



WHISTLER

AGENDA

REGULAR MEETING OF MUNICIPAL COUNCIL
TUESDAY, FEBRUARY 21, 2017, STARTING AT 5:30 P.M.

In the Franz Wilhelmsen Theatre at Maury Young Arts Centre – Formerly
Millennium Place
4335 Blackcomb Way, Whistler, BC V0N 1B4

ADOPTION OF AGENDA

Adoption of the Regular Council agenda of February 21, 2017.

ADOPTION OF MINUTES

Adoption of the Regular Council minutes of February 7, 2017.

PUBLIC QUESTION AND ANSWER PERIOD

MAYOR'S REPORT

INFORMATION REPORTS

Planning And Building
Departments Application
Activity Report – 2016
4th Quarter
Report No. 17-009
File No. 7076.01

A presentation by municipal staff.

That Council receive Information Report to Council No.17-009 summarizing the Planning Department and Building Department application activity for the fourth quarter of 2016.

ADMINISTRATIVE REPORTS

DVP01127 –
8200 Bear Paw Trail –
Your Independent Grocer
Sign Variance
Report No. 17-011
File No.DVP01127

A presentation by municipal staff.

That Council approve the issuance of Development Variance Permit DVP01127 for the proposed signs located at 8200 Bear Paw Trail to permit the following variances to the Sign Bylaw:

1. Vary Section 4.1 (d) to permit a window sign as substitution for a hanging sign as the third permitted sign on the Your Independent Grocer business frontage;

2. Vary the maximum permitted lettering height from 300 mm to 490 mm on Sign A and from 300 mm to 630 mm on Sign C;

As illustrated on the Your Independent Grocer (YIG) Sign Design Plans R11 dated January 30, 2017, prepared by International Neon, attached as Appendix C to Administrative Report to Council No. 17- 011.

DP 1543 – 8080
Nesters Road –
Industrial Development
Report No. 17-010
File No. DP1543

A presentation by municipal staff.

That Council approve the issuance of Development Permit DP 1543 for the proposed industrial development at 8080 Nesters Road (Lot B) as per the architectural plans A1.1, A2.1, and A3.1, and the site and landscape plans L0.1, L0.2, L1.1, L1.1S, L1.2, L1.3, L2.1, L2.2, L2.3, L3.1 and L4.1 prepared by Crosland Doak Design, revision dated Feb. 7, 2017, attached as Appendix B to Administrative Report to Council No. 17- 010, subject to the resolution of the detailed items specified in the letter attached as Appendix E to Administrative Report to Council No. 17- 010 to the satisfaction of the General Manager of Resort Experience.

DP 1548 – 4865 Painted
Cliff Road
Report No. 17-012
File No. DP1548

A presentation by municipal staff.

That Council authorize development approval under the Blackcomb Land Use Contract for DP 1548 consisting of renovations to Building One in the Snowbird development located at 4865 Painted Cliff Road per the architectural plans 1, 2, 3, 4, 5, 6, 7, 8, 9, 10 (Revision 2) prepared by ATA Architectural Design Ltd., dated 16-12-5, attached as Appendix A to Administrative Report to Council No. 17- 012, subject to modification of development covenant GC9176 to reflect the proposed changes to the satisfaction of the General Manager of Resort Experience; and further,

That Council authorize the Mayor and Municipal Clerk to execute the amending covenant.

UBCM Applications:
Alpine Meadows &
CCF5
Report No. 17-013
File No. 8337.01

That Council direct staff to undertake the requisite grant management and internal support for the proposed activities described in UBCM Operational Fuel Treatment and Maintenance Program application (Alpine Meadows – Block 2) attached as Appendix A to Administrative Report to Council No.17- 013; and further

That Council direct staff to undertake the requisite grant management and internal support for the proposed activities described in UBCM Operational Fuel Treatment and Maintenance Program application (CCF5) attached as Appendix B to Administrative Report to Council No.17- 013.

Whistler Village Land
Company - Parkade B
Waterproofing Contract
Award
Report No. 17-014
File No. 8900.04

A presentation by municipal staff.

That Council authorizes the RMOW to enter into a contract with Jacob Bros. Construction Inc. for the construction of the St. Andrews Alley Plaza Restoration project to an upset limit of \$1.331 million.

That Council authorizes the RMOW to commence the St. Andrews Alley Plaza Restoration project.

2017 Gateway Loop
Reconstruction - Tender
Award
Report No. 17-015
File No. 573

A presentation by municipal staff.

That Council award the contract in the amount of \$3,788,902.00 (exclusive of GST) to Wilco Civil Inc. in accordance with their tender proposal dated December 21, 2016 for construction of the civil works as described in Tender E121-02 – Gateway Loop Redevelopment Phase 1 Construction of Site Works; and,

That Council award the contract in the amount of \$2,571,130.00 (exclusive of GST) to B. Cusano Contracting (2007) Ltd. in accordance with their tender proposal dated December 21, 2016 for construction of the roof structure as described in Tender E121-03 – Gateway Loop Redevelopment Phase 2 – Construction of Transit Shelter.

MINUTES OF COMMITTEES AND COMMISSIONS

Forest and Wildland
Advisory Committee

Minutes of the Forest and Wildland Advisory Committee meeting of January 11, 2017.

Whistler Bear Advisory
Committee

Minutes of the Whistler Bear Advisory Committee meeting of January 11, 2017.

OTHER BUSINESS

CORRESPONDENCE

Asphalt Plant Lease
Extension Concerns
File No. 714

Correspondence from Diana Nagy dated February 2, 2017, regarding her concerns for the lease extension for the asphalt plant in Cheakamus Crossing.

Canadian Fallen Heroes
Foundation
File No. 3009

Correspondence from Toni Hall dated February 7, 2017, regarding youth initiatives for researching and honouring the fallen men and women that served Canada and requesting sponsorship of the program through purchase of an ad.

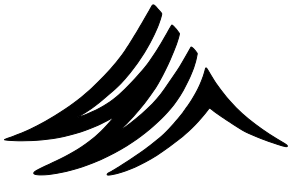
Chamber Week
Proclamation
File No. 3009.1

Correspondence from Melissa Pace, Acting Whistler Chamber CEO dated February 15, 2017, requesting that Council proclaim February 20-24, 2017 as Chamber Week.

My Sea to Sky -
Concerns for Proposed
Woodfibre LNG Export
Facility
File No. 3009

Correspondence from Delena Angrignon, Co-Founder My Sea to Sky,
dated February 15, 2017, regarding concerns for Proposed Woodfibre LNG
Export facility and asking for support in opposition to the proposal.

ADJOURNMENT



WHISTLER

MINUTES

**REGULAR MEETING OF MUNICIPAL COUNCIL
TUESDAY, FEBRUARY 7, 2017, STARTING AT 5:30 P.M.**

**In the Franz Wilhelmson Theatre at Maury Young Arts Centre – Formerly
Millennium Place
4335 Blackcomb Way, Whistler, BC V0N 1B4**

PRESENT:

Mayor: N. Wilhelm-Morden

Councillors: S. Anderson, J. Crompton, J. Ford, J. Grills, A. Janyk,
S. Maxwell

Chief Administrative Officer, M. Furey
General Manager of Infrastructure Services, J. Hallisey
General Manager of Corporate and Community Services, N. McPhail
General Manager of Resort Experience, J. Jansen
Manager, Cultural Development & Planning, J. Rae
Director of Planning, M. Kirkegaard
Municipal Clerk, L. Schimek
Manager of Communications, M. Comeau
Economic Development Officer, T. Metcalf
Senior Planner, M. Laidlaw
Recording Secretary, N. Best
Manager of Village Animation, B. Andrea

Mayor Wilhelm-Morden recognized the attendance of Freeman Sue Adams.

ADOPTION OF AGENDA

Moved by Councillor J. Ford
Seconded by Councillor J. Grills

That Council adopt of the Regular Council agenda of February 7, 2017.

CARRIED

ADOPTION OF MINUTES

Moved by Councillor A. Janyk
Seconded by Councillor S. Anderson

That Council adopt the Regular Council Minutes of January 24, 2017.

That Council adopt the Public Hearing Minutes from January 10, 2017 as amended to correct that there were two pieces of correspondence received in opposition and one piece of correspondence received in support of the proposed Bylaw.

CARRIED

PUBLIC QUESTION AND ANSWER PERIOD

There were no questions from the public.

PRESENTATIONS/DELEGATIONS

Festival Events &
Animation Oversight
Committee 2017 Plan

A presentation was given by Sue Adams and Bob Andrea regarding Festival Events & Animation Oversight Committee plan for 2017.

MAYOR'S REPORT

Mayor Wilhelm-Morden thanked the three hundred full-time residents and two hundred part-time residents who completed the Community Life Survey by phone. A further in-person study of two hundred seasonal residents will commence soon. The web version of Whistler's Community Life Survey is now live at whistler.ca/survey. Mayor Wilhelm-Morden apologized for the online survey link going down several times updating that the research company is working on it. The Community Life Survey research guides decision making by helping the RMOW monitor trends and performance.

Mayor Wilhelm-Morden announced that for Family Day, the RMOW is offering half price day tickets at Lost Lake cross country ski and snowshoe trails as well as half price family drop-in and family all-day admission at Meadow Park Sports Centre. Skate rentals at Whistler Olympic Plaza are free for children when one parent pays for rentals. Whistler Olympic Plaza also has Family Après free entertainment from 3:00 to 6:00 p.m.

Mayor Wilhelm-Morden reported that the Home Run program that matches residential property owners with local business owners now has twenty-five interested property owners and forty businesses looking to house around three hundred and nineteen workers. You can find out more about the program at www.whistlerhousing.ca.

Mayor Wilhelm-Morden further reported that the Resort Municipality of Whistler is increasing enforcement of nightly rentals of properties not zoned for this use. Twenty-six properties have been investigated in the past year. And this month the RMOW took legal action against a property owner who was illegally renting a residential property to tourists.

Mayor Wilhelm-Morden announced that the application period for the 2017 Community Enrichment Program funding has opened. Local non-profit organizations and societies that benefit the resort community are eligible to apply under the following categories: the environment, social service, community service, recreation and sport, and arts and culture. The deadline is 4:00 p.m. on Wednesday, February 15 and applicants are required to make presentations to Council on Tuesday, March 7. For more details, visit www.whistler.ca/cep.

Mayor Wilhelm-Morden announced that the second phase of the Wayfinding Project is now complete, bringing the Guest Arrival Experience Strategy Project close to completion. Over two hundred new signs, banners and

portals help visitors navigate Whistler Village and the municipal parking areas. The wayfinding elements are colour-coded, consistent and are designed to help visitors easily find their way to key destinations. Mayor Wilhelm-Morden thanked the Province of British Columbia for helping to make this project possible.

Mayor Wilhelm-Morden recommended that homeowners who are planning summer construction projects are advised to apply for building permits now to ensure their projects can be started on time. Visit www.whistler.ca/building for more information.

Mayor Wilhelm-Morden reported that traffic control personnel are going to reduce south-bound congestion from 2:00 to 7:00 p.m. on Monday, February 13. The RMOW and Whistler Blackcomb have partnered to station these personnel along Highway 99 at the Lake Placid Road, Bayshores Drive, and Alta Lake Road intersections. The public is advised to be aware that this is a busy time on the roads and to plan accordingly. Check Drive BC or sign up for their alerts, and check Mountain FM regularly.

Mayor Wilhelm-Morden reported that the budget community meeting will be held on Tuesday, February 28 here at the Maury Young Arts Centre. For more information, visit www.whistler.ca/budget for updates. Mayor Wilhelm-Morden added that if anyone has questions to contact staff or Council by email at budget@whistler.ca.

Mayor Wilhelm-Morden congratulated two Whistler businesses who are one of five finalists in each category in the fourteenth annual Small Business B.C. Awards. Canada's Best Apps has been nominated for Best Concept and RDC Fine Homes Inc. has been nominated for Best Employer Mayor Wilhelm-Morden noted that 699 businesses were nominated from seventy-two B.C. communities and thirty-two thousand votes were cast. The final winners will be determined by a panel of business experts.

Mayor Wilhelm-Morden offered condolences and said thoughts are with everyone affected by the shooting at the mosque in Quebec City. It was a tragic event. In recognition, the RMOW lowered the Canadian flag at Whistler Olympic Plaza and the RCMP lowered the Canadian flag outside the detachment. Mayor Wilhelm-Morden added that she sent a personal note to Mayor Labeaume on behalf of the Whistler community.

ADMINISTRATIVE REPORTS

SEC0020- 8248
Woodland Place Flood
Proofing Exemption
Report No. 17- 007
File No. SEC0020

Moved by Councillor A. Janyk
Seconded by Councillor. J. Grills

That Council grant an exemption in accordance with section 524 of the *Local Government Act* – “Requirements in Relation to Flood Plain Areas”, to permit a new dwelling to be constructed within the 30 metre flood proofing setback specified in “Zoning and Parking Bylaw 303, 2015” at 8248 Woodland Place as shown in Architectural Plans A0, A1, A100, A102, A103, A301, A302 prepared by Maya Wasberg Design Studios and dated 2017-01-19, attached as Appendix B to Administrative Report to Council No.17-007; and further

That Council authorize the Mayor and Municipal Clerk to execute a Section 219 covenant on the title of the subject property for this exemption, Indemnifying the Municipality and attaching the geotechnical report prepared by EXP Geotechnical, dated January 20, 2017, attached as Appendix C to Administrative Report to Council No.17-007, confirming that the proposed building location and design are safe for the intended residential use.

Opposed: Councillor J. Ford and Councillor S. Maxwell

CARRIED

Employee Housing
Service Charge Bylaw
Report No. 17- 008
File No. 7072

Moved by Councillor J. Ford
Seconded by Councillor A. Janyk

That Council direct staff to bring forward an amendment to Employee Housing Service Charge Bylaw No. 1507, 2000 to update the employee housing charge from \$5,908.00 per employee to \$10,177.00 per employee to reflect housing construction cost escalation based on the Statistics Canada Construction Price Index (Vancouver) and include annual escalations based on the index;

That Council direct staff to bring forward a policy applicable to rezoning applications for proposed development that would generate increased employees to require the developer to build or create the employee bed units, with the exception of smaller developments in which the employee housing charge payment may be considered; and further

That Council direct staff to investigate other amendments to Employee Housing Service Charge Bylaw No.1507, 2000 to more effectively address employee housing needs associated with new development or land uses in Whistler as described in Administrative Report to Council No.17-008.

CARRIED

MINUTES OF COMMITTEES AND COMMISSIONS

Recreation Leisure
Advisory Committee

Moved by Councillor A. Janyk
Seconded by Councillor J. Crompton

That minutes of the Recreation Leisure Advisory Committee meeting of November 24, 2016 be received.

CARRIED

Forest and Wildland
Advisory Committee

Moved by Councillor J. Crompton
Seconded by Councillor S. Maxwell

That minutes of the Forest and Wildland Advisory Committee meeting December 14, 2016 be received.

CARRIED

Whistler Bear Advisory
Committee

Moved by Councillor A. Janyk
Seconded by Councillor J. Grills

That minutes of the Whistler Bear Advisory Committee meeting of December 14, 2016 be received.

CARRIED

OTHER BUSINESS

There was no other business.

CORRESPONDENCE

Union of British
Columbian Municipalities
(UBCM) - Completion of
Fuel Management
Project Confirmation
File No. 8337.01

Moved by Councillor J. Crompton
Seconded by Councillor S. Anderson

That correspondence from Peter Ronald, Programs Officer Union of BC Municipalities' dated January 17, 2017, regarding confirmation of the successful completion of the Fuel Management Project be received and referred to staff.

CARRIED

Kinder Morgan Pipeline
Expansion Opposition
File No. 3009

Moved by Councillor A. Janyk
Seconded by Councillor J. Grills

That correspondence from Shep and Leslie Alexander dated January 18, 2017, requesting that Council declare opposition to the Kinder Morgan pipeline expansion be received.

That correspondence from Rebecca Wenger dated January 18, 2017, requesting that Council oppose the Kinder Morgan pipeline expansion be received.

That correspondence from Sue Stangel dated January 18, 2017, requesting that Council declare opposition to the Kinder Morgan pipeline expansion be received.

CARRIED

Alpine Way Traffic
Calming
File No. 7002.8

Moved by Councillor A. Janyk
Seconded by Councillor J. Ford

That correspondence from Chris Williamson dated January 20, 2017, requesting that more traffic calming measures be put in place for Alpine Way be received and referred to staff.

CARRIED

Squamish-Lillooet
Regional District
Regional Growth
Strategy Minor
Amendment – Notice
File No. 7511.3

Moved by Councillor A. Janyk
Seconded by Councillor J. Ford

That correspondence from Claire Daniels, Planner for the SLRD dated January 20, 2017, regarding notice for a minor amendment to the Squamish-Lillooet Regional District Regional Growth Strategy be received and referred to staff.

CARRIED

Traffic Hazard Concern
in Whistler Cay
File No. 7002.6

Moved by Councillor J. Crompton
Seconded by Councillor S. Maxwell

That correspondence from Tadeusz van Wollen dated January 23, 2017, requesting that remedial action be taken for parking hazards on Whistler Cay Drive and Eagle Drive be received and referred to staff.

CARRIED

Small Business BC
Awards – Finalists
File No. 3009

Moved by Councillor A. Janyk
Seconded by Councillor J. Ford

That correspondence from Mark Blendheim, Communications Manager Small Business BC dated January 24, 2017, regarding two Whistler businesses who have made it to the finals of the Small Business BC Awards be received.

CARRIED

Creekside Village
Parkade and Pedestrian
Traffic Concerns
File No. 7002.2

Moved by Councillor J. Ford
Seconded by Councillor J. Grills

That correspondence from Tracey Rozsypalek, Operations Coordinator Creekside Village Retail Complex dated January 25, 2017, requesting that a crosswalk across from the Legends driveway in Creekside be removed or re-directed be received and referred to staff.

CARRIED

Train Wreck Bridge
Safety Concerns
File No. 8529

Moved by Councillor J. Ford
Seconded by Councillor J. Grills

That correspondence from Janet Brown dated January 31, 2017, requesting that the bridge at the Train Wreck site be made safer be received and referred to staff.

CARRIED

ADJOURNMENT

Moved by Councillor J. Crompton

That Council adjourn the February 7, 2017 Council meeting at 6:26 p.m.

CARRIED

Mayor, N. Wilhelm-Morden

Municipal Clerk, L. Schimek



REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: February 21, 2017
REPORT: 17- 009
FROM: Resort Experience
FILE: 7076.01
SUBJECT: PLANNING AND BUILDING DEPARTMENTS APPLICATION ACTIVITY
REPORT – 2016 4TH QUARTER

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Resort Experience be endorsed.

RECOMMENDATION

That Council receive Information Report to Council No.17-009 summarizing the Planning Department and Building Department application activity for the fourth quarter of 2016.

REFERENCES

Appendix A – Table A.1: Planning Department New Applications By Type
Table A.2: Planning Department Application Processing Status
Table A.3: Building Department New Applications By Type
Table A.4: Building Department Application Processing Status
Table A.5: Summary of Active Rezoning and Development Permit Applications

PURPOSE

The purpose of this report is to provide Council with an overview of Planning Department and Building Department application activity for the fourth quarter of 2016. This report also provides additional information on active rezoning and development permit applications.

DISCUSSION

Activity Report

Reporting on Planning Department and Building Department application activity is prepared quarterly for Council, at Council's request. The reporting provides information on the volume of new applications and their processing status for both the Planning and Building Departments.

Planning Department

Appendix A.1 shows that the Planning Department received 33 new applications in the 4th quarter of 2016, totalling 205 new applications for all of 2016, as compared to 220 new applications for all of 2015 and 258 new applications for all of 2014.

In 2016, the 2nd and 3rd quarters were the busiest for intake of new applications into the Planning Department, as compared to the 1st and 2nd quarters being the busiest in 2015 and 2014.

Of the application types, development permit applications continue to represent the largest number of applications by type, consistent with previous quarterly updates.

Appendix A.2 shows three tables that provide the processing status of new Planning Department applications received in 2016, outstanding applications from 2015 and their processing status as of the end of 2016, and lastly, the total volume of applications being processed in 2016 and the status

of these applications at the end of 2016. In total, the Planning Department had 270 applications in process in 2016, of which 159 were approved, 10 denied, 19 withdrawn or cancelled, and 82 remained in progress at year-end.

Building Department

Appendix A.3 shows that the Building Department received 176 new applications in the 4th quarter of 2016, totalling 1,224 new applications for all of 2016, as compared to 1,091 new applications for all of 2015 and 1,146 new applications for all of 2014.

In 2016, the 2nd and 3rd quarters were the busiest for intake of new applications into the Building Department, consistent with the two previous years.

Of the file types, information requests and Building Permits continue to represent the majority of the files.

Appendix A.4 shows three tables that provide the processing status of new Building Department files received in 2016, outstanding applications from 2015 and their processing status at the end of 2016, and lastly, the total volume of applications being processed in 2016 and the status of these applications at the end of 2016. In total, the Building Department had 1,658 files in process in 2016, of which 691 were approved, 0 denied, 24 withdrawn or cancelled, 727 completed or granted occupancy, and 216 remained in progress at year-end.

Rezoning and Development Permit Files

As requested by Council staff have also prepared a summary table of rezoning and development permit files, including a brief description of the nature of the file, the property location, and processing status. This is intended to give Council more insight into files which are in process and will require Council approvals. This table is presented as Table A.5 in Appendix A.

Of the 32 files, 18 are under active review and 14 are with the applicant to address staff and/or ADP comments, issuance conditions, or bylaw adoption conditions.

The status of active rezoning and development permit files is available on the RMOW website.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Built Environment	The built environment is attractive and vibrant, reflecting the resort community's character, protecting viewscapes and evoking a dynamic sense of place.	The municipality's Planning and Building policies, regulations and application processes uphold and support this DOS. Quarterly reporting provides information on activity that furthers the DOS.
Built Environment	The built environment is safe and accessible for people of all abilities, anticipating and accommodating wellbeing needs and satisfying visitor expectations.	
Partnership	Residents, taxpayers, businesses and local government hold a shared vision for the resort community and work in partnership to achieve that vision.	

W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
N/A	N/A	N/A

OTHER POLICY CONSIDERATIONS

Planning and building applications are processed consistently with established municipal procedures and legislated requirements. The Planning and Building Departments maintain on-going project tracking to monitor and manage work flow and project assignments.

BUDGET CONSIDERATIONS

There are no direct external costs to prepare the quarterly reports. All internal costs to prepare the reports are accommodated within the annual operating budget of the municipality.

The processing of applications by the Planning and Building Departments also generates revenues to the municipality associated with these processing activities. The amounts of these revenues also reflect the level of application activity. In 2016, the actual Planning Department revenues associated with application processing fees and staff recoverable were \$158,981, compared to \$161,700 budgeted. In 2016, the actual Building Department Building Permit revenues were \$1,139,871 compared to \$754,000 budgeted.

Review and monitoring of application volumes also factor into staff resourcing.

COMMUNITY ENGAGEMENT AND CONSULTATION

This report provides publicly available information regarding Planning and Building Department application activity on a regular and on-going basis.

SUMMARY

This report presents an overview of Planning and Building Department application activities for the fourth quarter of 2016. This report also provides additional information on active rezoning and development permit applications.

