else is killed there. Thank you Yvonne Goller

From: Liz Barrett [<mailto:whistlerswildthings@gmail.com>]
Sent: Monday, May 23, 2016 03:46
To: Mayor's Office
Subject: Black Bear Decimation in the Callaghan valley

Dear Mayor and Council

It is time to ask for your help, so I am sending this to council as I am sure you are unaware of the decimation that has taken place and sadly still is happening right now.

You probably are not aware of the extent of the issues in the Callaghan, but the black bears are being slaughtered and it is legal with a \$25 hunting licence. Early Saturday morning on the 21 May 2016, I found hunters who had killed the two year old brown male bear. They had one small plastic bag with them when I confronted them. I got all their details including the hunting licence for \$25. They were about to leave the area and did not expect a garbage collecting woman to be there. Once they realized I was calling on conservation they returned to "harvest" the rest of the animal!

The RCMP was incredible and arrived within minutes but after investigating the Conservation Officer sent me an email that tells me, no offence took place and it is legal to hunt bears there.

I am horrified and now realize that this slaughter has been happening right under our noses. I also strongly suspect that poachers after bear parts are also working the area. Looking back through my material, I see the greatest decline of adults in 2013 - In 2014 and 2015 we hardly saw any adults in the area.

For more information on some of the missing bears, please visit my blog.

Looking back to 2010, sadly we seem to have lost most of the gene pool of strong adults in the area.

Please consider revising the hunting laws for this area.

<http://whistlerswildthings.blogspot.ca>

Kind regards
Liz Barrett

#16 2641 Whistler Road
Whistler
V0N1B2

604 698 0050

From: Jenifer Christenson [<mailto:jchristenson@builtgreencanada.ca>]

Sent: Friday, May 27, 2016 1:43 PM

To: corporate

Subject: Request for Proclamation

Importance: High

Dear Mayor and Council,

We are reaching out to enquire whether Whistler will proclaim June 8 BUILT GREEN® Day coinciding with National Environment Week? This complements your work to encourage sustainable building practices. With this in mind, we believe our proclamation request is a complementary effort that you would want to support.

We use the proclamation to raise awareness about the importance of sustainable building practices and by showcasing those that are already doing so, we leverage this to challenge other municipalities across the country (to encourage green building as part of their sustainable building policies. We will be issuing a news release across the wire regarding this and I have included a link to last year's news release: www.builtgreencanada.ca/built-green-canada-launches-challenge-to-other-municipalities?id=1456

We're a national, non-profit industry-driven organization delivering sustainable building programs to the residential building industry. And some of your local builders are active, BUILT GREEN® members showing leadership in this area.

Thank you for your consideration. Draft proclamation below—this would be required prior to June 8.

Jenifer Christenson
Executive Director
Built Green Canada

Phone 780.485.0920

Toll Free 855.485.0920

Email jchristenson@builtgreencanada.ca

Web www.builtgreencanada.ca

RESPECTING OUR ENVIRONMENT

PROCLAMATION

WHEREAS, environmental sustainability is a key consideration as Whistler continues to grow;

AND WHEREAS, Built Green Canada is a national organization committed to sustainable environmental practices in the residential building sector;

AND WHEREAS, Built Green Canada promotes the use of practices, technologies and products that increase efficiency, reduce waste, enhance durability and improve indoor air quality,

AND WHEREAS, Whistler is dedicated to protecting our natural resources and encourages sustainable development;

THEREFORE I, MAYOR NANCY WILHEM-MORDEN, DO HEREBY PROCLAIM JUNE 8, 2016 AS "BUILT GREEN® DAY" in Whistler.

Dated this 8th day of June, 2016

Mayor Nancy Wilhelm-Morden