Respectfully submitted,

Melissa Laidlaw
 SENIOR PLANNER
 for
 Jan Jansen
 GENERAL MANAGER OF RESORT EXPERIENCE

Table A.1
Planning Department
New Applications Received By Type

Type	Q4-2016	Q3-2016	Q2-2016	Q1-2016	Total 2016	Total 2015	Total 2014
Antenna Siting	0	0	0	0	0	1	2
Blackcomb Benchland Permit	0	0	0	0	0	1	0
Board of Variance	1	5	1	3	10	15	21
Covenant Modification	1	6	4	8	19	18	19
Crown Referral	0	1	6	3	10	3	8
Development Permit	10	21	19	10	60	69	79
Development Variance Permit	1	4	1	5	11	21	19
Land Use Contract	2	1	10	0	13	33	0
Liquor Licence	5	8	11	0	24	1	38
Official Community Plan	0	0	0	0	0	0	2
Rezoning	1	1	2	8	12	15	25
Section 524 (floodplain)	1	0	0	1	2	5	5
Sign Permit	10	12	11	7	40	38	40
Temporary Use Permit	1	3	0	0	4	0	0
TOTAL Planning	33	62	65	45	205	220	258

Table A.2
Planning Department
Application Processing Status

New Applications Received 2016

Type	Q4-2016	Q3-2016	Q2-2016	Q1-2016	2016 (Q1 - Q4)	Approved	Denied	Withdrawn/ Cancelled	In Progress
Antenna Siting	0	0	0	0	0	0	0	0	0
Blackcomb Benchland Permit	0	0	0	0	0	0	0	0	0
Board of Variance	1	5	1	3	10	4	5	0	1
Covenant Modification	1	6	4	8	19	9	0	0	10
Crown Referral	0	1	6	3	10	7	0	0	3
Development Permit	10	21	19	10	60	42	1	1	16
Development Variance Permit	1	4	1	5	11	3	0	4	4
Land Use Contract	2	1	10	0	13	0	0	0	13
Liquor Licence	5	8	11	0	24	21	0	0	3
Official Community Plan	0	0	0	0	0	0	0	0	0
Rezoning	1	1	2	8	12	6	0	1	5
Section 524 (floodplain)	1	0	0	1	2	0	0	0	2
Sign Permit	10	12	11	7	40	32	2	4	2
Temporary Use Permits	1	3	0	0	4	4	0	0	0
TOTAL	33	62	65	45	205	128	8	10	59

2015 Applications Processed in 2016 Q1 thru Q4

Type	Q4-2016	Q3-2016	Q2-2016	Q1-2016	2016 (Q1 - Q4)	Approved	Denied	Withdrawn/ Cancelled	In Progress
Antenna Siting				0	0	0	0	0	0
Blackcomb Benchland Permit				0	0	0	0	0	0
Board of Variance	0	0	1	1	2	2	0	0	0
Covenant Modification	5	0	0	3	8	4	0	0	4
Crown Referral	0	0	0	2	2	2	0	0	0
Development Permit	8	2	3	5	18	8	0	3	7
Development Variance Permit	5	1	2	3	11	4	2	1	4
Land Use Contract		0	0	0	0	0	0	0	0
Liquor Licence	0	0	0	1	1	1	0	0	0
Official Community Plan			0	0	0	0	0	0	0
Rezoning	3	1	2	5	11	7	0	1	3
Section 524 (floodplain)	0	0	0	2	2	0	0	0	2
Sign Permit	3	0	3	4	10	3	0	4	3
Temporary Use Permit	0	0	0	0	0	0	0	0	0
TOTAL	24	4	11	26	65	31	2	9	23

Total 2015 and 2016 Applications in Process 2016 Q1 thru Q4

Type	Q4-2016	Q3-2016	Q2-2016	Q1-2016	2016 (Q1 - Q4)	Approved	Denied	Withdrawn/ Cancelled	In Progress
Antenna Siting	0	0	0	0	0	0	0	0	0
Blackcomb Benchland Permit	0	0	0	0	0	0	0	0	0
Board of Variance	1	5	2	4	12	6	5	0	1
Covenant Modification	6	6	4	11	27	13	0	0	14
Crown Referral	0	1	6	5	12	9	0	0	3
Development Permit	18	23	22	15	78	50	1	4	23
Development Variance Permit	6	5	3	8	22	7	2	5	8
Land Use Contract	2	1	10	0	13	0	0	0	13
Liquor Licence	5	8	11	1	25	22	0	0	3
Official Community Plan	0	0	0	0	0	0	0	0	0
Rezoning	4	2	4	13	23	13	0	2	8
Section 524 (floodplain)	1	0	0	3	4	0	0	0	4
Sign Permit	13	12	14	11	50	35	2	8	5
Temporary Use Permit	1	3	0	0	4	4	0	0	0
TOTAL	57	66	76	71	270	159	10	19	82

Table A.3
Building Department Department
New Applications Received By Type

Type	Q4-2016	Q3-2016	Q2-2016	Q1-2016	Total 2016	Total 2015	Total 2014
Building Permit	41	90	111	79	321	271	307
Comfort Letter	1	6	1	4	12	9	8
Fireplace Permit	0	2	4	0	6	16	10
Information Request	70	124	151	136	481	496	495
Red File	7	13	6	3	29	16	29
Plumbing Permit	47	86	93	60	286	238	252
Demolition	6	12	12	15	45	39	45
Site Alteration	4	16	15	9	44	6	0
TOTAL Building	176	349	393	306	1224	1091	1146

Table A.4
Building Department
Application Processing Status

New Applications Received 2016 - Q1 thru Q4

Type	2016 YTD (Q1 thru Q4)	Approved	Denied	Withdrawn / Cancelled	Completed/ Occupancy	In Progress
Building Permit	321	193	0	5	37	86
Comfort Letter	12	0	0	0	12	0
Fireplace Permit	6	3	0	0	1	2
Information Request	481	0	0	0	476	5
Red File	29	0	0	0	6	23
Plumbing Permit	286	176	0	8	35	67
Demolition	45	32	0	0	8	5
Site Alteration	44	20	0	0	21	3
TOTAL Building	1224	424	0	13	596	191

2015 Applications Processed in 2016 - Q1 thru Q4

Type	2016 YTD (Q1 thru Q4)	Approved	Denied	Withdrawn / Cancelled	Completed/ Occupancy	In Progress
Building Permit	222	141	0	7	63	11
Comfort Letter	0	0	0	0	0	0
Fireplace Permit	0	0	0	0	0	0
Information Request	17	0	0	0	17	0
Red File	8	0	0	0	3	5
Plumbing Permit	178	124	0	3	43	8
Demolition	4	2	0	0	1	1
Site Alteration	5	0	0	1	4	0
TOTAL Building	434	267	0	11	131	25

Total 2015 and 2016 Applications in Process 2016 - Q1 thru Q4

Type	2016 YTD (Q1 thru Q4)	Approved	Denied	Withdrawn/ Cancelled	Completed/ Occupancy	In Progress
Building Permit	543	334	0	12	100	97
Comfort Letter	12	0	0	0	12	0
Fireplace Permit	6	3	0	0	1	2
Information Request	498	0	0	0	493	5
Red File	37	0	0	0	9	28
Plumbing Permit	464	300	0	11	78	75
Demolition	49	34	0	0	9	6
Site Alteration	49	20	0	1	25	3
TOTAL Building	1658	691	0	24	727	216

APPENDIX A

File #	Address	Subject	Application Date
DP001033	VILLAGE GREEN 4154 7	ND: Village - expansion to Beacon Pub (former Citta)	6-Aug-08
DP001337		ND: Function - development of vacant site with 4 buildings for light industrial, commercial, offices	29-Jan-14
DP001408	INDIGO LANE 8413	ND: Rainbow 12 unit condo development	18-Nov-14
DP001434	GLACIER DR 4700 37	ND: Benchlands - Pinnacle Ridge Additions to Unit 37 (DPA#5 + LUC development approval)	10-Mar-15
DP001435	GLACIER DR 4700 36	ND: Benchlands - Pinnacle Ridge Additions to Unit 36 (DPA#5 + LUC development approval)	
DP001440	GOLFERS APPROACH 4111	ND: Village - Tapley's - patio expansion & improvements	8-Apr-15
DP001442	BLACKCOMB WAY 4295	ND: Village - Whistler Village Centre building and landscape enhancements	20-Apr-15
DP001494	VILLAGE GATE BLVD 4313	ND: Village - Gateway Loop Reconstruction	9-Mar-16
DP001548	PAINTED CLIFF RD 4865 101	ND: Benchlands - Snowbird - additions into attics, and to add roof dormers and balconies	22-Dec-16
DP001551	GLACIER DR 4701 2	ND: Benchlands - Cedar Hollow - proposed one car garage for unit #2	24-Jan-17
LUC00002			11-Apr-16
LUC00003			
LUC00004			
LUC00005			
LUC00006			
LUC00007			
LUC00008			
LUC00009			
LUC00010			
LUC00011		Land Use Contract Discharge Division 16 Section 548 LGA	
RZ001003	MONS CRT 8069	Mons - Pomroy Property rezone - existing non-permitted uses and proposed new uses	22-Apr-08
RZ001009	GONDOLA WAY 2501	Whistler Creek South -Bunbury lands - zoning for revised 5 lot subdivision, no new BUs required	11-Jan-06
RZ001073	MONS RD 8021	Mons - Sabre Property zoning to legitimize siting and proposed additional uses and GFA	26-Mar-13
RZ001077		GFA Exclusion Regulation Amendment	16-Jan-14
RZ001094	MCKEEVERS PL 8104	Alpine - Alpine Cafe & Market rezoning for additional GFA, change of use	10-Jul-14
RZ001102	VILLAGE GREEN 4154 7	Village - Crystal Lodge Restaurant Expansion	30-Jan-15
RZ001104	LAKE PLACID RD 2121	Creekside - proposed rezoning to permit continued use of existing triplex	20-Feb-15
RZ001118	HORSTMAN LANE 4962	Benchlands - discharge LUC and rezone to RS3	13-Jan-16
RZ001122	BLACKCOMB WAY 4335	Public Gallery Sales	9-Feb-16
RZ001128	BEAR PAW TRAIL 8200	Rainbow Commercial - rezoning to remove office use restriction	4-Jul-16
RZ001129	BLACKCOMB WAY 4365 4375	Village - Whistler Olympic Plaza	4-Oct-16
RZ001131		General administrative zoning amendments	19-Jan-17



REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: February 21, 2017
FROM: Resort Experience
SUBJECT: DVP01127 - 8200 BEAR PAW TRAIL – YOUR INDEPENDENT GROCER SIGN VARIANCE

REPORT: 17- 011
FILE: DVP01127

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Resort Experience be endorsed.

RECOMMENDATION

That Council approve the issuance of Development Variance Permit DVP01127 for the proposed signs located at 8200 Bear Paw Trail to permit the following variances to the Sign Bylaw:

1. Vary Section 4.1 (d) to permit a window sign as substitution for a hanging sign as the third permitted sign on the Your Independent Grocer business frontage;
2. Vary the maximum permitted lettering height from 300 mm to 490 mm on Sign A and from 300 mm to 630 mm on Sign C;

As illustrated on the Your Independent Grocer (YIG) Sign Design Plans R11 dated January 30, 2017, prepared by International Neon, attached as Appendix C to Administrative Report to Council No. 17-011.

REFERENCES

Location: 8200 Bear Paw Trail
Legal: Plan BCP38413 Lot 9 District Lot 7302 New Westminster District Group 1.
Owner: Rainbow Canuck Properties Ltd.
Zoning: CD1 Zone (Comprehensive Development One)

Appendices: A - Location Map
B - Variance Rationale Letter
C - Sign Design Plans
D - Letter from property owner

PURPOSE OF REPORT

The purpose of this report is for Council to consider variances to “Sign Bylaw No. 558, 1987” for three signs at the new Your Independent Grocer store at 8200 Bear Paw Trail in the Rainbow Neighbourhood.

Section 498 of the *Local Government Act* allows Council to vary regulations contained in a sign bylaw by way of a development variance permit.

DISCUSSION

The applicant is requesting a modest increase in the lettering height of two fascia signs and for allowance of a window sign as substitution for a hanging sign as the third sign on the Your Independent Grocer business frontage. Your Independent Grocer is a new grocery retailer and one of five commercial tenants located at 8200 Bear Paw Trail. A location map showing the property is attached as Appendix A.

In 2016, a development permit was issued to establish a comprehensive sign plan for the commercial development designating the location and number of signs for each of the five commercial tenants. The comprehensive sign plan allowed for two fascia signs for the grocery store frontage in compliance with the Sign Bylaw. A sign permit was subsequently issued. However, due to the nature of the sign design, the maximum permitted lettering height of the Sign Bylaw did not permit these two signs to achieve their maximum allowable sign area of 2.0 square metres, with the result that the sign area of the grocery store fascia signs are smaller than the 2.0 square metre sign area of the fascia signs for the other four commercial spaces, yet the grocery store is the primary tenant.

Subsequently, the applicant submitted a variance request to increase the letter height on their two fascia signs to enable the signs to achieve the maximum allowable 2.0 square metre area in order to be consistent with the sign size of the other four commercial spaces in the building. In addition, the applicant is requesting to add a window sign adjacent to the storefront entryway to show the local owner branding. A letter explaining the rationale for the variances is attached as Appendix B and the sign design plans are attached as Appendix C.

The specific variances are described in the table below.

Variance Request	Sign Bylaw No. 558, 1987 Regulation
<p>1. Vary Section 4.1 (d) to permit a window sign as substitution for a hanging sign as the third permitted sign on the Your Independent Grocer business frontage;</p>	<p><u>SECTION 4 – DESIGN STANDARDS</u></p> <p>4.1 <u>Number of Signs</u></p> <p>A maximum of two permanent signs per business are permitted per business frontage and in addition, the following signs:</p> <p>(a) Freestanding signs as permitted by this Bylaw;</p> <p>(b) Temporary permitted signs as permitted by this Bylaw;</p> <p>(c) Signs which do not project over public property and are visible only from within the boundaries of the property;</p> <p>(d) One hanging sign as permitted by this Bylaw.</p>
<p>2. Vary the maximum permitted lettering height from 300 mm to 490 mm on Sign A and from 300 mm to 630 mm on Sign C, as illustrated on the attached plans.</p>	<p>4.9 <u>Lettering</u></p> <p>4.9.1 Maximum permitted lettering size on any sign is 300mm.</p> <p>4.9.2 Raised or recessed letters or symbols are strongly encouraged to give relief to signs.</p>

A similar variance was approved for the Marketplace IGA in 2004 to enable a 450 mm letter height. Staff supported the proposal based on IGA’s comparatively long frontage of 51 metres (most Whistler retail shops are 4.5 to 15 metres), and the suitable character and quality of the sign design.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Built Environment	The built environment is attractive and vibrant, reflecting the resort community’s mountain character.	The proposed signs are considered to be appropriately scaled and coordinated with the business frontage and retail complex.

W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
None.		

OTHER POLICY CONSIDERATIONS

DVP Criteria

Staff have established criteria for consideration of development variance permits. The proposed variances are considered to be consistent with these criteria as described in the table below.

Potential Positive Impacts	Comment
Complements a particular streetscape or neighbourhood.	The proposed signs are considered to be appropriately scaled and coordinated with the business frontage and retail complex, enabling these signs to be the same sign area as the 4 smaller retail spaces in the building. The business frontage is approximately 41 metres in length, while the 4 adjacent retail spaces are between 5.5 and 7.5 metres in length. The signs will occupy only 1.5 percent of the business frontage, with the Sign Bylaw permitting a business to occupy up to 10 percent.
Works with the topography on the site, reducing the need for major site preparation or earthwork.	Not applicable.
Maintains or enhances desirable site features, such as natural vegetation, trees and rock outcrops.	Not applicable.
Results in superior siting with respect to light access resulting in decreased energy requirements.	Not applicable.
Results in superior siting with respect to privacy.	Not applicable.
Enhances views from neighbouring buildings and sites.	Not applicable.

Potential Negative Impacts	Comments
Is inconsistent with neighbourhood character.	The signs are considered to complement the immediate neighbourhood character as described above.
Increases the appearance of building bulk from the street or surrounding neighbourhood.	Not applicable.

Requires extensive site preparation.	Not applicable.
Substantially affects the use and enjoyment of adjacent lands (e.g. reduces light access, privacy, and views).	The signs are not considered to have an effect on the use and enjoyment of adjacent lands.
Requires a frontage variance to permit greater gross floor area, with the exception of a parcel fronting a cul-de-sac.	Not applicable.
Requires a height variance to facilitate gross floor area exclusion.	Not applicable.
Results in unacceptable impacts on services (e.g. roads, utilities, snow clearing operations).	Not applicable.

BUDGET CONSIDERATIONS

There are no significant budget implications with this proposal. Development Variance Permit application fees provide for recovery of costs associated with processing this application.

COMMUNITY ENGAGEMENT AND CONSULTATION

A sign describing DVP01127 is posted on the property.

Notices were sent to surrounding property owners in February 2017. At the time of writing this report, one letter has been received from the owner of 8200 Bear Paw Trail in support of this proposal. The owner provided a number of reasons to support the proposal including the low visibility of the current signs. This letter is attached as Appendix D.

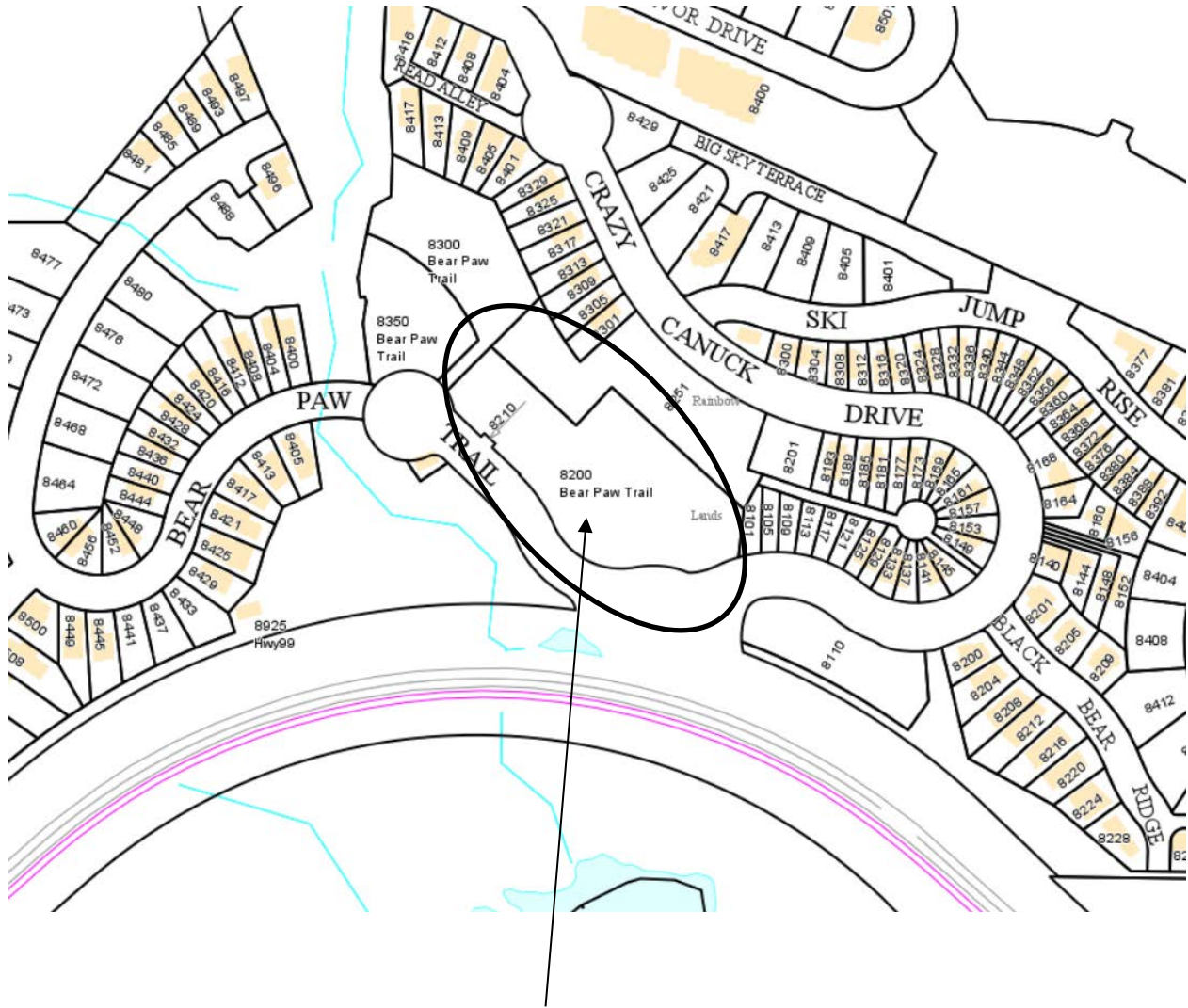
SUMMARY

Development Variance Permit DVP01127 proposes variances to “Sign Bylaw No. 558, 1987” for the number of signs and sign lettering height at 8200 Bear Paw Trail for Council’s consideration.

Respectfully submitted,

Brook McCrady
PLANNING ANALYST
for
Jan Jansen
GENERAL MANAGER OF RESORT EXPERIENCE

LOCATION MAP



Subject Lands



February 6, 2017

Brook McCrady
 Planning Analyst
 Resort Municipality of Whistler
 4325 Blackcomb Way
 Whistler, B.C. V0N 1V4

Subject: Sign Variance Permit Application (revised rationale) – 8200 Bear Paw Trail, Whistler, BC

Dear Brook McCrady:

Brook Pooni Associates (BPA) has been engaged to provide planning consulting services to Loblaw Companies Limited related to the **Your Independent Grocer (YIG)** store located at **8200 Bear Paw Trail** (site) in Whistler, BC. The property is owned by Rainbow Canuck Properties Ltd and leased by Loblaw.

To date, Your Independent Grocer has received permits for two fascia signs for their grocery store on the site under signage permit number SP000389. In order to address a number of locational / siting issues as well as corporate branding considerations, YIG is seeking the following variance from the Resort Municipality of Whistler:

- To allow a modest increase in the lettering height on both fascia signs (Sign A and Sign C on the attached plans, replacing the two approved signs); and
- To allow for a third sign in the form of a window sign at the main entrance to the store (Sign B).

The details of the proposed variance for the lettering height of signs A and C are as follows:

	Allowed Under Sign Bylaw Section 4.9.1	Proposed Variance (Sign A)	Proposed Variance (Sign C)
Lettering Height	300 mm	Most letters: 390-410 mm Taller letters: 480-510 mm	Taller letters: 300-490 mm Logo Lettering: 630 mm <i>(note: most lettering is approximately 150 mm, well under the maximum height)</i>

In addition to the above lettering height variances, a variance is requested to allow a third sign in the form of a window sign at the main entrance to the grocery store (Sign B). This proposed sign would have an area of 0.49 m², and maximum lettering height of 3 inches (76 mm), which is well below the permitted area of 1 m² and letter height of 300 mm stipulated in the Sign Bylaw.

Given the nature of the business and its unique site conditions, along with at least two recent precedent variances issued to other businesses in similar circumstances, the scale, aesthetics, and overall design considerations for the signage are appropriate.

Variance Rationale

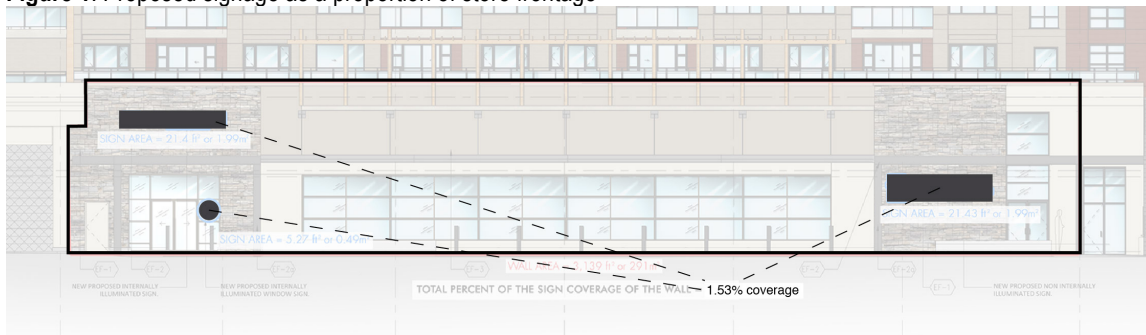
BPA presents the following rationale to support the proposed variances.

BUILDING PROPORTIONS AND AESTHETICS

By virtue of its nature as a grocery store, the YIG store at 8200 Bear Paw Trail is larger in area and frontage than typical retail uses in Whistler; however, the Sign Bylaw does not specifically address larger stores and building frontages. Typical retail stores in Whistler are approximately 5,000 square feet or smaller, while the YIG is closer to 15,000 square feet in area. As such, a moderate increase in sign letter height and an additional sign would be appropriate to create an aesthetically coherent frontage for the grocery store. Smaller lettering and signage would look out of place and out of scale on a building of this nature.

Section 4.2.1 of the Sign Bylaw stipulates that signs should not exceed a maximum of 10% of the building frontage, recognizing that smaller signs are appropriate for buildings with smaller frontages. It would be appropriate to apply this same logic to buildings with larger frontages. Even with taller lettering and an additional sign, the variances proposed in this application would result in signage that covers only 1.53% of the grocery store's frontage, as illustrated in **Figure 1**, below. (See also page 8, attached updated drawing package, for detailed wall coverage calculations).

Figure 1. Proposed signage as a proportion of store frontage



AMOUNT OF SIGNAGE RELATIVE TO SMALLER SHOPS

The number of signs requested in this application is considerably lower as a proportion of building frontage than would be seen in the Whistler Village or elsewhere in Whistler. The frontage length of the YIG is approximately 41 metres. The three signs proposed for this frontage would amount to approximately 1 sign per 13.8 metres of frontage. Smaller retail frontages in the Whistler Village may typically be closer to 7 metres per shop front, which could amount to up to twelve shop signs in the same frontage area, at two signs per business. Despite the request for taller lettering and an additional sign, the total amount of signage as a proportion of the building frontage is considerably lower than would be seen in the Whistler Village or elsewhere in Whistler.

DIFFERENCE IN RETAIL ENVIRONMENT

The difference in the nature of the retail environment between the Whistler Village and Rainbow Plaza is an important consideration in determining how the Bylaw should be applied. The Whistler Village is a highly pedestrian-oriented retail environment, while the location of the YIG is more highway-oriented and will serve the surrounding residential community. The scale and number of signs on the YIG frontage should take into consideration the highway-oriented nature of the property, ensuring that residents are able to identify the presence of the grocery store from the highway. The specifications identified in the Sign Bylaw would not accomplish the goal of creating a retail environment that engages with pedestrians as well as highway motorists, which represents a detriment to the viability of the grocery store and surrounding shops. The lettering and design of the signs proposed in this variance application balances the need for coherent, pedestrian-oriented design with the need for visibility from the highway.



ANCHOR STORES AND VIABILITY OF LOCAL BUSINESSES

Grocery stores are important anchors for small businesses, attracting shoppers to smaller, local businesses on their grocery shopping trips. The success and viability of the YIG grocery store will, in turn, have a significant impact on the viability and vitality of the surrounding retail uses. Furthermore, the success of these smaller stores will have a considerable impact on the nature of the residential community surrounding it, in terms of the quality of local atmosphere and the vibrancy of public spaces surrounding the smaller businesses in Rainbow Plaza.

A clearly identified grocery store will support the surrounding businesses and residential community, attracting local residents and those passing through on the Sea-to-Sky Highway. Grocery stores are, by their nature, an important factor in determining the character of a retail environment. As such, the clarity of the grocery store portion of the retail area will help contribute to resident identification of Rainbow Plaza, and therefore its success. A variance allowing taller lettering on Signs A and C and the addition of Sign B would contribute to this outcome by drawing new patrons into the entire Rainbow Plaza area.

SIGNAGE DESIGN CHARACTERISTICS

The proposed signs will be made of high quality material and are visually “light” in their design, with slim lettering. While some of the letters would exceed the height limits stipulated by the Sign Bylaw, the thin profile of the letters on signs A and C reduces the overall impact of the signs, ties their design into the overall aesthetic of the building and community, and brings the design of the signs closely in line with the intent of the Sign Bylaw.

The individual lettering of Signs A and C (as opposed to solid backing) is strongly encouraged in principle by section 4.9.2 of the Sign Bylaw, which encourages raised or recessed letters. In the case of Sign C, the lettering is cursive, which leads to varying heights—some over the bylaw limit and some below—but significantly contributes to the aesthetics of the sign and the branding of the property through ornamental loops and lettering, rather than large blocks of text. As such, the scale of the lettering appears much lighter than the height measurement would suggest.

PEDESTRIAN-ORIENTED WAYFINDING

The addition of the window sign, Sign B, would provide additional wayfinding oriented specifically toward pedestrians. While the primary sign (Sign A) above the main entrance is essential to those approaching the store from a distance, the window sign provides a shift in hierarchy toward pedestrian-oriented signage and human-scale markings as pedestrians approach the building. This additional wayfinding signage would be particularly useful for those who are seasonal residents or occasional visitors, helping them to find the main entrance of the grocery store.

The window sign would contribute to breaking up the building façade at the pedestrian scale, while adding detail and helping to animate the store frontage. The window sign also contributes to the character of the retail environment as it is used solely to demonstrate the local franchisee/store manager’s name, and contributes to the recognition of a local business leader. A sign of this variety is an innovative way to educate customers about the ownership of the store, helping them to make informed retail decisions.

PRECEDENT FOR VARIANCE IN SIGNAGE NUMBERS AND SIZE

Two recent DVPs provide relevant context for YIG’s variance application—including a variance for another grocery store’s signage, and an example where taller lettering was allowed due to the orientation of the business toward a vehicular street.

Market Place IGA in Whistler Village provides a precedent for appropriate signage sizes and number of signs for a grocery store. Allowing the variances requested by YIG would ensure a fair approach that provides comparable treatment to these two grocery retailers. BPA understands that the Market Place IGA in Whistler Village has 5 fascia



signs in total on its east frontage. By comparison, YIG is requesting a total of three signs on one frontage. The IGA received a sign variance permit to allow letters up to 450 mm tall for the M and P in “Market Place”, and 330 mm for other letters. While YIG’s lettering may be larger in some places than that of IGA, it is smaller in other places, particularly in Sign C, where the highly stylized lettering adds to the aesthetic interest of the sign and reduces its visual weight.

Signs A and C feature no solid backing, which serves to reduce the visual weight of these signs. By contrast, all of the IGA’s signs include backing, which increases their total area and visual weight. While YIG is requesting taller lettering for signs A and C, the designs meet the 2 m² area limit of the Sign Bylaw, and the area for Sign B is only half the allowed maximum. By comparison, the IGA’s variance has allowed sign areas of 4.4 m². Taken in sum, the smaller area and smaller number of signs is comparable to the variance allowed to IGA.

The DVP for Pizzeria Antico (#1105) allowed the height limit of the signage to be varied from 300 mm to 503 mm. The Staff Report for this variance identified “ample space on the façade to incorporate increased letter height,” and as with YIG, the signage proposed did not exceed the maximum sign area under the Sign Bylaw. The Staff Report also recognized that the variance in lettering would support the vibrancy of the local business community, and that there are other precedents in the area for taller lettering. Additionally, Staff recognized that a variance was appropriate since the Pizzeria Antico sign faced Northlands Boulevard, a vehicular street, “rather than the pedestrian Village Stroll.” As the YIG site is highway-oriented, similar consideration should be given to this site.

CONCLUSIONS

On behalf of Your Independent Grocer (Loblaw), Brook Pooni Associates is requesting that the Resort Municipality of Whistler consider variances to allow for taller lettering on two signs on the YIG site at 8200 Bear Paw Trail, as well as the addition of a third sign on the site. The proposed signage will be visually lightweight, attractive, and at a scale suitable for the building size and site conditions—including the relatively remote and highway-oriented nature of the location. The variances will contribute to the vitality and viability of Rainbow Plaza as a whole, and the addition of a third sign at the entrance to the grocery store will contribute to pedestrian wayfinding. Given that the Market Place IGA and Pizzeria Antico in Whistler Village have recently received comparable variances, the variances requested in this application would be reasonable and fair. Overall, considering the unique nature of the site, the requested variances would create an attractive, coherent frontage to the store, while closely meeting the intent of the Sign Bylaw.

If you have any questions about this application or the contents of this letter, please do not hesitate to contact me.

Sincerely,

Blaire Chisholm
Vice President
Brook Pooni Associates
t: 604.731.9051 x104
e: bchisholm@brookpooni.com



VARIANCE DUE TO SIGN SIZE
ITEMS A & C

VARIANCE DUE TO QUANTITY OF SIGNS
ITEM B

ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY

YIG • Whistler, BC



CLIENT: LOBLAW PROPERTIES LIMITED
 ADDRESS: 1 PRESIDENT'S CHOICE CIRCLE
 CITY: BRAMPTON, ONTARIO P.C.: L6Y 5S5
 TEL: (905) 459-2500 FAX: (905) 861-2343

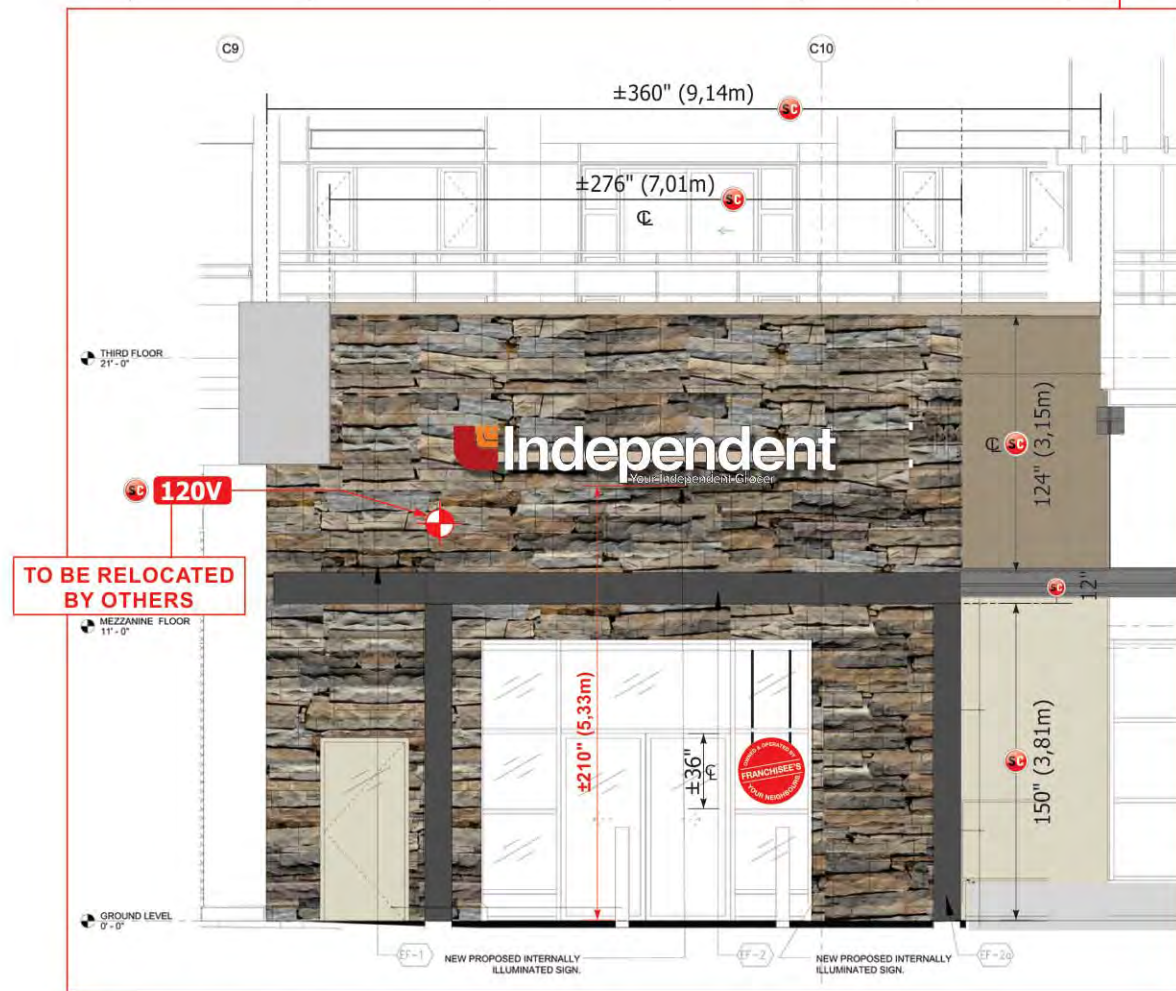
SITE: YIG • Whistler, BC
 ADDRESS: BEAR PAW TRAIL AND CRAZY CANUCK DRIVE
 CITY: WHISTLER, BC P.C.:
 TEL: FAX:

DRAWING:
 DATE: REV. DATE:
 SCALE: DRAWN BY:
 DIR: WIP2015\Loblaws_Brands\YIG\Whistler\CDR\Signage

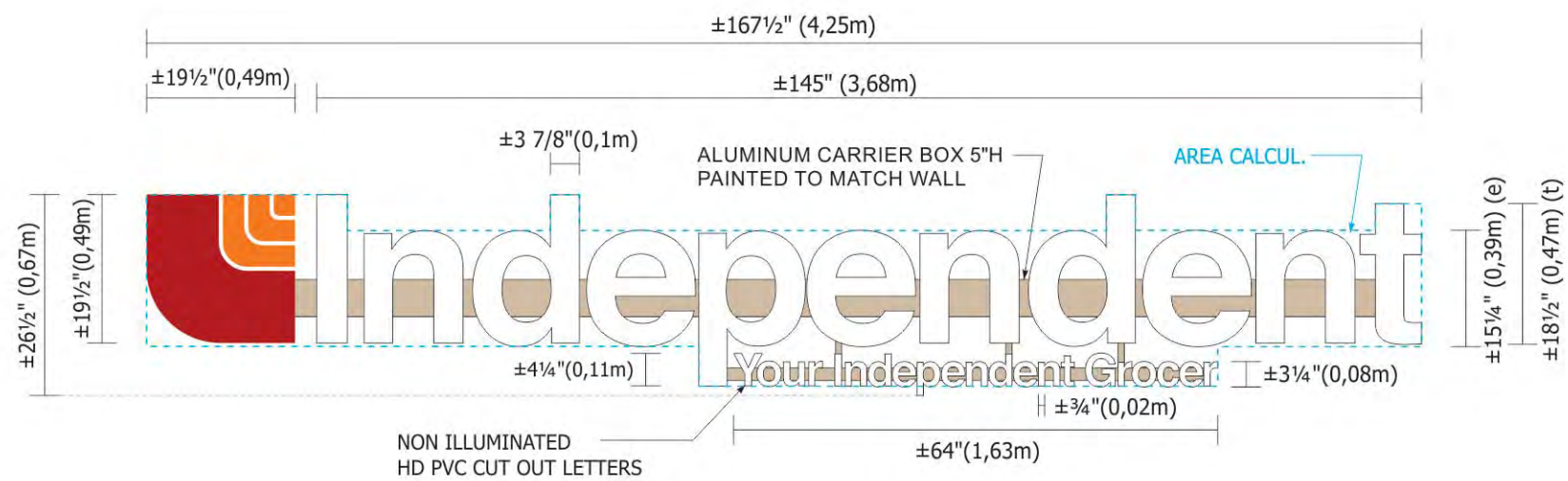
1-800
906
NEON



PROPOSED SOUTH ELEVATION
NOT TO SCALE



PARTIAL SOUTH ELEVATION
NOT TO SCALE



A NEW ILLUMINATED ALUMINUM CHANNEL LETTERS AND LOGO X1
Scale: 1/2" = 1'-0"

Area: **21.40 ft² / 1.99 m²**
Total Weight: **225 Lbs**

- Logo 3M 3630-44
- Logo 3M 3630-33

120 VOLTS

ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY



CLIENT: LOBLAW PROPERTIES LIMITED

ADDRESS: 1 PRESIDENT'S CHOICE CIRCLE
CITY: BRAMPTON, ONTARIO P.C.: L6Y 5S5
TEL: (905) 459-2500 FAX: (905) 861-2343

SITE: YIG • Whistler, BC

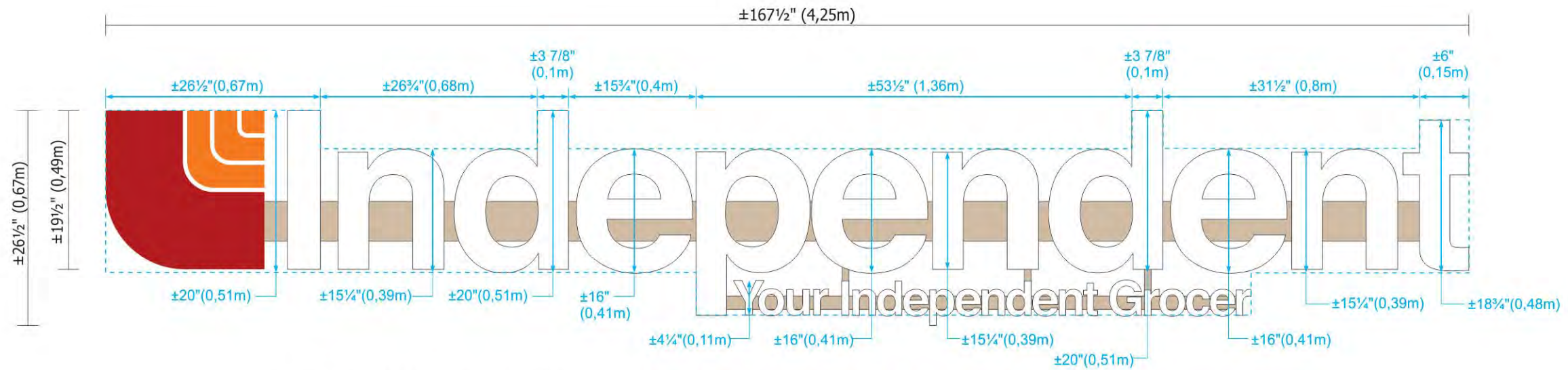
ADDRESS: BEAR PAW TRAIL AND CRAZY CANUCK DRIVE
CITY: WHISTLER, BC P.C.:
TEL: FAX:

DRAWING:

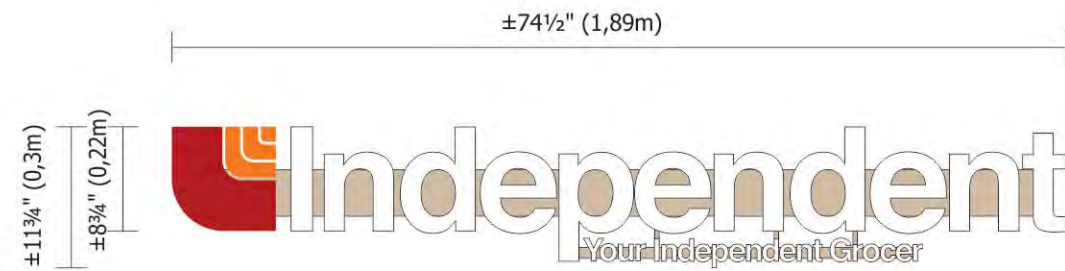
DATE: REV. DATE:
SCALE: DRAWN BY:
DIR: WIP2015\Loblaws_Brands\YIG\Whistler\CDR\Signage

YIG • Whistler, BC

1-800
906
NEON



A NEW ILLUMINATED ALUMINUM CHANNEL LETTERS AND LOGO Scale: 3/4" = 1'-0" **X1 SIGNAGE SIZE REQUESTED FOR VARIANCE**



A NEW ILLUMINATED ALUMINUM CHANNEL LETTERS AND LOGO Scale: 3/4" = 1'-0" **X1 PERMITTED SIGN SIZE AS PER BY-LAW**

ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY

YIG • Whistler, BC

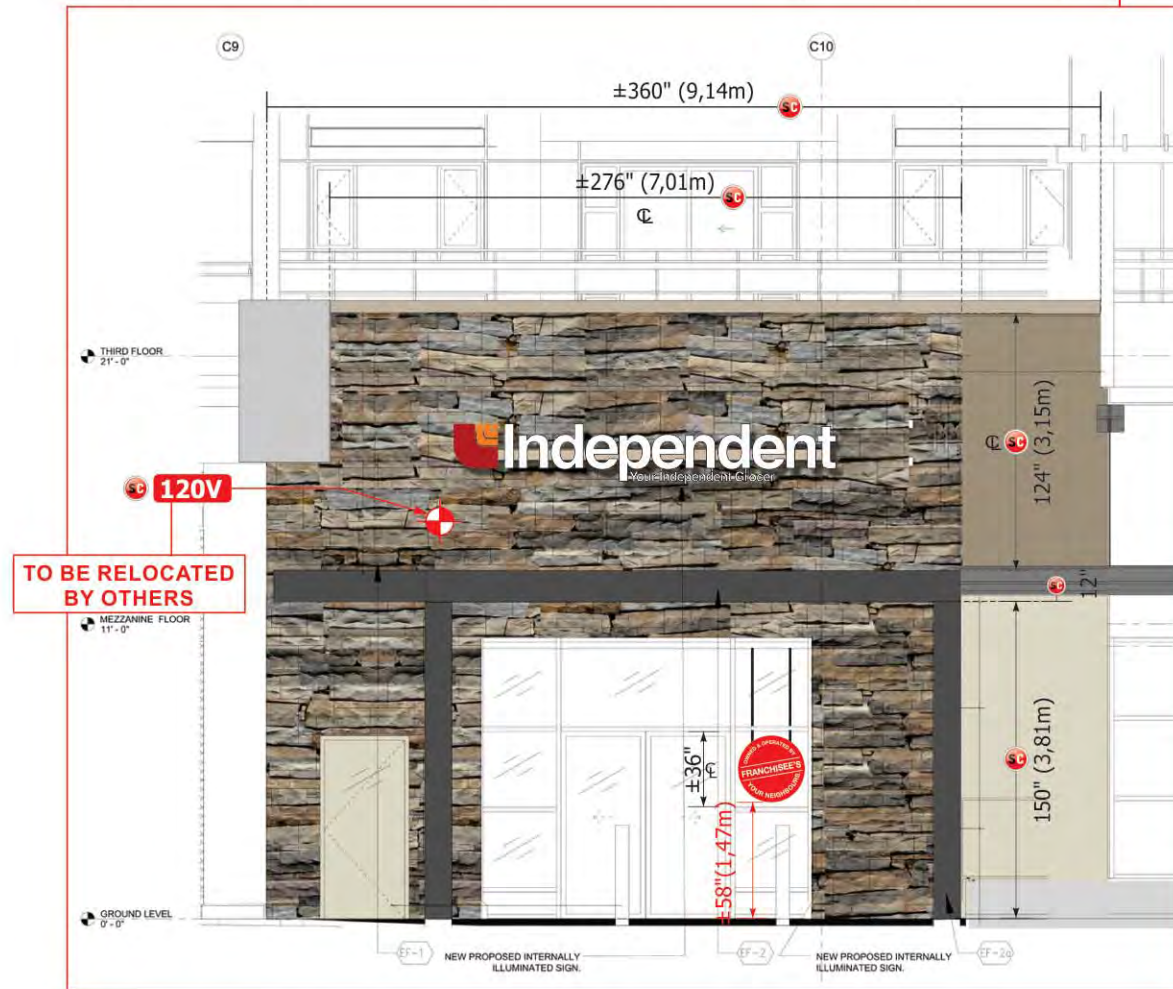


CLIENT: LOBLAW PROPERTIES LIMITED	SITE: YIG • Whistler, BC	DRAWING:
ADDRESS: 1 PRESIDENT'S CHOICE CIRCLE	ADDRESS: BEAR PAW TRAIL AND CRAZY CANUCK DRIVE	DATE: _____ REV. DATE: _____
CITY: BRAMPTON, ONTARIO P.C.: L6Y 5S5	CITY: WHISTLER, BC P.C.: _____	SCALE: _____ DRAWN BY: _____
TEL: (905) 459-2500 FAX: (905) 861-2343	TEL: _____ FAX: _____	DIR: WIP2015\Loblaws_Brands\YIG\Whistler\CDR\Signage

1-800
906
NEON



PROPOSED SOUTH ELEVATION
NOT TO SCALE

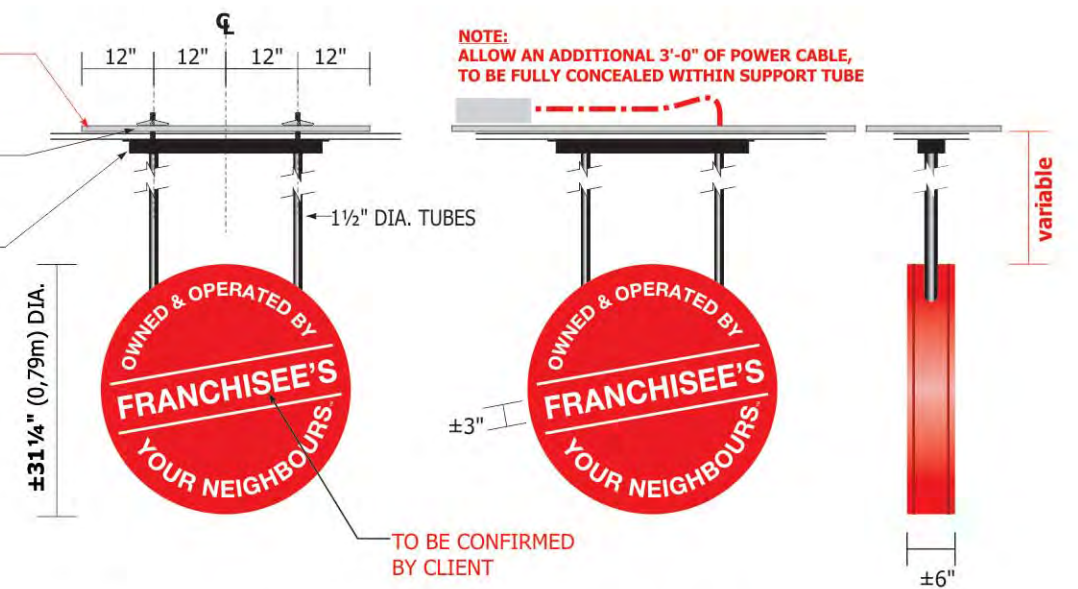


PARTIAL SOUTH ELEVATION
NOT TO SCALE

NOTE: G.C. TO PROVIDE MIN. 3/4" PLYWOOD BACKUP ABOVE GYP. BD. FIN. SECURED TO STEEL STUD FRAMING FOR SIGN BOX FIXING. (GC ENSURE PLYWOOD CAN SUPPORT ALL LOADS)

MIN. 6 3/16" DIA. TOGGLE BOLTS INTO 3/4" SECURED PLYWOOD

3" X 1 1/2" ALUM. CHANNEL C/W CAPPED ENDS & REMOVABLE BOTTOM ALUM. PLATE FOR FIXING & CONNECTION TO U/S WINDOW BULKHEAD



B NEW LED ILLUMINATED SUSPENDED D/F LOGO X1
SCALE: 3/8" = 1'-0"

PROVIDE TUBES, ANCHORS AND SUCTION CUPS.

Area: 5.32 ft² / 0,49 m²

Total Weight: 60 Lbs

3 AMPS 120 VOLTS

ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY



CLIENT: LOBLAW PROPERTIES LIMITED

ADDRESS: 1 PRESIDENT'S CHOICE CIRCLE
CITY: BRAMPTON, ONTARIO P.C.: L6Y 5S5
TEL: (905) 459-2500 FAX: (905) 861-2343

SITE: YIG • Whistler, BC

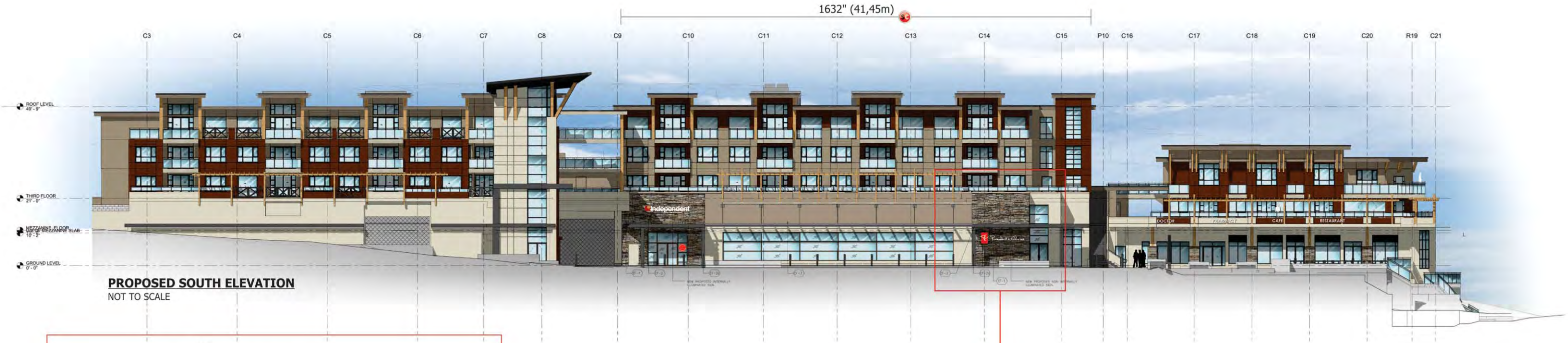
ADDRESS: BEAR PAW TRAIL AND CRAZY CANUCK DRIVE
CITY: WHISTLER, BC P.C.:
TEL: FAX:

DRAWING:

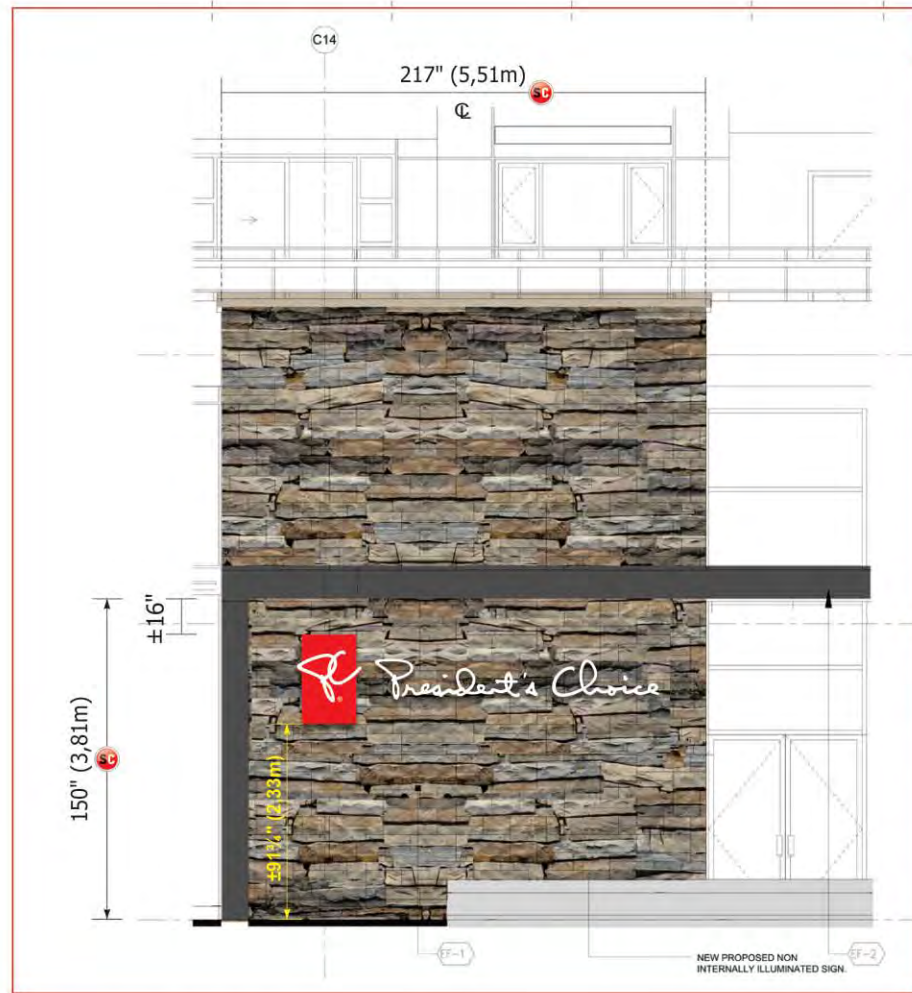
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SCALE: DRAWN BY:
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**1-800
906
NEON**

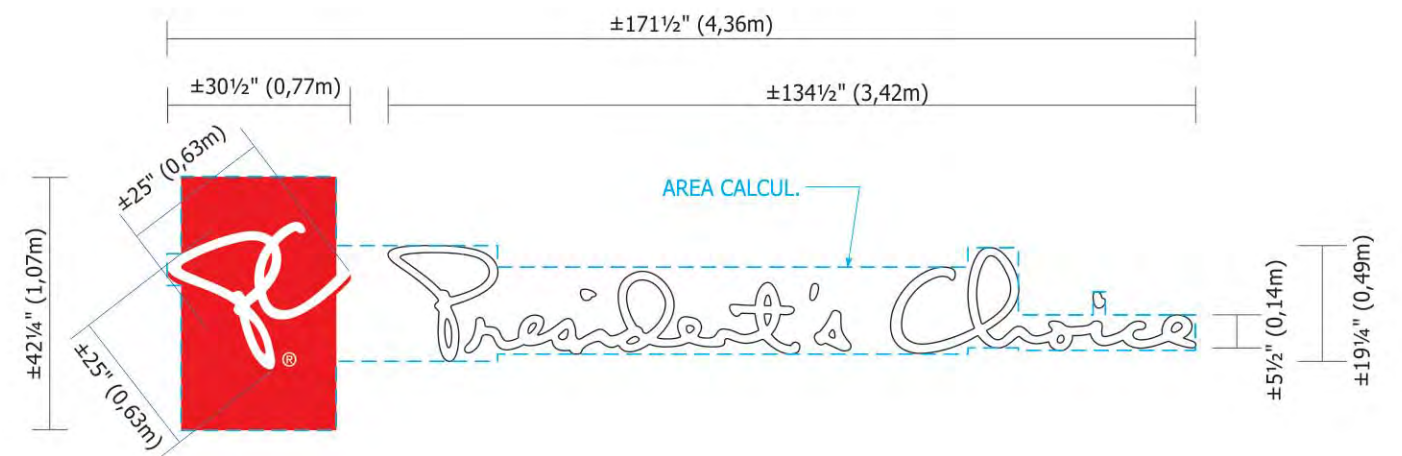
YIG • Whistler, BC



PROPOSED SOUTH ELEVATION
NOT TO SCALE



PARTIAL SOUTH ELEVATION
NOT TO SCALE



C NON-ILLUMINATED ALUMINUM REVERSE CHANNEL LETTERS AND LOGO X1
SCALE: 3/8" = 1'-0"

Area: 21.43 ft² or 1,99m²
Total Weight: 95 Lbs

ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY

YIG • Whistler, BC



CLIENT: LOBLAW PROPERTIES LIMITED

SITE: YIG • Whistler, BC

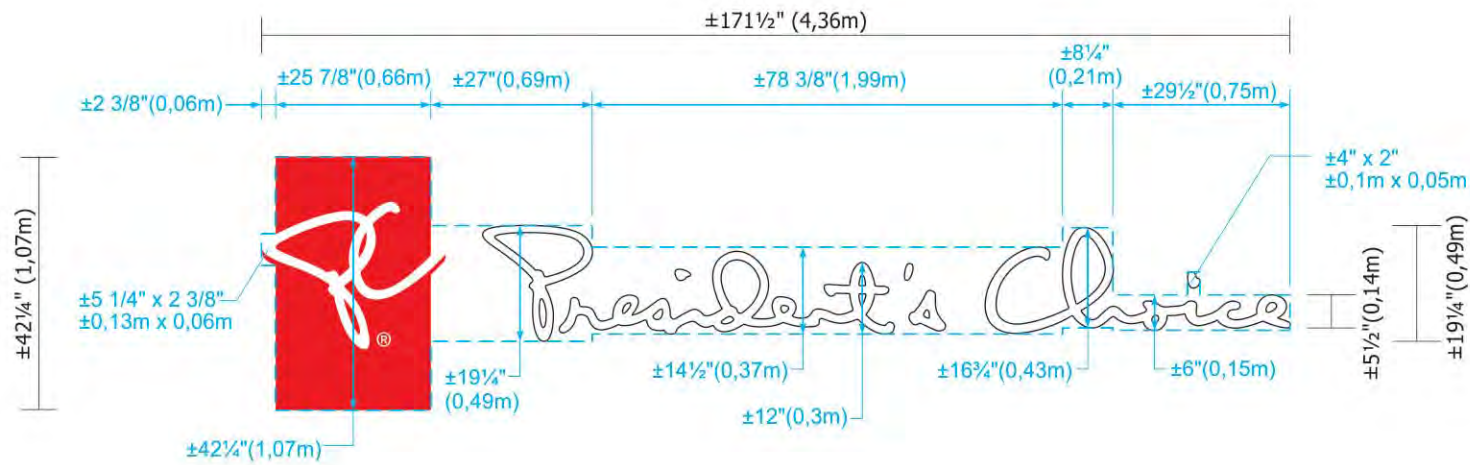
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CITY: BRAMPTON, ONTARIO P.C.: L6Y 5S5
TEL: (905) 459-2500 FAX: (905) 861-2343

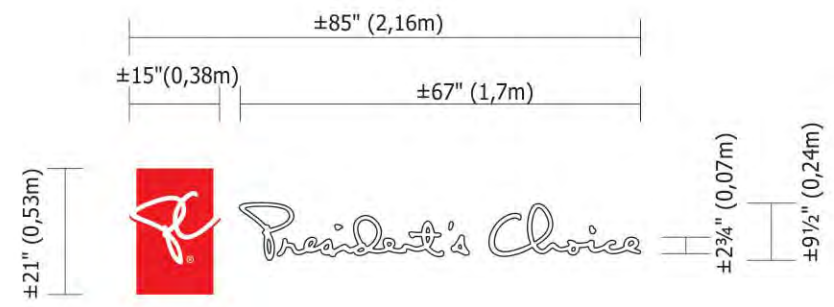
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CITY: WHISTLER, BC P.C.:
TEL: FAX:

DATE: REV. DATE:
SCALE: DRAWN BY:
DIR: WIP2015\Loblaws_Brands\YIG\Whistler\CDR\Signage

1-800
906
NEON



B **NON-ILLUMINATED ALUMINUM REVERSE CHANNEL LETTERS AND LOGO** X1 **SIGNAGE SIZE REQUESTED FOR VARIANCE**
 SCALE: 3/8" = 1'-0"



B **NON-ILLUMINATED ALUMINUM REVERSE CHANNEL LETTERS AND LOGO** X1 **PERMITTED SIGN SIZE AS PER BY-LAW**
 SCALE: 3/8" = 1'-0"

ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY

YIG • Whistler, BC

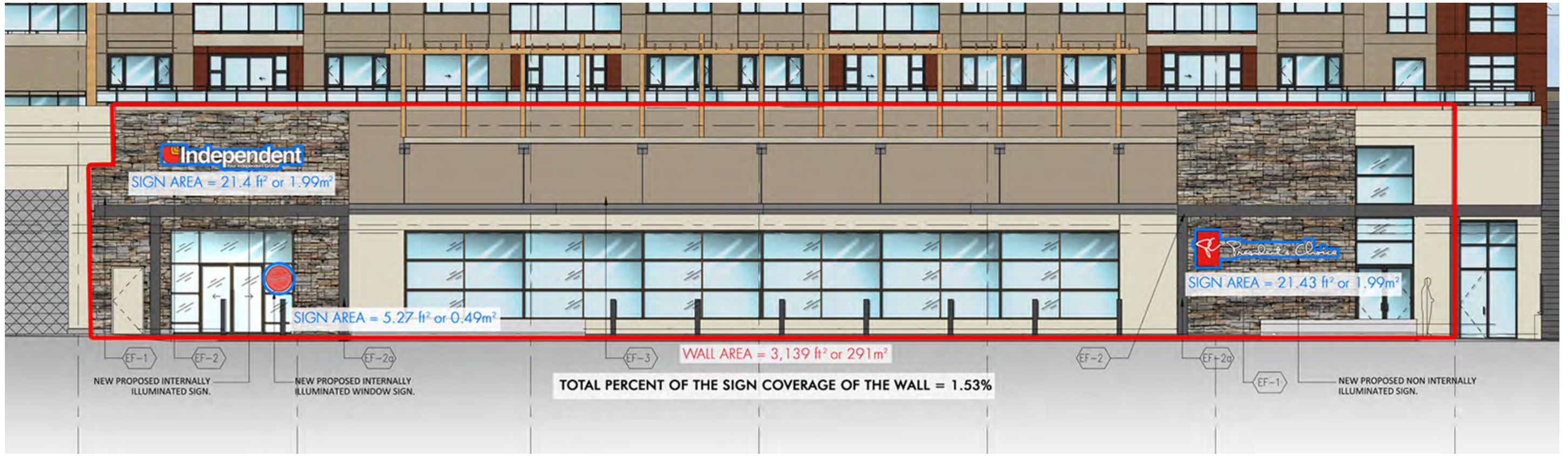


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ADDRESS: 1 PRESIDENT'S CHOICE CIRCLE
CITY: BRAMPTON, ONTARIO P.C.: L6Y 5S5
TEL: (905) 459-2500 **FAX:** (905) 861-2343

SITE: YIG • Whistler, BC
ADDRESS: BEAR PAW TRAIL AND CRAZY CANUCK DRIVE
CITY: WHISTLER, BC P.C.:
TEL: **FAX:**

DRAWING:
DATE: **REV. DATE:**
SCALE: **DRAWN BY:**
DIR: WIP2015\Loblaws_Brands\YIG\Whistler\CDR\Signage

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 906
 NEON



ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY

YIG • Whistler, BC

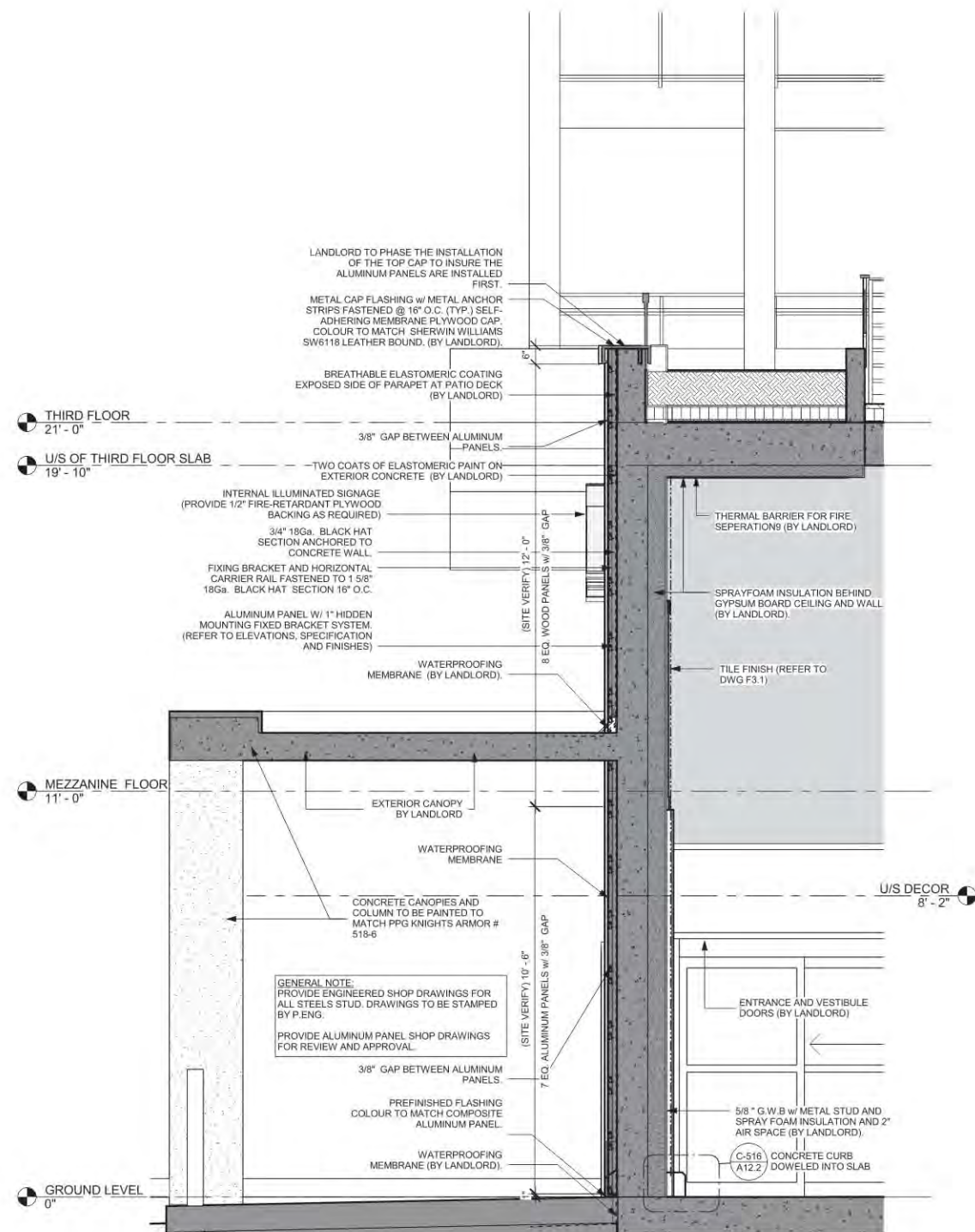


CLIENT: **LOBLAW PROPERTIES LIMITED**
 ADDRESS: 1 PRESIDENT'S CHOICE CIRCLE
 CITY: BRAMPTON, ONTARIO P.C.: L6Y 5S5
 TEL: (905) 459-2500 FAX: (905) 861-2343

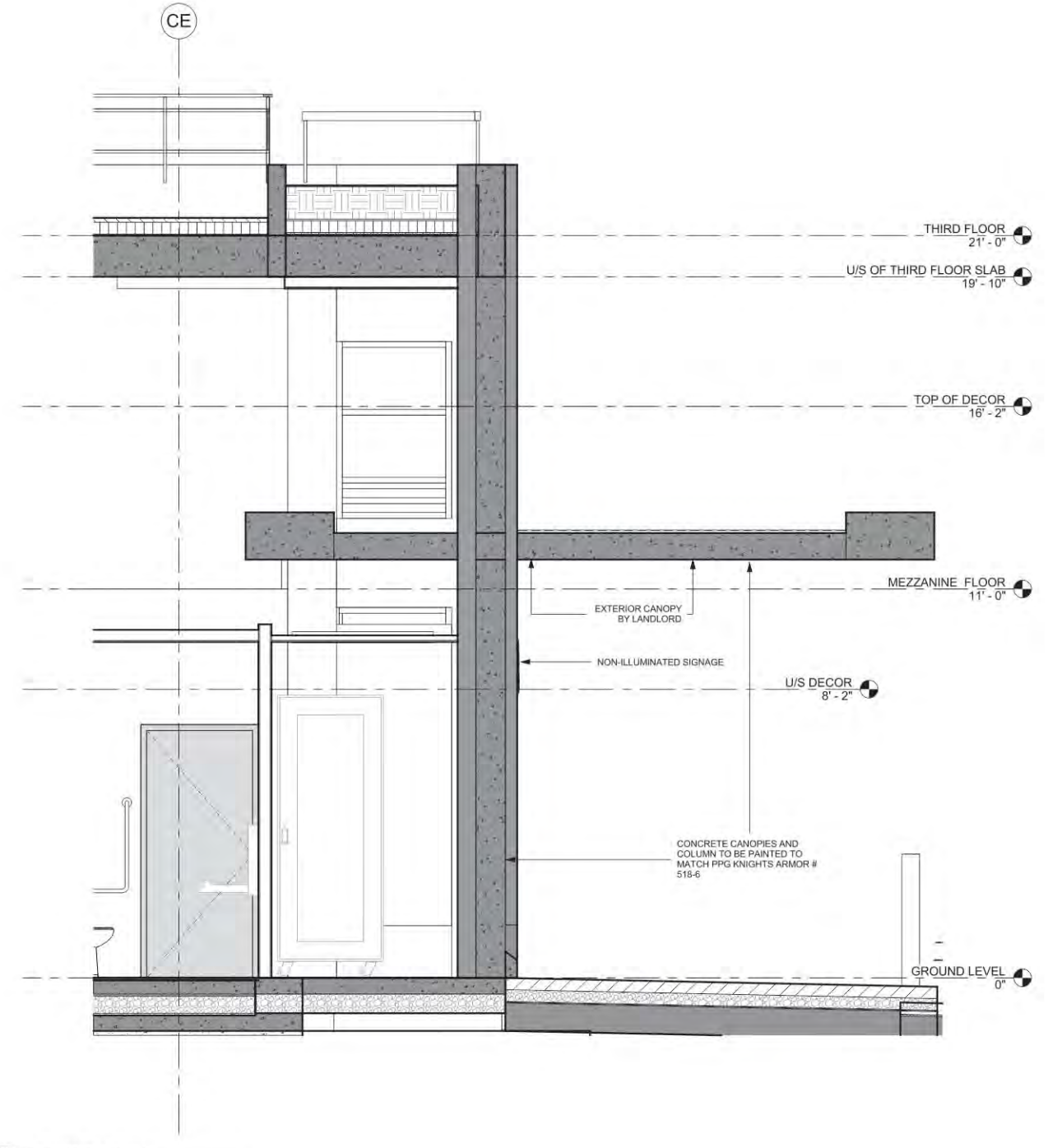
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 ADDRESS: BEAR PAW TRAIL AND CRAZY CANUCK DRIVE
 CITY: WHISTLER, BC P.C.:
 TEL: FAX:

DRAWING:
 DATE: REV. DATE:
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 DIR: WIP2015\Loblaws_Brands\YIG\Whistler\CDR\Signage

1-800
906
NEON



1 SECTION THROUGH PRODEMA PANEL
A5.1 1/2" = 1'-0"



2 SECTION THROUGH....
A5.1 1/2" = 1'-0"

DRAWINGS RECEIVED FROM CLIENT

ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY

YIG • Whistler, BC

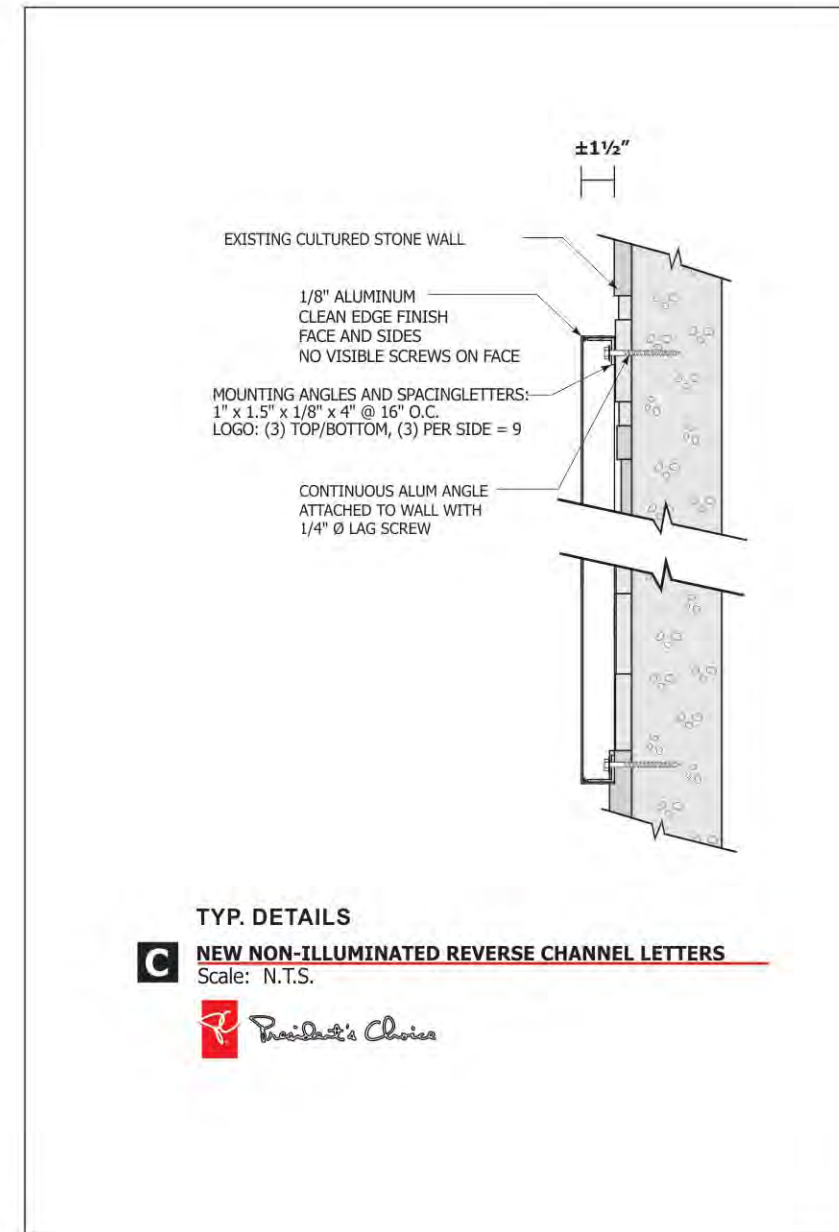
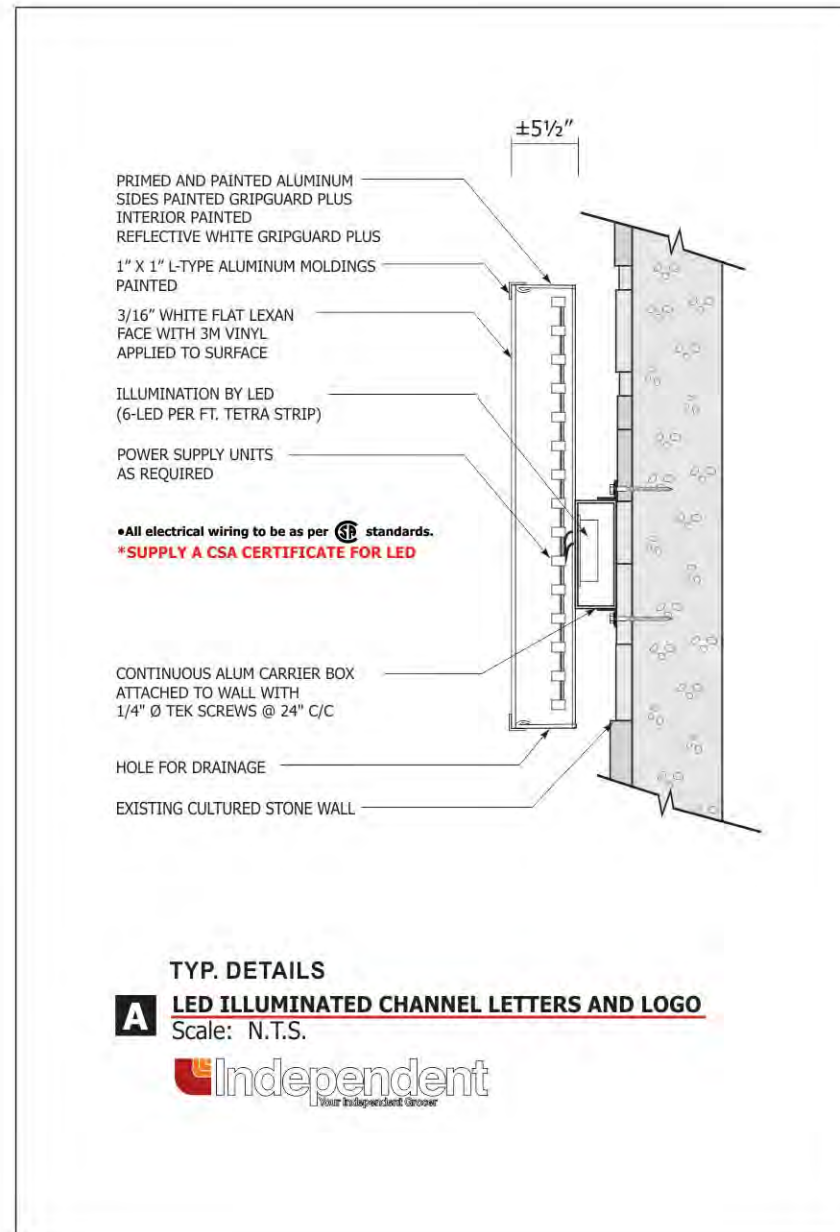


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DATE: **REV. DATE:**
SCALE: **DRAWN BY:**
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1-800
 906
 NEON

Rainbow Canuck Properties Ltd.
Suite 250, 5920 - 1A Street S.W. | Calgary, Alberta | T2H 0G3

February 2, 2017

Ms. Brook McCrady
Planning Analyst
Resort Municipality of Whistler
4325 Blackcomb Way
Whistler, B.C. V0N 1B4

Via email: planning@whistler.ca

Re: Rainbow Plaza- Development Variance Permit Application No. DVP1127

Dear Ms. McCrady:

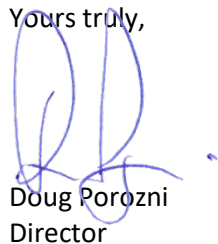
We are the owner of the residential / commercial property at 8200 Bear Paw Trail and would like to provide comments on the proposed variance for the Independent grocer within the building.

We whole-heartedly support the variance for a number of reasons including the following:

- Visual height of the building and its setback from Crazy Canuck is excessive and the signage is mostly invisible
- The parking pool in front of the store and steep grade above Crazy Canuck Drive visually sets the building further back from the street. The large canopy area also impairs visual impact to the parking and the street.
- The small scale of the proposed sign relative to the building mass upon which it is applied also significantly reduces any impact to the street or residential area above and behind.

For these reasons, we support approval of the variance as proposed by the applicant. Please let me know if you have any questions.

Yours truly,



Doug Porozni
Director



REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: February 21, 2017 **REPORT:** 17- 010
FROM: Resort Planning **FILE:** DP1543
SUBJECT: DP 1543 – 8080 NESTERS ROAD – INDUSTRIAL DEVELOPMENT

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Resort Experience be endorsed.

RECOMMENDATION

That Council approve the issuance of Development Permit DP 1543 for the proposed industrial development at 8080 Nesters Road (Lot B) as per the architectural plans A1.1, A2.1, and A3.1, and the site and landscape plans L0.1, L0.2, L1.1, L1.1S, L1.2, L1.3, L2.1, L2.2, L2.3, L3.1 and L4.1 prepared by Crosland Doak Design, revision dated Feb. 7, 2017, attached as Appendix B to Administrative Report to Council No. 17- 010, subject to the resolution of the detailed items specified in the letter attached as Appendix E to Administrative Report to Council No.17- 010 to the satisfaction of the General Manager of Resort Experience.

REFERENCES

- Location:** 8080 Nesters Road
- Legal Description:** Lot B District Lot 1757 NWD Plan EPP54641
- Owner:** Nesters Crossing
- Current Zoning:** CT11 (Community and Transportation Infrastructure One)
- Appendices:**
 - 'A' Location Map
 - 'B' Architectural and Landscape Plans
 - 'C' Advisory Design Panel Draft Minutes January 18, 2017
 - 'D' Applicant's letter Green Build Policy
 - 'E' Letter to Applicant

PURPOSE OF REPORT

This report seeks Council's approval of the issuance of Development Permit DP 1543, an application for a storage and works yard development intended to serve local businesses at 8080 Nesters Road.

The proposed development is subject to development permit guidelines for the form and character of development, protection of development from hazardous conditions and protection of the natural environment. The development permit is subject to Council approval as the proposal involves the development of a building greater than 20 square metres in floor area.

DISCUSSION

Background

8080 Nesters Road is located in the new Nesters Crossing industrial area north of Whistler Village (see Appendix A). The property is accessed by an extension to Nesters Road and a new valley trail.

The property is a flat brownfield site that previously contained storage uses and is currently cleared of vegetation except for a 10 metre wide area of native vegetation along the north property line adjacent to the railway tracks which is a covenanted tree buffer area to screen the industrial development from the golf course on the north side of the railway tracks.

Proposed Development

This development permit application is for the development of an outdoor storage and works yard, oversized vehicle storage area, a 2-storey building and an extensive landscape planting plan with over 160 new trees and 475 shrubs. The majority of the site will be for outdoor storage space for local businesses with capacity for up to 309 shipping containers as storage units.

The proposed development is shown in the architectural and landscape plans provided in Appendix B. The following describes the proposed development.

Site Planning

The parcel is located in the northeast corner of the Nesters Crossing industrial subdivision with road access from the Nesters Road extension into this subdivision and is separated from Highway 99 by a 20 metres wide dedicated parcel for the Valley Trail and landscaped highway buffer.

The site is constrained by a 43 metre wide hydro right of way at the front of the property parallel to Nesters Road, and a 10 metre wide covenanted treed buffer area at the rear of the property which runs parallel to the CN rail right of way.

To minimize the visual impact of the works yard and storage containers from Highway 99, Nesters Road and the Valley Trail, extensive landscaping is proposed in all setback areas around the parcel perimeter. The shipping containers are also arranged in a ring around the perimeter of the yard area, and will have a muted paint scheme and treed graphics to further minimize visual impacts.

The 2-storey office and caretaker building is set back from Nesters Road on account of the hydro right of way located over the front portion of the property parallel to the road. A walkway delineated by painted lines on the asphalt will provide access from Nesters Road to the building.

Garbage and recycling will be contained in two separate wildlife proof shipping containers.

The drive isles and parking areas are paved in order to improve circulation and eliminate dust migrating off site. Over 53% of the site is proposed to be permeable surfaces and landscaping. Some of the permeable surface areas are proposed to serve as both infiltration chambers to assist with groundwater recharge and outdoor storage areas for industrial tenants. This proposed design will require certification from the applicant's engineering and environmental consultants and is a condition of development permit issuance.

The light standard detail will match the character of the development, and the provision of a final lighting plan meeting zoning bylaw requirements is a condition of development permit issuance.

The applicant has written permission from BC Hydro to locate shipping containers, vehicle parking storage areas and trees in the hydro right of way.

Building Design

The proposed two storey building is 7 metres in height and approximately 6.1 metres in width and 14.7 metres in length. The proposed gross floor area for the building is 138 square metres; approximately 63 square metres for auxiliary office use on the lower storey and 75 square metres for an auxiliary dwelling unit on the upper storey. The buildings' western elevation with a series of windows facing into the center of the property provides security viewing of the outdoor storage areas and shipping containers by both office and caretaker users.

Articulation of the building facades is achieved with door and window frame mullions, balcony railings, alternating fascia treatment between the concrete panels and the second storey cedar siding and soffits, and the fold over metal panel roof feature. The proposed building's color scheme with the steely blue panels and the brown cedar panelling and metal roof, and the proposed shipping container's color scheme with the brownish/green base color and environmental graphic stencils, are considered suitable for the industrial location and were selected to blend into the surrounding environment and minimize the visual impact from the Highway 99 corridor.

Parking and Loading

The required parking for the proposal is 18 parking spaces and a total of 21 parking spaces are proposed in three paved parking areas. 1 loading space is required and 1 is proposed. The parking areas will be screened by various landscaped buffers which include a mixture of coniferous and deciduous trees and shrubs.

Landscape

The landscape plan is an important aspect of the overall design of this project. The extensive new planting at the front of the property adjacent to Nesters Road, within the side yard setbacks and the internal planting islands are key for providing screening of the industrial storage operation. The tree buffer area adjacent to the rail right of way retains existing mature trees and vegetation and provides a buffer to the golf course and Cypress Place. The property is also located adjacent to the 20 metre wide dedicated Valley Trail area which will contain additional trees as part of the Nesters Crossing subdivision plan and provide additional screening.

The registered design covenant guidelines for on-site landscaping recommends chain link fencing adjacent to a public road should be screened with vegetation. The proposed drawings show the chain link fencing on the property line in front of hedging planted on-site. This minor detail related to adequate screening of the chain link fence adjacent to the street. In addition trees considered to be susceptible to damage in proposed snow storage areas are requested to be relocated to continue to meet screening objectives. These details are to be finalized as a condition of development permit issuance.

Signage

The proposed signage concept with a single business sign and the civic address as part of the gabion wall at the entrance is supported as it is complimentary to the development and low visibility. This sign will require a separate Sign Permit in compliance with the Sign Bylaw.

Advisory Design Panel Review

The proposal was presented to the municipal Advisory Design Panel on January 18, 2017.

The Panel supported the project as presented with some comments respecting the building and shipping container colours, clarity of arrival to the building, lighting details and drainage details and encouraged the applicant to work with staff on these items. The applicant revised and clarified the color scheme of the building and shipping containers as suggested to blend with the surroundings and identified a walkway from the street to the building entrance. Final lighting and drainage details are identified as conditions of development permit issuance.

The draft minutes of the January ADP meeting are attached as Appendix C for reference.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Built Environment	The built environment is attractive and vibrant, reflecting the resort community's mountain character.	The development is considered a well-integrated new industrial building and outdoor storage area for the Nesters Crossing industrial area, with some minor lighting, fence screening and servicing integration details to be addressed prior to DP issuance.
Economic	Locally owned and operated business thrive and are encourage as an essential component of a healthy business mix	The development provides additional outdoor and container storage space for various local businesses and residents of the RMOW that support the operations of the resort municipality.
Energy	The energy system is continuously moving towards a state whereby a build-up of emissions and waste into air, land and water is eliminated.	The development proposes to incorporate the goals and objectives of Whistler's Green Building Policy. Proposed building materials are consider durable to withstand Whistler's harsh climate.

W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
Energy	The energy system is continuously moving towards a state whereby a build-up of emissions and waste into air, land and water is eliminated.	Energy is required to manufacture the necessary building materials and construct the project. This energy requirement will be partially offset by the measures undertaken to meet Green Building Policy objectives and the reuse of the modified shipping containers.

OTHER POLICY CONSIDERATIONS

Zoning Analysis

The property is zoned CT11 (Community and Transportation Infrastructure One). The proposed development is consistent with the CT11 zone and all other applicable regulations of Zoning and Parking Bylaw No. 303, 2015.

At time of installation of each shipping container the venting and electrical requirements will need to comply with zoning regulations and be installed to the satisfaction of the RMOW Fire Department. This requirement will be noted as a condition of the development permit.

OCP Development Permit Guidelines

The property is subject to the Mons Industrial Lands development permit area (DPA No. 25) guidelines for the protection of development from hazardous conditions, protection of the natural environment and form and character guidelines for industrial development.

Guidelines	Comments
Building design, siting, parking and loading areas must be designated and coordinated to maximize solar penetration with the intent to conserve electrical consumption.	Large windows and doors are proposed for solar access into the building for the south elevation for both the office and dwelling unit. Deck areas for staff and caretaker residence

	are located on both floors with southern exposure for solar access.
All landscaping and screening elements must be able to withstand Whistler's harsh climate conditions and coordinated with adjacent landscaping. A ten metre minimum buffer shall be maintained within the site that parallels the CN rail right of way.	The proposed landscaping meets this guideline. The ten metre tree buffer is retained and protected by an existing concrete no post and chain link fence barrier. This area contains the only existing natural vegetation on the property.
Areas of existing natural vegetation shall be retained and where necessary to separate land uses and provide a visual screen of development.	The lot will have a minimum 10% landscaped area in addition to the tree buffer area to separate land uses and provide a visual screen from the valley trail and Nesters Road and Highway 99 beyond.
The amount of excavation and grading "cut and fill" shall be minimized.	The site is flat and the amount of excavation and grading "cut and fill" is minimized.
All buildings to be developed shall use an accepted checklist by the municipality to ensure measures are provided for energy and water conservation during the building's usage.	The applicant has provided a green building project checklist, attached as Appendix D which responds to each of the green building objectives outlined in Section 2.0 of Council Green Building Policy G-23.
When a development is completed, landscaping shall be provided to mitigate or improve the damage caused by the removal of any pre-development vegetation on the site.	The proposed development occurs on a brownfield site and no pre-development vegetation is proposed to be removed.
Development of the site must take into consideration potential flood hazards that the site is subject to.	The proposal is designed to meet the registered flood plain covenant which directs minimum building elevations, site grading and required floodways through the sites.
All property development must provide for measures to mitigate any negative infiltration to the local aquifer system.	The property is located adjacent to a local aquifer area. Provision of engineering and environmental certifications for the preliminary aquifer protection methods proposed for the permeable storage areas are required prior to issuance of the development permit.

The property is also subject to form and character design guidelines contained within a covenant registered on title of the property and the proposed development is considered to be consistent with these guidelines, with minor details related to adequate screening of the chain link fence adjacent to the street and integration of site services into the landscape to be finalized as a condition of development permit issuance.

Snow Shed Policy

Council Snow Shed Policy G-16 requires any building subject to a development permit be required to undergo a snow shed analysis, prepared by a certified engineer, and used solely for the benefit of the building design team. A snow shed analysis was submitted for the office/caretaker building.

A snow shed analysis has not been submitted for the shipping containers as they are not occupied structures. It is the responsibility of the property owner and container users to provide adequate clearance of snow from the containers to prevent the collapse of the containers from snow loads.

Green Building Policy

The applicant has provided a green building project checklist, attached as Appendix D, which responds to each of the green building objectives outlined in Section 2.0 of Council Green Building Policy G-23.

Legal Encumbrances

The proposal has been designed to meet the registered flood plain covenant which directs minimum building elevations, site grading and the location of required floodways through the overall subdivision. The covenant containing the additional design guidelines is addressed in the section above.

BUDGET CONSIDERATIONS

Development Permit application fees provide for recovery of costs associated with this application. Building Permit fees will be charged at the time of Building Permit application.

COMMUNITY ENGAGEMENT AND CONSULTATION

An information sign has been posted on the property per Development Permit application requirements. Staff have received no correspondence to date.

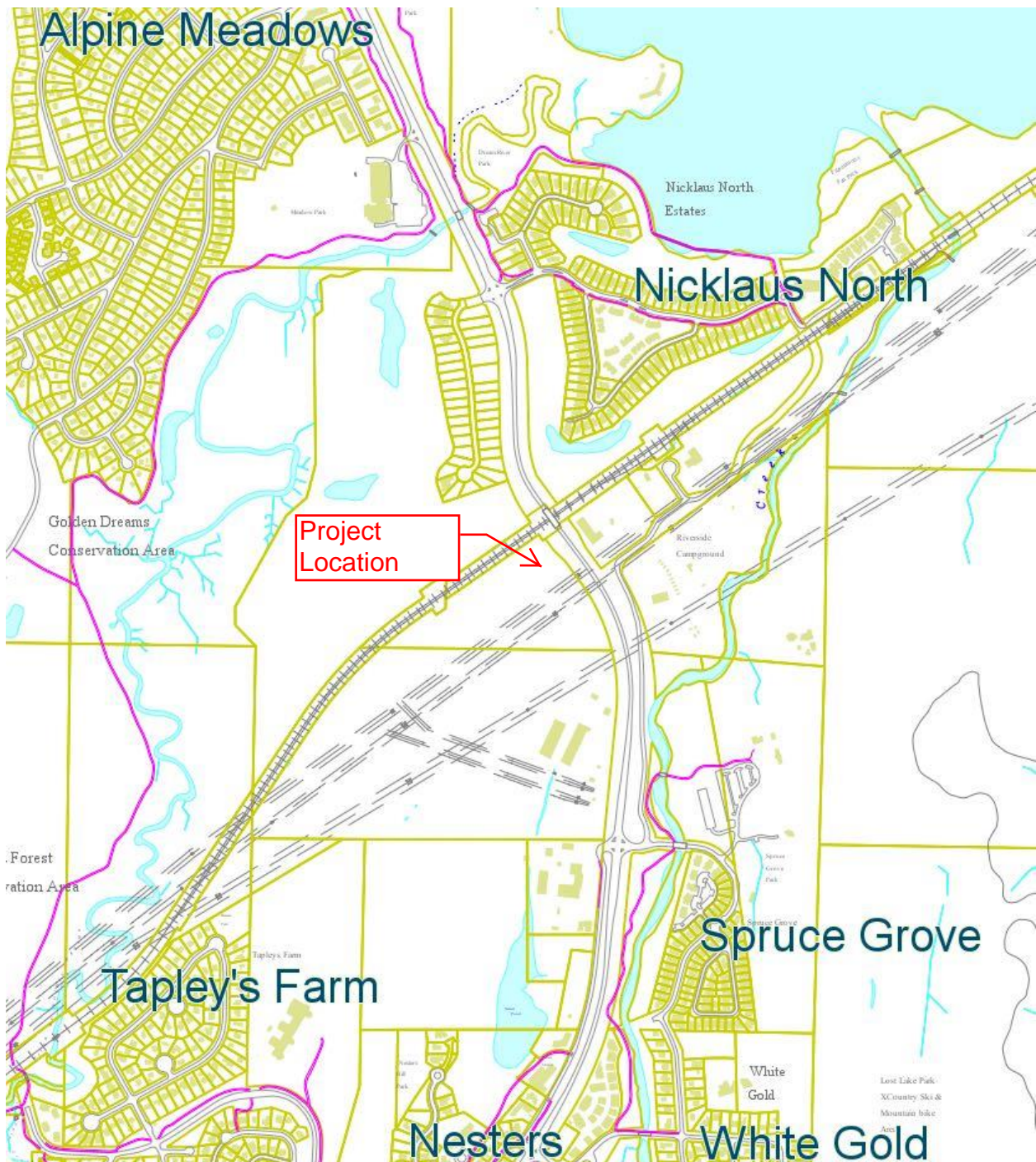
SUMMARY

This report seeks Council's approval of the issuance of Development Permit DP 1543, an application for industrial development at 8080 Nesters Road.

Respectfully submitted,
Robert Brennan, MCIP
PLANNER
for
Jan Jansen
GENERAL MANAGER of RESORT EXPERIENCE

LOCATION MAP

8080 Nesters Road – Nesters Crossing Industrial Subdivision





Drawing List

No.	Description
LANDSCAPE ARCHITECTURAL	
L0.1	TITLE & CONTEXT
L0.2	SITE PHOTOS
L1.1	SITE PLAN
L1.2	HARD LANDSCAPE PLAN
L1.3	GRADING PLAN
L2.1	PLANTING PLAN- SOUTH
L2.2	PLANTING PLAN- NORTH
L2.3	LANDSCAPE DETAILS & NOTES
L3.1	SITE SECTIONS
L4.1	PROJECT IMAGERY
ARCHITECTURAL	
A1.1	FLOOR PLANS
A2.1	ELEVATIONS
A3.1	SECTIONS
A4.1	MODEL IMAGES

CROSLAND DOAK
DESIGN
 Landscape
 Architecture +
 Building Design

3121 Alta Vista Road
 Whistler, BC V8N 1B3
 604-956-8309
 info@CroslandDoakDesign.com
 CroslandDoakDesign.com

COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AT ALL TIMES THE PROPERTY OF THE DESIGNER TO BE USED FOR THE PROJECT AS INDICATED. WRITTEN CONSENT IS REQUIRED FROM THE DESIGNER PRIOR TO ANY REPRODUCTION OF THESE DOCUMENTS.

2017.03.07	DPA- Revision #1
2016.11.13	Day Permit Application
Date	Issued For

Mons Holdings Ltd
 client
Nester's Crossing
Lot-B
 8080 Nesters Road
 Whistler, BC
 project title

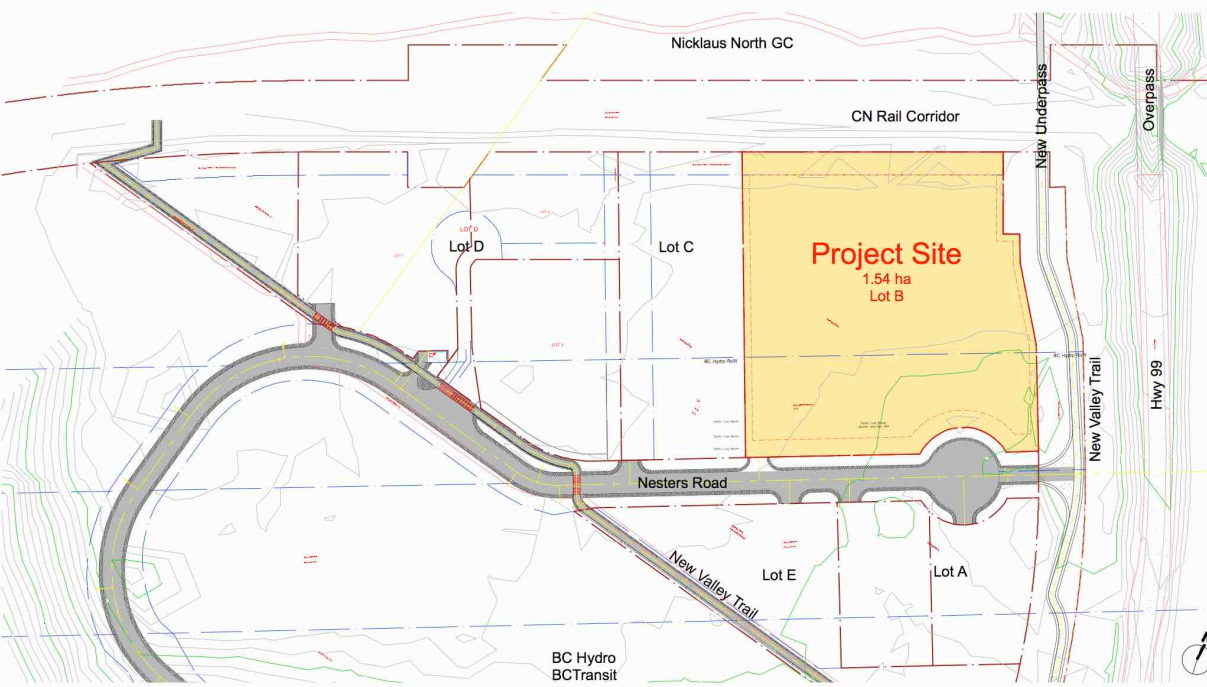
Title Sheet
& Location Plans
 drawing title

scale: as noted

project no. 1601

L0.1
 drawing no.

Title Sheet & Location Plans



Project Information: Nesters Crossing- Lot B
8080 Nesters Rd. Whistler, BC

Legal Address: Lot B, DL 1757, NWD, EPP54641
 Current Zoning: CT1+ (Community and Transportation Infrastructure One)

Site Area:	15,381 m ²	1.54 Ha
Proposed Use:	Permitted Storage & Works Yards w/ Office & Carstaker	Provided
Max GFA:	6,410 m ²	138 m ²
Building Height:	12.0 m	7.0m
Setback Front:	7.5 m	5.6 m
Setback Rear:	3.0 m	10.0 m
Setback Sides:	3.0 m	3.0 m
Site Coverage (40%):	6,152.4 m ²	63 m ²
GFA:	Area sq.ft.	Area m ²
Office:	677 sq.ft.	63 m ²
L3 - Business and Personal Servio:	807 sq.ft.	75 m ²
Total GFA	1,484 sq.ft.	138 m²

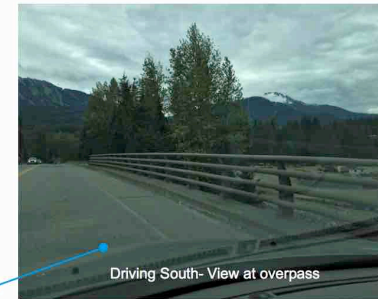
Parking Spaces	Area in m ²	Required Parking (bylaw SECT. 6)	Parking Provided
Mini (Storage) (1 spaces/ 300m ²)	4,593	15 spaces	17 spaces
Office (3 space/ 100 m ²)	64	2 spaces	3 spaces
Carstaker/ Aux Res (1 spaces/ unit)	75	1 spaces	1 spaces
Total Parking		16 spaces	21 spaces



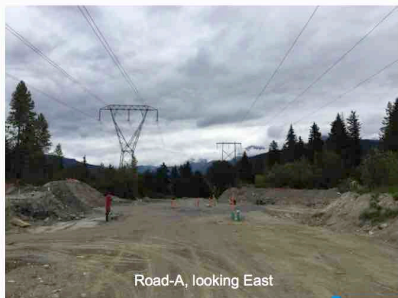
CN Rail Buffer



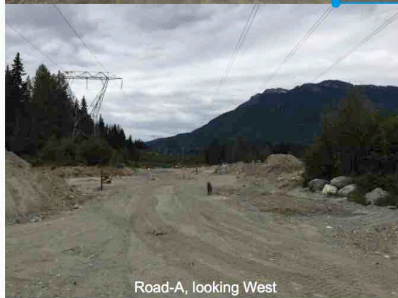
New Valley Trail & Rail Underpass



Driving South- View at overpass



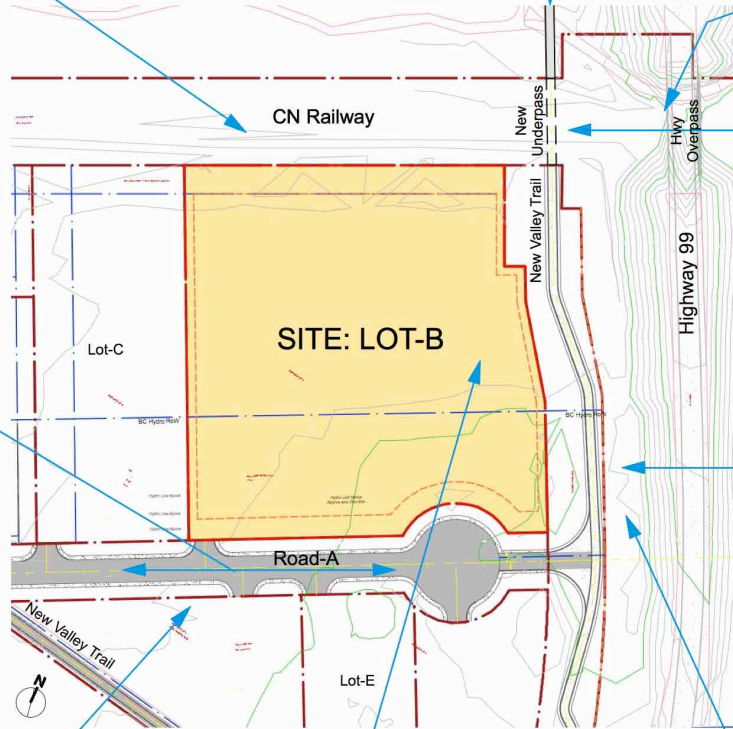
Road-A, looking East



Road-A, looking West



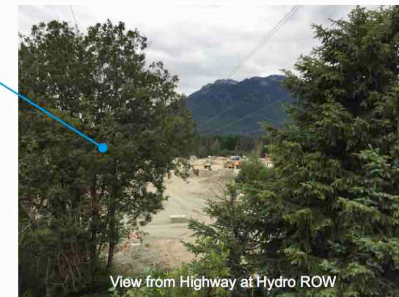
Existing Drainage & Vegetation



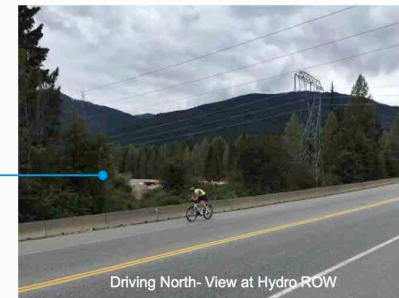
Mid-Site looking North



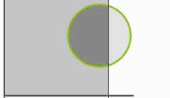
View from overpass



View from Highway at Hydro ROW



Driving North- View at Hydro ROW



**CROSLAND DOAK
DESIGN**
Landscape
Architecture +
Building Design



3121 Alta Vista Road
Whistler, BC V0N 1B3
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2017.02.07	DPN- Revision #1
2016.11.13	Dev. Permit Application
Date	Issued For

Mons Holdings Ltd

client
**Nester's Crossing
Lot-B**
8080 Nesters Road
Whistler, BC

project title

Site Photos

drawing title

scale: As Noted

project no. 1601

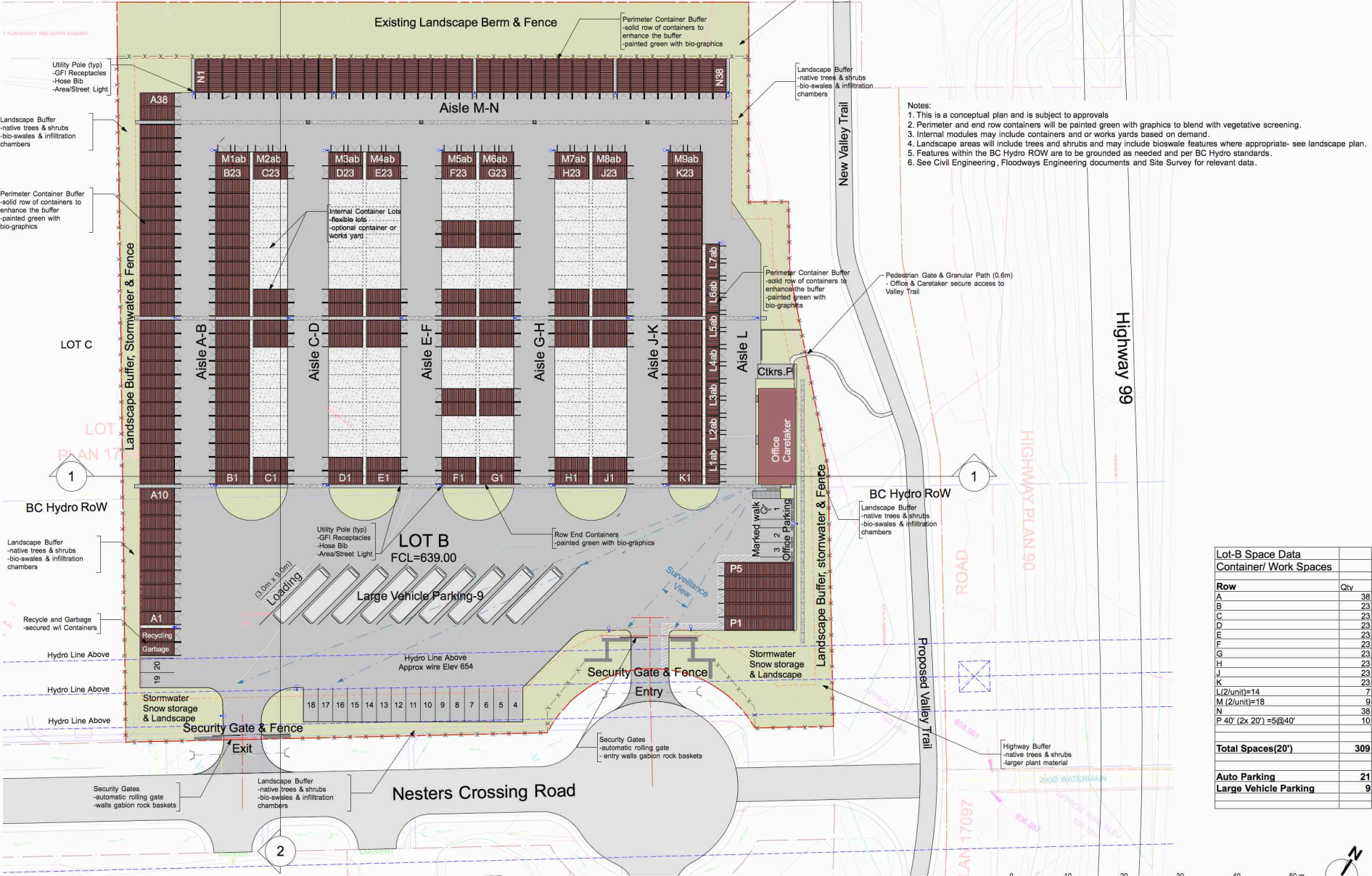
L0.2
drawing no.

Site Photos

CN Rail Corridor

R/W REFERENCE PLAN 1022

2



- Notes:
1. This is a conceptual plan and is subject to approvals
 2. Perimeter and end row containers will be painted green with graphics to blend with vegetative screening.
 3. Internal modules may include containers and or works yards based on demand.
 4. Landscape areas will include trees and shrubs and may include bioswale features where appropriate- see landscape plan.
 5. Features within the BC Hydro ROW are to be grounded as needed and per BC Hydro standards.
 6. See Civil Engineering, Floodways Engineering documents and Site Survey for relevant data.

Lot-B Space Data

Container/ Work Spaces	Qty
A	38
B	23
C	23
D	23
E	23
F	23
G	23
H	23
J	23
K	23
L(2/unit)=14	7
M(2/unit)=18	9
N	38
P 40' (2x 20')=5@40'	10
Total Spaces(20')	309
Auto Parking	21
Large Vehicle Parking	9

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2016.11.13 Day Permit Application
Date Issued For

Mons Holdings Ltd

client
Nester's Crossing
Lot-B
8080 Nesters Road
Whistler, BC

Site Plan

drawing title

scale: 1:300

project no. 1601

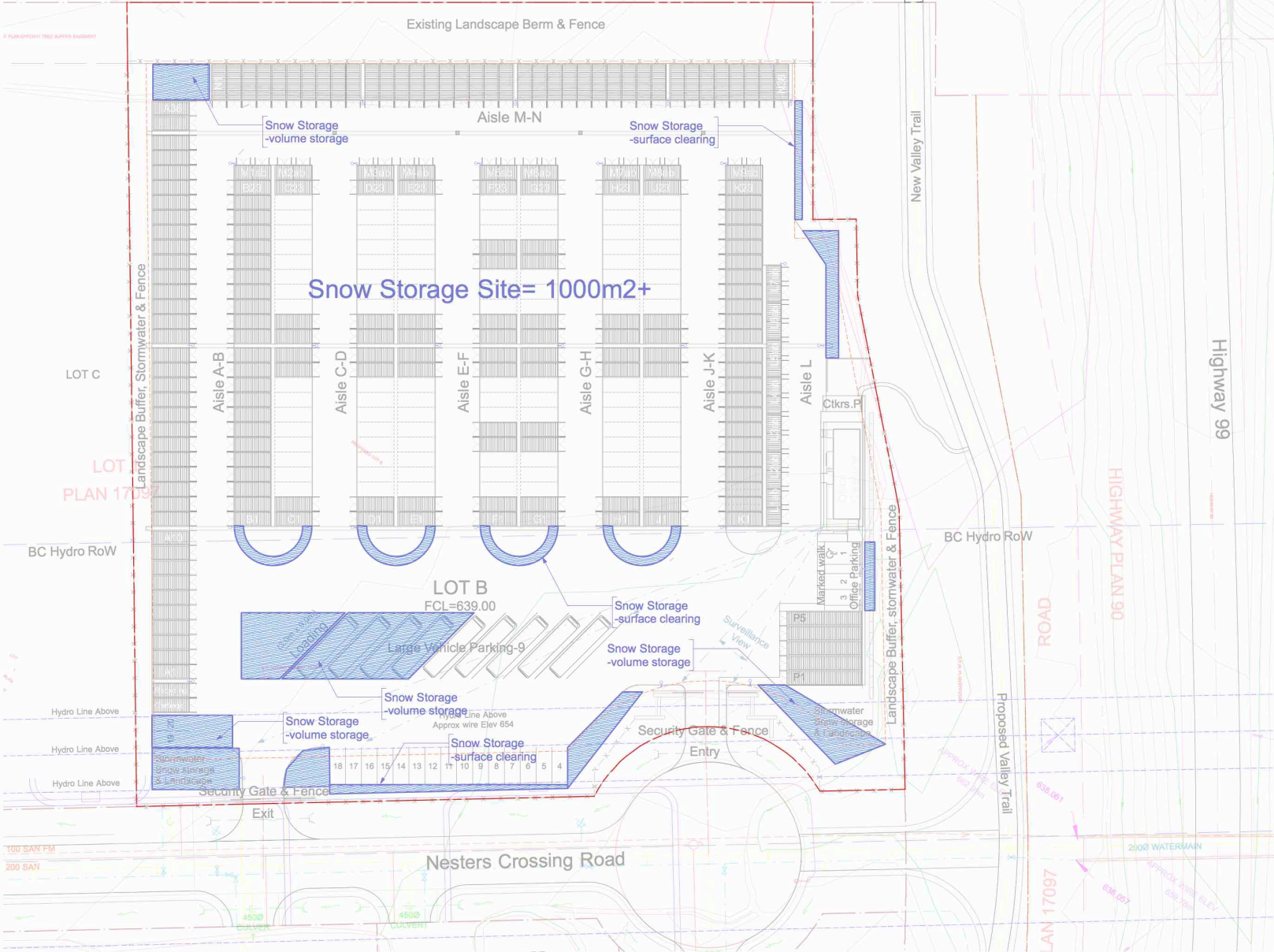
L1.1
drawing no.

Site Plan



CN Rail Corridor

R/W REFERENCE PLAN 1022



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2017.01.16	Day- Permit Application
	Date Issued For

Mons Holdings Ltd
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Nester's Crossing Lot-B
 8080 Nesters Road
 Whistler, BC
 project title

Site Plan
Snow Storage Sites
 drawing title

scale: 1:300

project no. 1601

L1.1S
 drawing no.

Snow Storage Sites

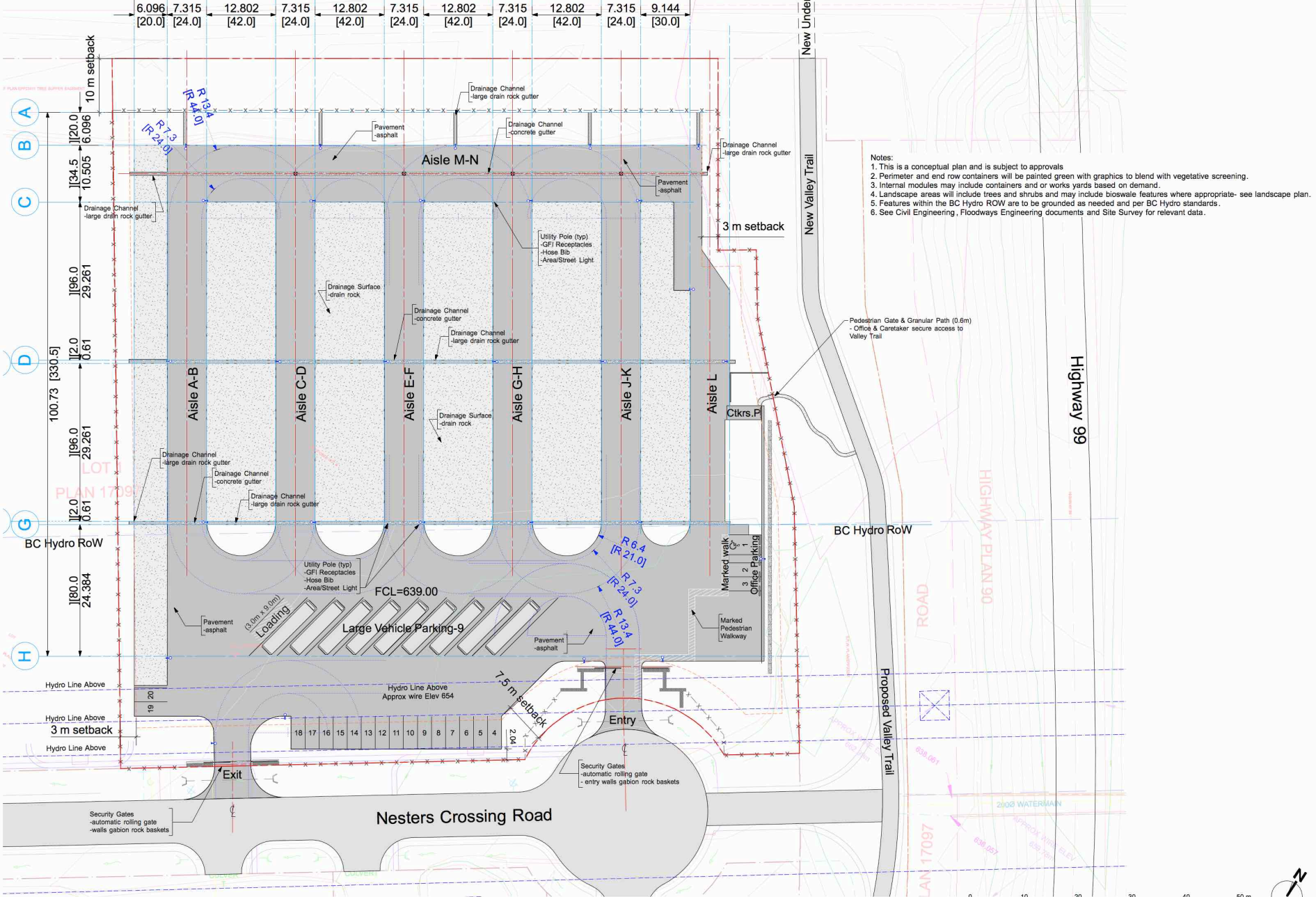
Site Plan

L1.1S

CN Rail Corridor

01 02 03 04 05 06 07 08 09 10 11 12

RW REFERENCE PLAN 1022



- Notes:
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 2. Perimeter and end row containers will be painted green with graphics to blend with vegetative screening.
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 4. Landscape areas will include trees and shrubs and may include bioswale features where appropriate- see landscape plan.
 5. Features within the BC Hydro ROW are to be grounded as needed and per BC Hydro standards.
 6. See Civil Engineering, Floodways Engineering documents and Site Survey for relevant data.

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2017.03.07	DPA- Revision #1
2016.11.13	Day Permit Application

Mons Holdings Ltd
 client
Nester's Crossing
 Lot-B
 8080 Nesters Road
 Whistler, BC
 project title

Hard Landscape &
 Roads Plan
 drawing title

scale: 1:300

project no. 1601

L1.2
 drawing no.

Hard Landscape Roads Plan

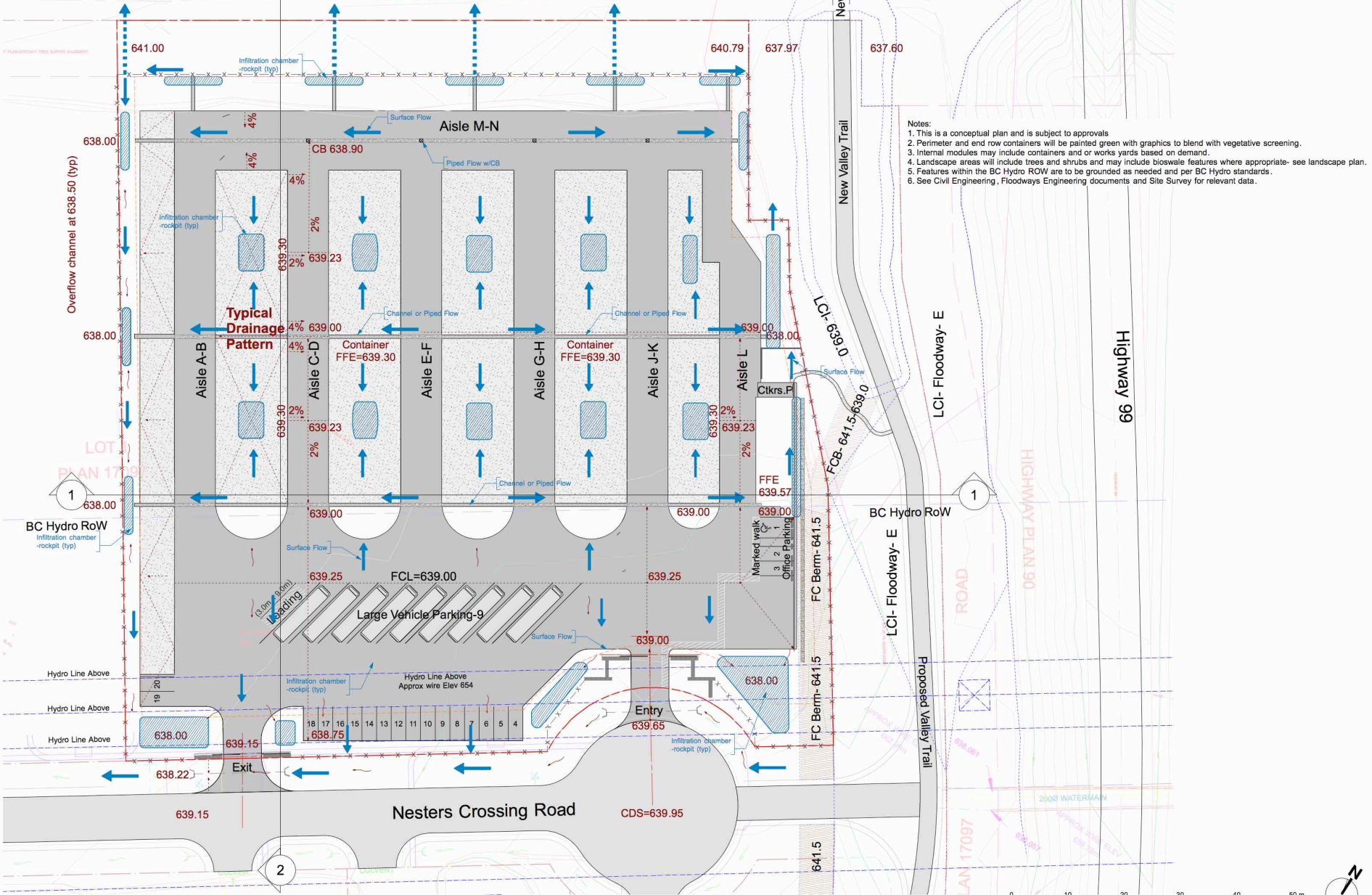


CN Rail Corridor

R/W REFERENCE PLAN 1022

2

Potential Culvert to RWY Ditch - TBD



- Notes:
1. This is a conceptual plan and is subject to approvals
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2016.11.13 Day- Permit Application
Date Issued For

Mons Holdings Ltd

client
Nester's Crossing
Lot-B
8080 Nesters Road
Whistler, BC
project title

Grading & Drainage
Plan
drawing title

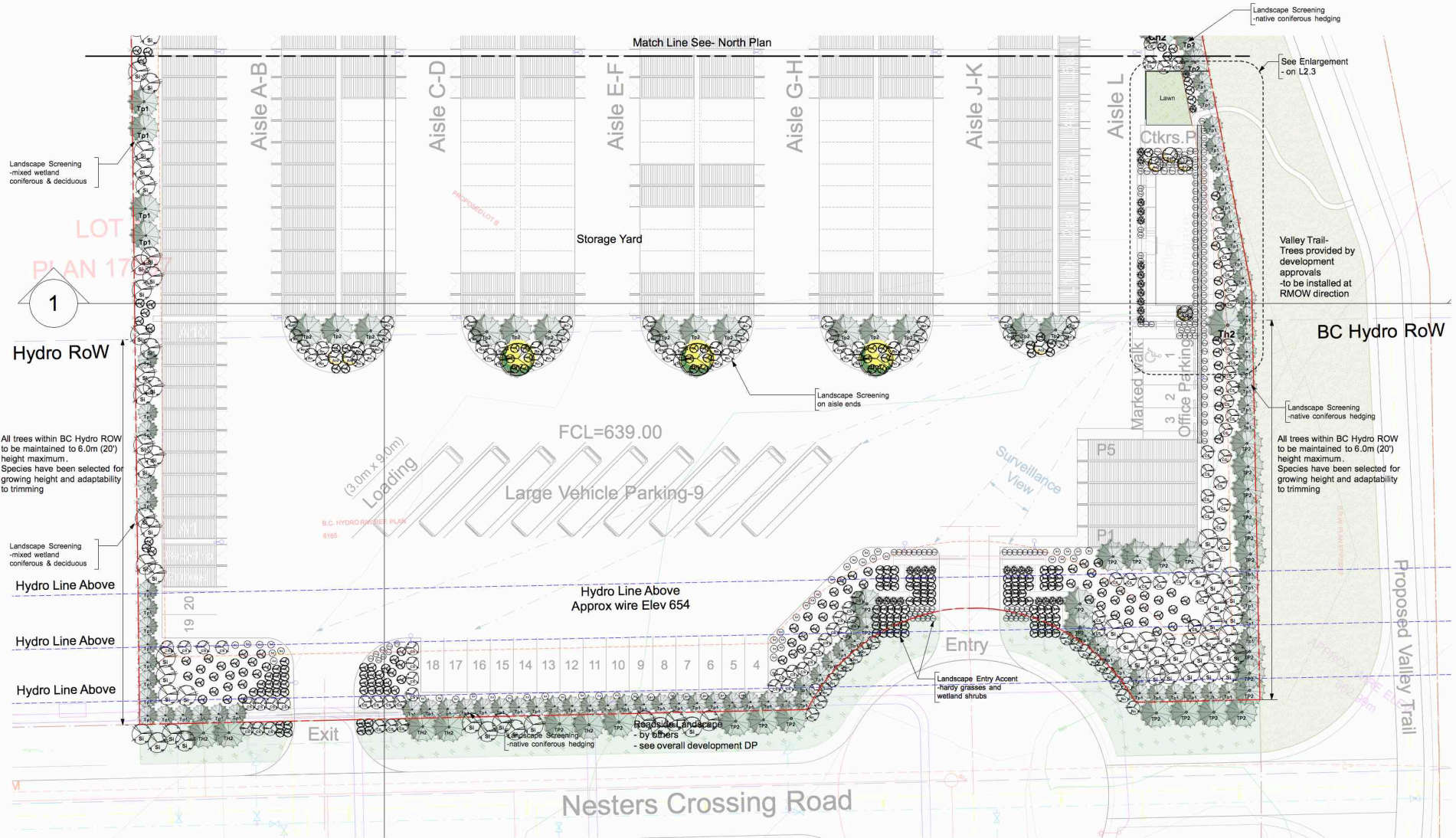
scale: 1:300

project no. 1601

L1.3
drawing no.

Grading & Drainage Plan





Planting & Irrigation Notes:

1. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standards (formerly BCLA/BCLNA Landscape Standards).
2. Plants in the plant list are specified according to the Canadian Nursery Trades Association Canadian Standards for nursery stock and BCLNA Standards for container grown plants.
3. Plant quantities shown on drawings take precedence over plant list quantities.
4. Obtain approval from Landscape Architect for any substitutions prior to shipping.
5. All planted areas to be irrigated by a temporary establishment system or an automatic high-efficiency irrigation system.
6. Provide As-Built Irrigation Plan for final inspection.
7. Provide As-Built Irrigation Plan for review prior to construction.
8. Contact Landscape Architect 48 hours prior to irrigation installation for a site review and 48 hours prior to all tree planting, shrub and groundcover planting to confirm layout.

CN Rail Corridor

New Underpass

New Valley Trail

Existing Trees

Existing Trees

Existing Berm and Planting

Landscape Screening
-mixed wetland
coniferous & deciduous
-blend with existing trees

Landscape Screening
-native coniferous hedging

Valley Trail-
Trees provided by
development
-to be installed at
RMOW direction

Aisle M-N

Storage Yard

Landscape Screening
on aisle ends

Landscape Screening
-native coniferous hedging

Match Line See- South Plan

-B

-D

-F

-H

-K

-L

FEB 2016

Landscape Screening
-mixed wetland
coniferous & deciduous

Landscape Screening
-mixed wetland
coniferous & deciduous

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2016.11.13 Day- Permit Application
Date Issued For

Mons Holdings Ltd

client
Nester's Crossing
Lot-B
8080 Nesters Road
Whistler, BC
project title

Part. Planting Plan

Norh Site
drawing title

scale: 1:200

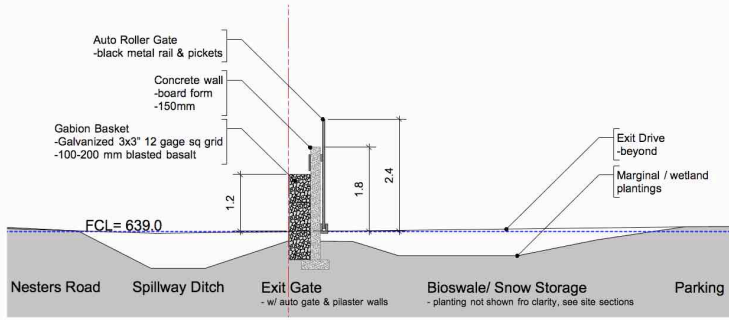
project no. 1601

L2.2
drawing no.

Part. Planting Plan/Norh Site

- Planting & Irrigation Notes:**
1. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standards (formerly BC/LA/SC/LNA Landscape Standards).
 2. Plants to be planted to be approved according to the Canadian Nursery Trade Association Canadian Standards for nursery stock and BC/LNA Standards for container grown plants.
 3. Plant quantities shown on drawings take precedence over plant quantities.
 4. Obtain approval from Landscape Architect for any substitutions prior to planting.
 5. All planted areas to be irrigated by a temporary establishment system or an automatic high-efficiency irrigation system.
 6. Provide irrigation design sheets (drawings) for review prior to construction.
 7. Provide As-Built Irrigation Plan for final inspection.
 8. Contact Landscape Architect 48 hours prior to irrigation installation for site review and 48 hours prior to all tree planting, shrub and groundcover planting to confirm layout.

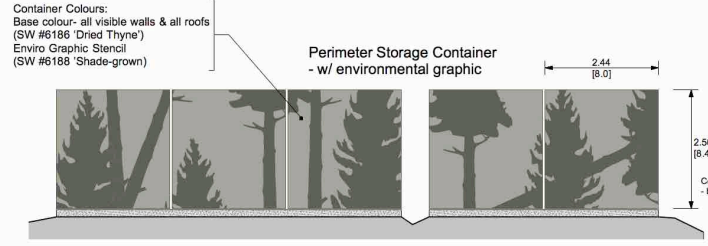




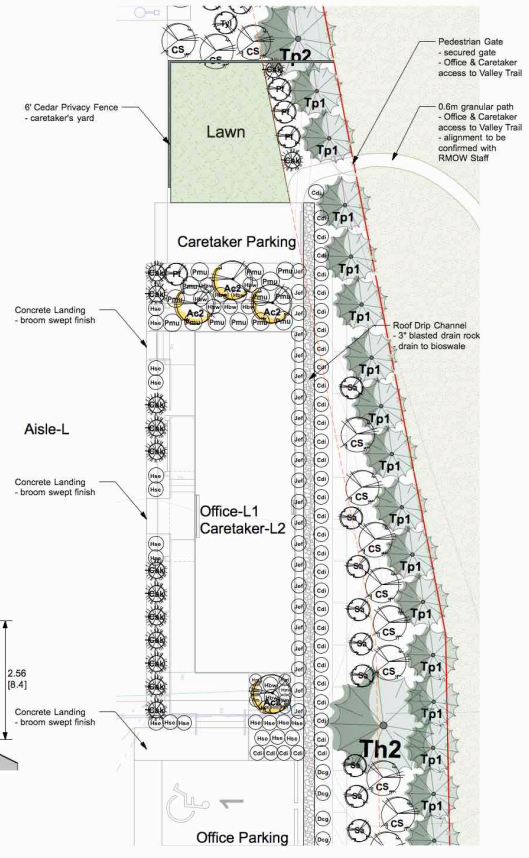
2 Gate & Bioswale
Scale: 1:50

Plant List

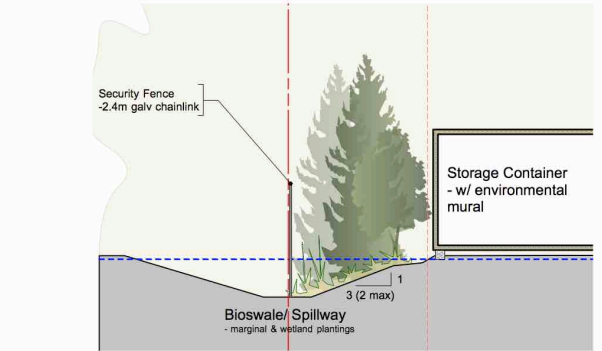
PROJECT:		Project: 8080 Nesters Road, Whistler BC	Crosland Doak Design		
PLANTLIST					
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES					
Ac2	9	Acer circinatum	Vine Maple	2 m ht.	3 trunk min
Bm7	6	Betula nigra 'Heritage'	Heritage River Birch	7cm cal.	
Cr2	6	Chamaecyparis nootkatensis	Yellow Cedar	12 m ht.	
Th2	9	Thuja heterophylla	Western Hemlock	2 m ht.	
Tp1	82	Thuja plicata	Western Red Cedar	1.2 m ht.	
Tp2	54	Thuja plicata	Western Red Cedar	2.0 m ht.	
SHRUBS					
CS	78	Cornus stolonifera	Red Twig Dogwood	#2	
Cf	65	Cornus sericea 'Flaviramea'	Yellow Twig Dogwood	#1	
Hw	10	Hosta 'Blue Wizardwood'	Blue Wizardwood Hosta	#1	
Ma	86	Malva aquilum	Oregon Grape	#2	
Pf	4	Potentilla fruticosa 'Abbotswood'	Abbotswood Cinquifol	#2	
Rn	78	Rosa rugosa	Knocka Rose	#2	
Sl	77	Salix interior	Long Leaf Willow	Cutting	
Sd	52	Spirea douglasii	Douglas Spirea	#2	
Ss	63	Symphoricarpos albus	Common Snowberry	#2	
Sru	14	Polystichum munium	Sword Fern	#1	
GRASSES, SEDGES & REEDS					
Csk	30	Calamagrostis x acutifolia 'Karl Foerster'	Feather Reed Grass	#1/ plug	
Cda	35	Carex davalliana	Davall's Sedge	#1/ plug	
Cdi	35	Carex diplosaena	Autumn Sedge	#1/ plug	
Dog	68	Dichanthia cespitosa 'Goldstar'	Gold Star Tufted Hair Grass	#1/ plug	
Hae	18	Helictotrichon sempervirens	Evergreen Cat Grass	#1/ plug	
JWf	24	Juncus effusus	Common Rush	#1/ plug	
TW	63	Topia latifolia	Cattail	#1	
LAWN & SEEDING					
Sot	27m2	Sod Lawn	#1 Turf Grass	sod	
Scm	1800 m2	Coastal Mountain Reclamation Mix	Seed mix	seed	all perimeter planted areas for soil stabiliz & groundcover



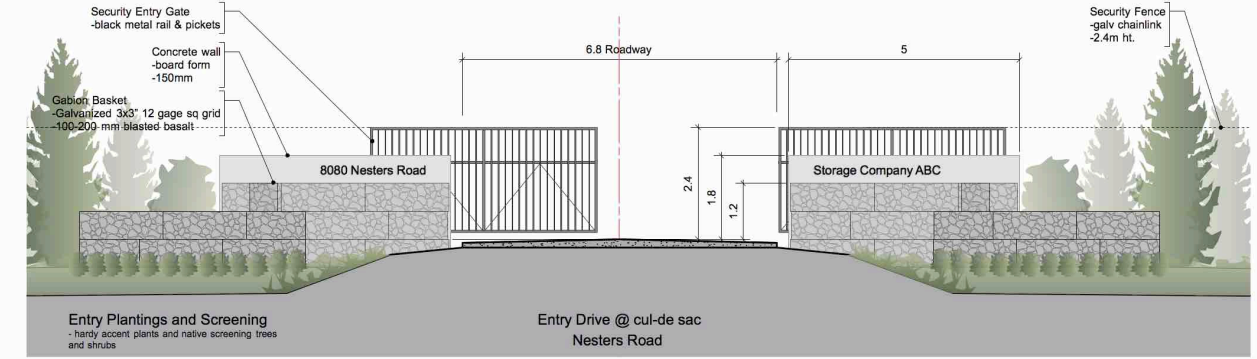
5 Perimeter Container Graphics
Scale: 1:50



1 Office/Caretakers Detailed Planting Plan
Scale: 1:100



3 Gate & Bioswale
Scale: 1:50



4 Entry Gate
Scale: 1:50

Planting & Irrigation Notes:

- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standards (formerly BCS/ABCLNA Landscape Standards).
- Plants in this plan are specified according to the Canadian Nursery Trade Association Canadian Standards for nursery stock and BC/LNA Standards for container grown plants.
- Plant quantities shown on drawings take precedence over plant list quantities.
- Obtain approval from Landscape Architect for any substitutions prior to shipping.
- All planted areas to be irrigated by a temporary establishment system or an automatic high-efficiency irrigation system.
- Provide Irrigation Design Sheet Drawings for review prior to construction.
- Provide As-Built Irrigator Plan for final inspection.
- Contact Landscape Architect 48 hours prior to irrigation installation for a site review and 48 hours prior to all tree planting, shrub and groundcover planting to confirm layout.

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Landscape
Architecture +
Building Design

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2017.03.07 DPA-Revision #1
2016.11.13 Day Permit Application
Date Issued For

Mons Holdings Ltd
client
Nester's Crossing
Lot-B
8080 Nesters Road
Whistler, BC
project title

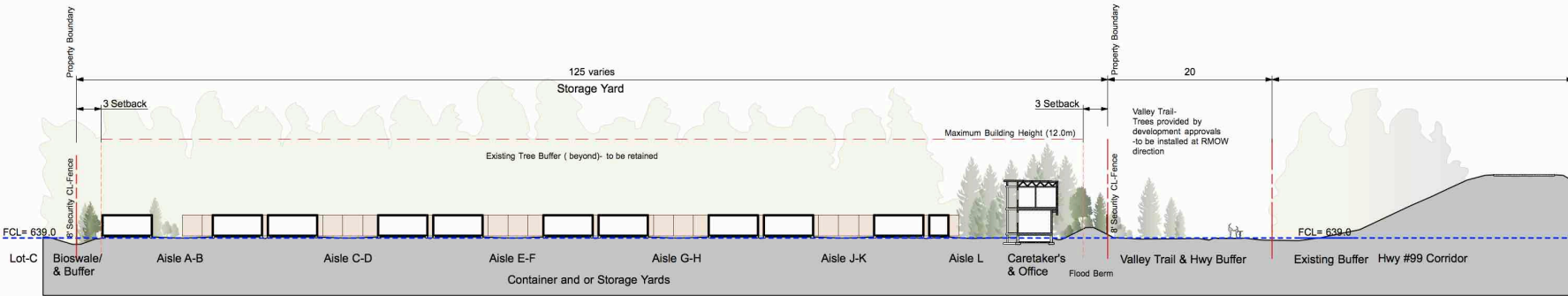
Landscape Details & Notes
drawing title

scale: As Noted

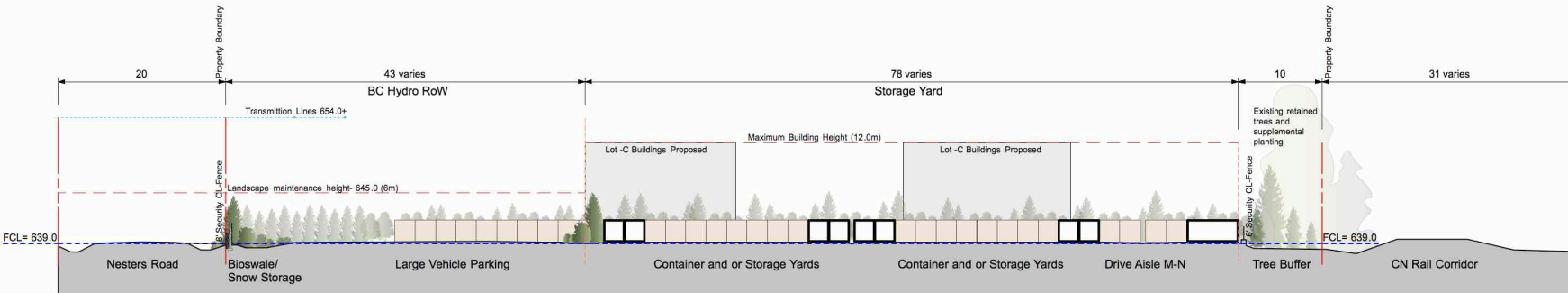
project no. 1601

L2.3
drawing no.

Landscape Details & Notes



1 Site Section-1
Scale: 1:250



2 Site Section-2
Scale: 1:250





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**Nester's Crossing
Lot-B**
8080 Nesters Road
Whistler, BC

project title

Project Imagery

drawing title

scale: As Noted

project no. 1601

L4.1
drawing no.

Project Imagery



RMOW Shipping Container Landscape Graphics- Olympic Plaza



Train Wreck



Alta Lake Station
Whistler's Railway History



Whistler Mountaineer



Entry Wall/ Gate - Gabion Wall Imagery



Entry & Exit Gate



Site Relics- used as Landscape Sculpture



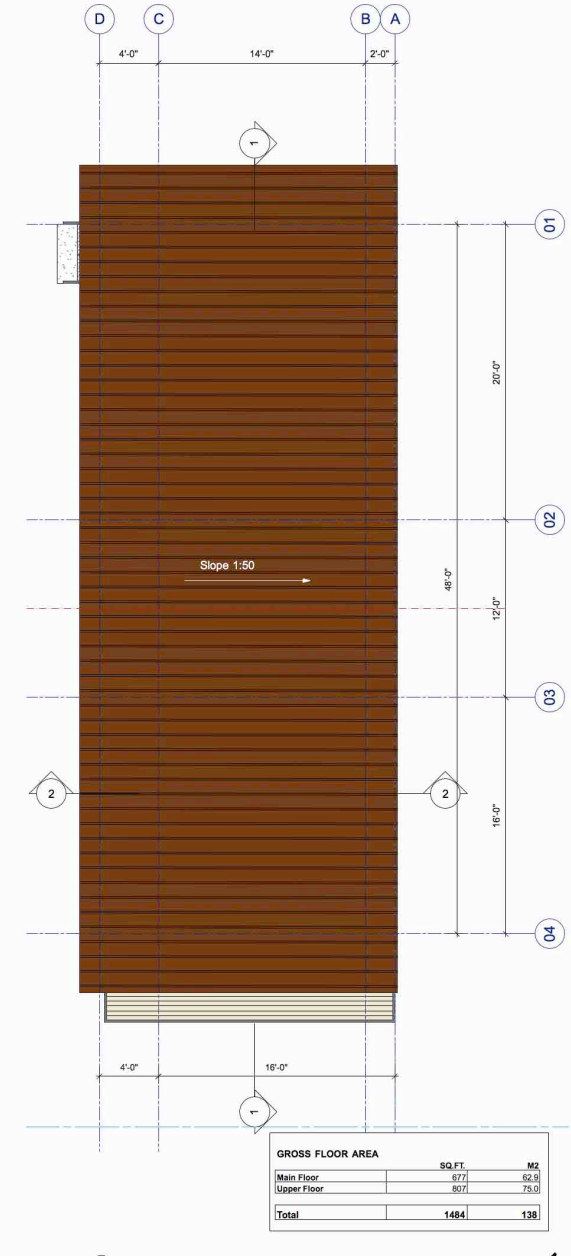
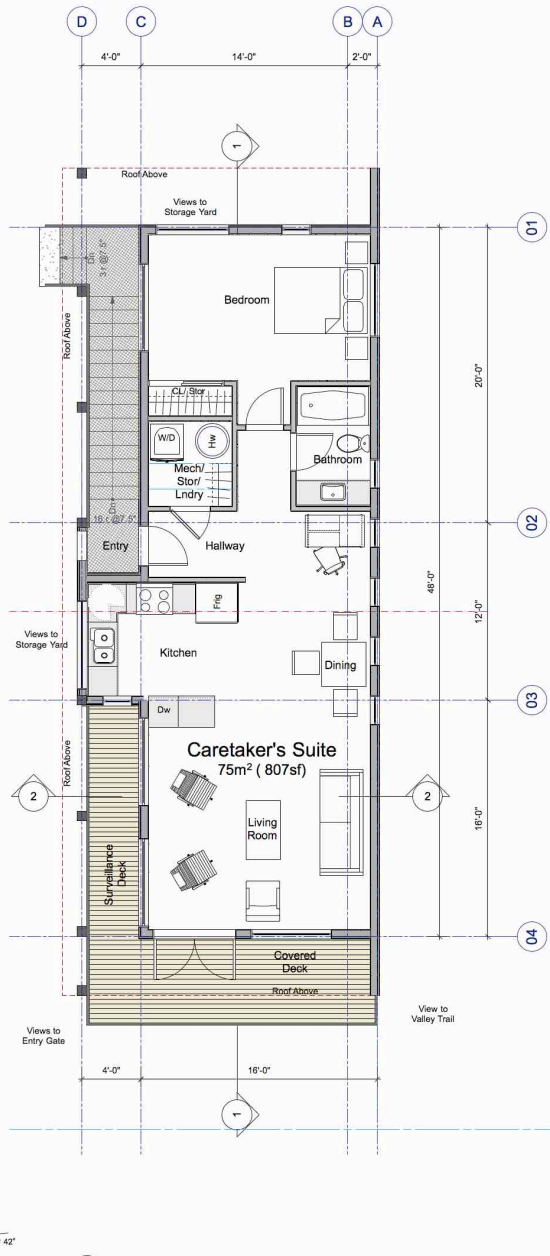
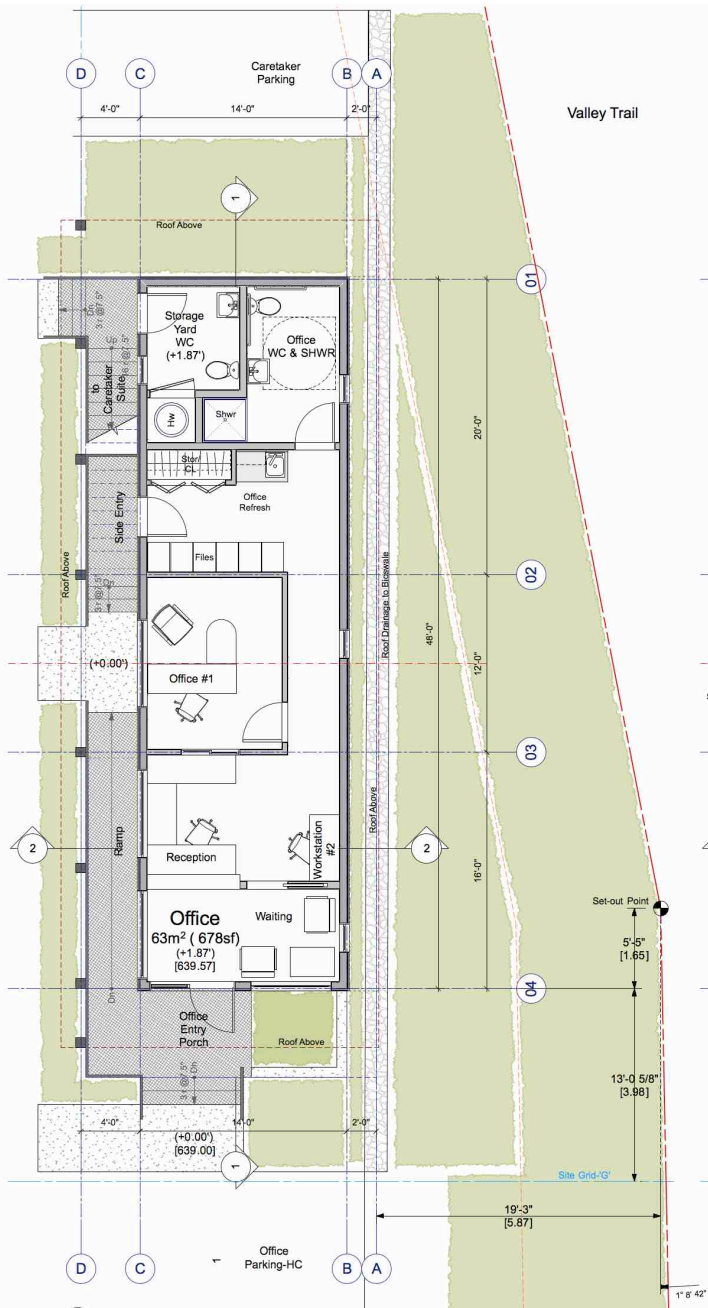
Local natural landscapes as inspiration




Bioswales, Stormwater Drainage & Snow Storage Areas
Native Wetland Landscape (adjacent property)




Hedge Buffer- under BC Hydro ROW
Western Red Cedar & Douglas Spruce





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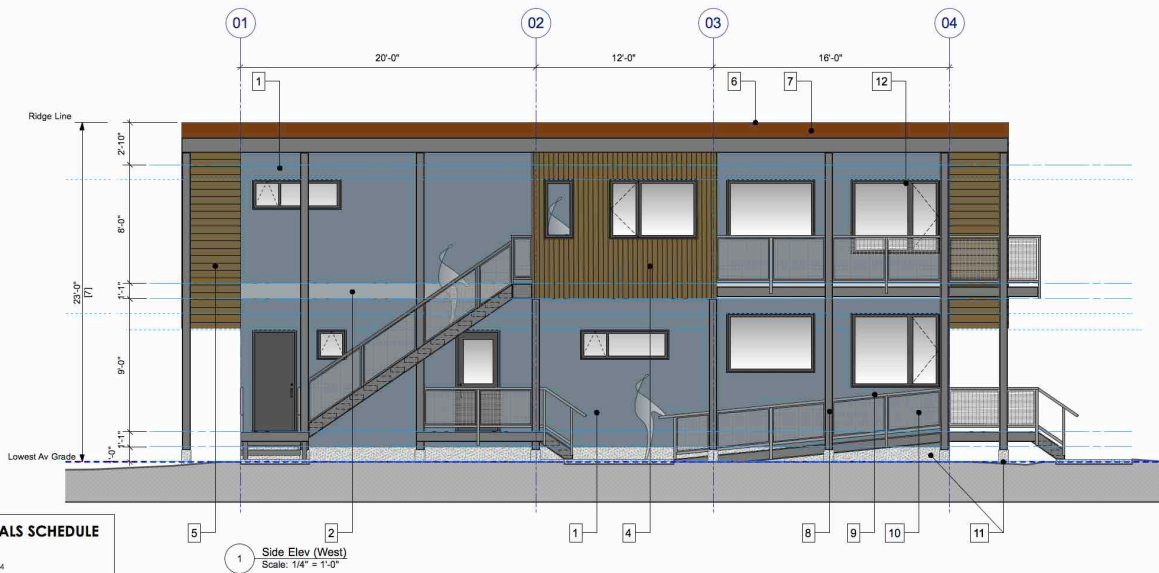
Mons Holdings Ltd
client
Nester's Crossing Lot-B
8080 Nesters Road
Whistler, BC
project title

Office/Caretakers Bldg
Floor Plans
drawing title

scale: As Noted

project no. 1601

A1.1
drawing no.



1 Side Elev (West)
Scale: 1/4" = 1'-0"

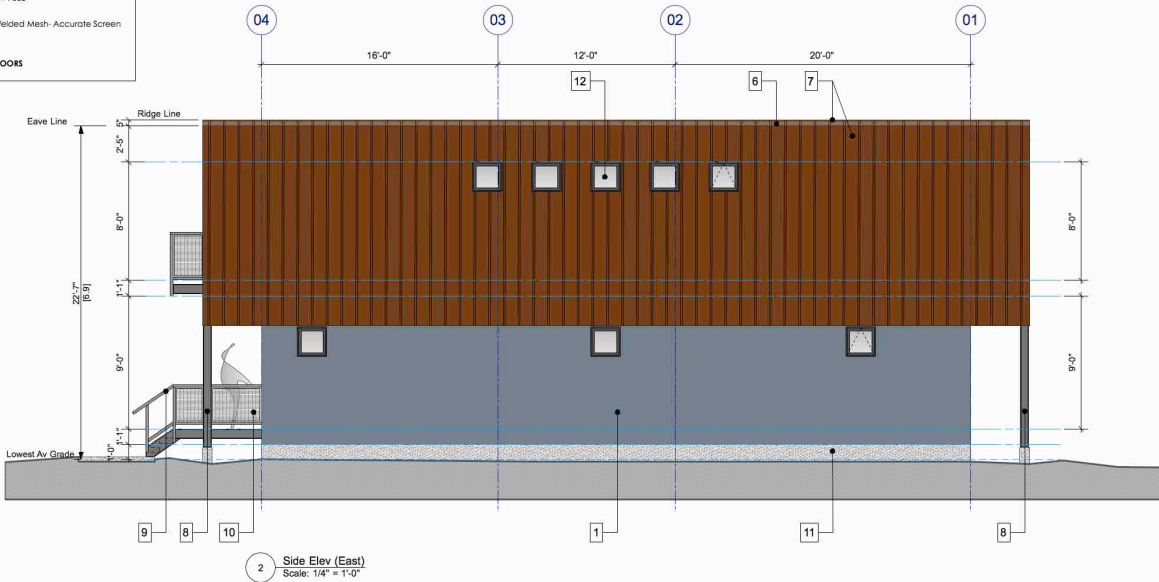


3 Front Elev (South)
Scale: 1/4" = 1'-0"

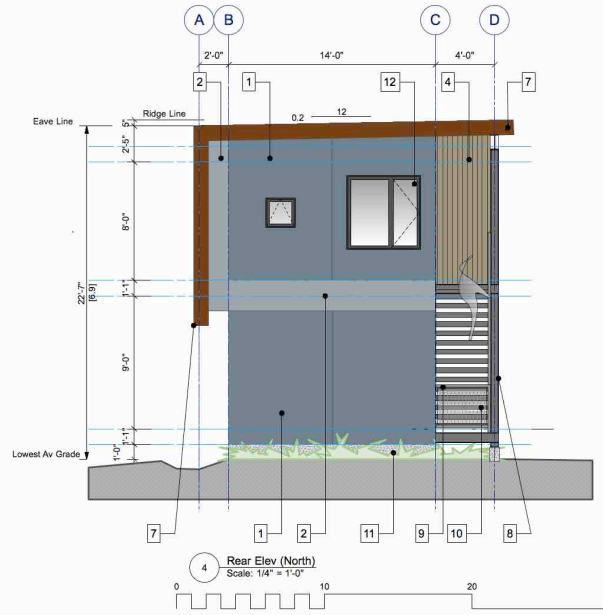
- EXTERIOR MATERIALS SCHEDULE**
- 1 CEMENTITIOUS PANEL
Blue- Smoke Blue SW 7604
 - 2 CEMENTITIOUS PANEL
Grey- Steely Gray SW 7684
 - 4 CEDAR CHANNEL SIDING
Rusty Brown- Cedar Mill SW 3512 semi-trans
 - 5 CEDAR CHANNEL SOFFIT
Rusty Brown- Cedar Mill SW 3512 semi-trans
 - 6 METAL PANEL ROOF
Metro Brown
 - 7 METAL FLASHING
Metro Brown
 - 8 STEEL WF COLUMNS/BELMS
Grey- Grizzle Gray SW 7068
 - 9 STEEL GUARDS AND HANDRAILS
Grey- Grizzle Gray SW 7068
 - 10 STEEL MESH GUARDS
Galvanized/ Alumn Welded Mesh- Accurate Screen
 - 11 CONCRETE- CIP
Natural
 - 12 VINYL WINDOWS & DOORS
Black

ROOF HEIGHT CALCULATIONS

Roof	Area (sf)	% of tot.	Mean Height (ft)	Wtd. Avg.	Mean Height (m)
A	1205.0	100.0	22.75	22.75	6.93
Total	1205.0	100.0	Overall Mean Ht.:	22.75	6.93
			Permitted Height:	39.36	12.00



2 Side Elev (East)
Scale: 1/4" = 1'-0"



4 Rear Elev (North)
Scale: 1/4" = 1'-0"

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Nester's Crossing Lot-B
8080 Nesters Road
Whistler, BC

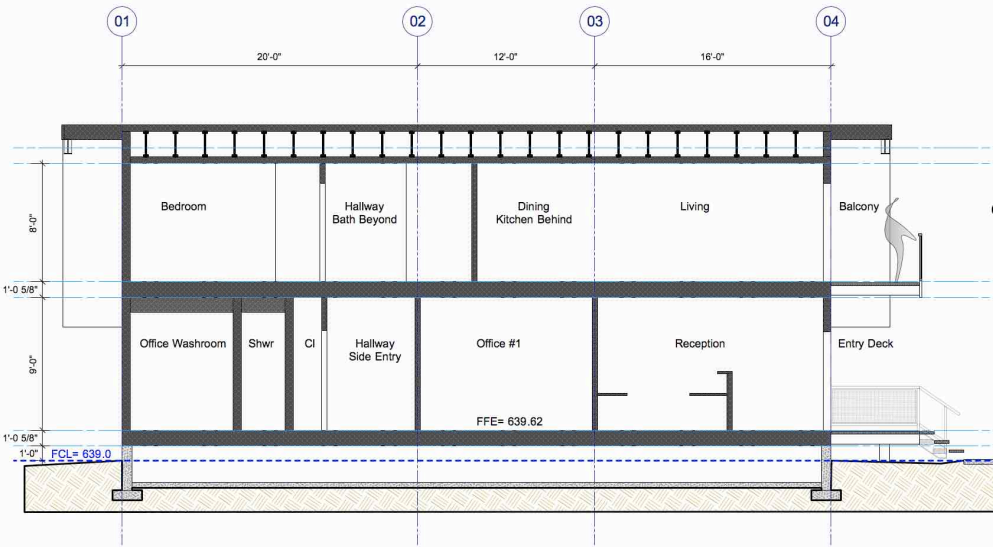
project title
Office/Caretakers Bldg Elevations

scale: As Noted

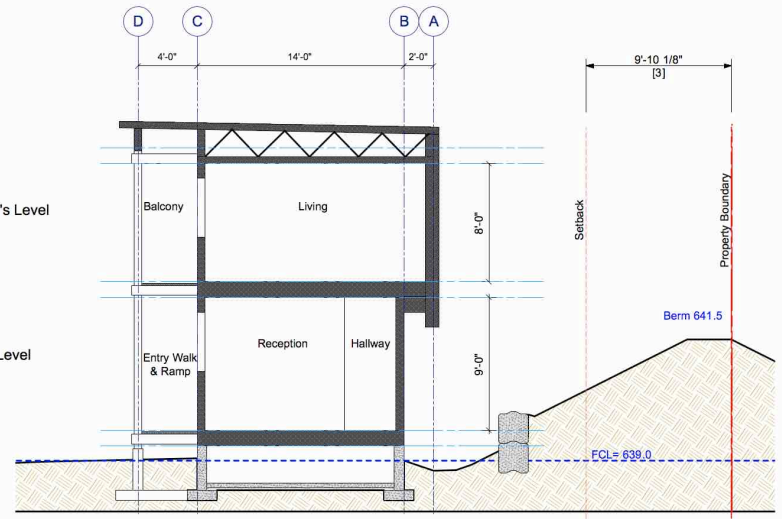
project no. 1601

A2.1
drawing no.

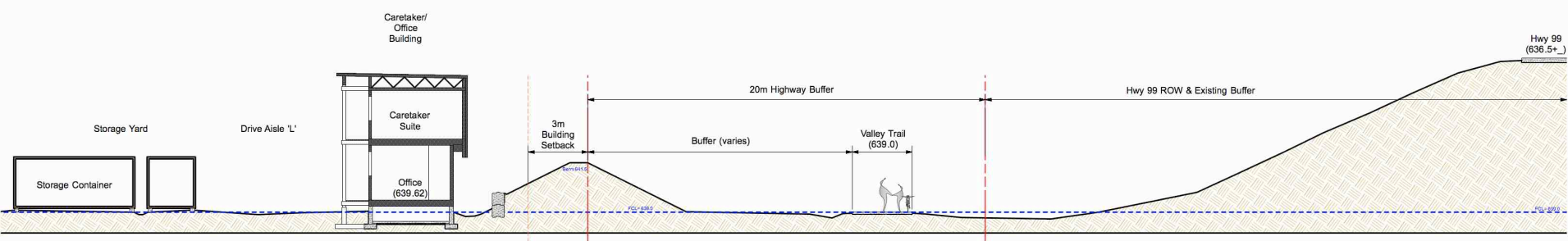
Office/Caretakers Bldg Elevations



1 Long Section
Scale: 1/4" = 1'-0"



2 Cross Section
Scale: 1/4" = 1'-0"



3 Partial Site/Context Section- West to East
Scale: 1/8" = 1'-0"

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Nester's Crossing Lot-B
8080 Nesters Road
Whistler, BC
project title
Office/Caretakers Bldg Sections
drawing title
scale: As Noted
project no. 1601

A3.1
drawing no.

Office/Caretakers Bldg Sections



Model View from the South



Model View from the East



Model View from the North



Model View from the West



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8080 Nesters Road
Whistler, BC

project title

Office/Caretakers Bldg

Model Images

drawing title

scale: As Noted

project no. 1601

A4.1
drawing no.

Office/Caretakers Bldg Model Images

ADOPTION OF AGENDA

Moved by Brigitte Loranger
Seconded by Zora Katic

That Advisory Design Panel adopt the Advisory Design Panel agenda of January 18, 2017.

CARRIED

ADOPTION OF MINUTES

Moved by Pat Wotherspoon
Seconded by Zora Katic

That Advisory Design Panel adopt the Regular Advisory Design Panel minutes of November 16, 2016.

CARRIED

COUNCIL UPDATE

Councillor Grills welcomed the panel members and provided an update of current topics being discussed by Council. The municipality held a Transportation Community Forum on January 17, 2017 respecting Whistler's transportation challenges. The forum was well attended and feedback was provided by transportation advisors and by the public.

A panel member requested notice of an ADP meeting be given well in advanced of the customary week notice.

PRESENTATIONS

The applicant team of Crosland Doak, Crossand Doak Design, and Steve Bayly, property owner entered the meeting.

Robert Brennan, Planner, introduced the project which is located in an industrial subdivision with the primary use of establishing a large outdoor storage facility with up to 309 shipping containers, along with oversize parking and a two storey caretaker and office building.

Crosland Doak advised on the following.

1. The site was zoned CT11 in 2012 which refers to Community and Transportation Infrastructure uses in general. This zoning permits many uses, including outdoor storage, vehicle maintenance and storage.
2. Flexibility of this development will meet the demand of the community
3. This site was studied extensively and there is a full flood mitigation plan for the entire development.
4. Important to the project is the critical link in the valley trail system with the extension of the adjacent valley trail to the underpass beneath the CN Rail dedicated at the time of zoning.
5. The site is 1.5 hectares in size and is bordered by a 20 metre buffer with the valley trail between the parcel and the highway, a 10 metre mature

8080 Nesters Road
1st Review
File No. DP1543

landscape buffer on the property adjacent to the CN Rail right of way is to the north and Nesters Road is to the south.

6. The site is surrounded by more landscaped buffer than is needed, with the proposed ring of perimeter containers with their paint scheme and treed graphics acting as an additional buffer, along with extensive landscaping for screening other outdoor storage activities in the centre of the property.
7. Garbage and recycle facility will be contained and wildlife proofed by being placed in two separate shipping containers.
8. Available area for snow storage is 1000 square metres as shown on drawing presented at the meeting, which is suggested to be more than sufficient.
9. A lighting plan and fixtures were approved with the industrial subdivision and will be used on this parcel. A copy of the light standard was circulated at the meeting.
10. This project is meeting the community need and is built with community consideration in mind.

Panel offers the following comments:

Site Context and Landscaping

1. Panel felt the landscape and drainage site plan are very well thought out.
2. Panel felt the proposed gabion wall is acceptable but cautioned the need to handle sensitively and specify rock type.
3. Panel noted concern over the lack of a clarity for the entrance once through the entry gate as the location of the long containers block sightlines to the office. Panel found the lightening scheme acceptable with the added comment that the lighting be installed to not cast or reflect light onto adjacent properties.
4. Panel felt the snow storage areas spread around the property makes more sense than in the rear as suggested appeared acceptable.
5. Concerns over the durability of shipping containers. As advised by Mr. Bayly, the purchase of one-use containers and painting these containers should alleviate these concerns.

Materials, Colours and Details

1. Panel noted concern that compaction of the gravel over time by machinery and equipment will affect site drainage.
2. Panel recommended implementing a system for monitoring the control of contaminated runoff on and from the site.
3. Panel felt the use of multiple colours as presented on the caretakers building is not supported. Consider choosing one color to be represented, or an extension of the container graphics.
4. Panel suggested a dark powder coated chain-link fence to blend the fence into the landscape.
5. Panel supported the proposed forest graphics on the containers and further suggested consistency to the colours of the containers so it doesn't look like a port.

Moved by John Grills
Seconded by Tony Kloepfer

That the Advisory Design Panel supports the project as presented with consideration of Panel's comments for further refinement. Panel does not need to see this project return for further review.

CARRIED

ADJOURNMENT

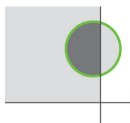
Moved by Tony Kloepfer

That Advisory Design Panel adjourn the January 18, 2017 committee meeting at 4:25 p.m.

CARRIED

CO-CHAIR: Tony Kloepfer , Architect AIBC

SECRETARY: Melissa Laidlaw



Dec 29, 2016

8080 Nesters Road Development Permit Green Building Strategy

The following narrative addresses the green building strategies for the application building and site per the 2008 RMOW Council Policy G23.

Zoning & Context

This application covers Lot B only, a 1.5ha [15,380m²] parcel zoned CTI-1 Community Transportation and Infrastructure, located at 8080 Nesters Road.

The proposal falls into the policy category **"1.1 Commercial"** and includes;

- 309- Container/Indoor Storage or Outdoor Storage Spaces 2.4m x 6.0m (8'x20')
- Auxiliary Office- 63m² (678sf)
- Auxiliary Caretaker Residence- 75m² (807sf)
- 21 standard parking spaces
- 9 bus parking spaces
- Perimeter Landscape Buffer, incl. storm water and snow management areas

This document will follow the six "Objectives" categories as laid out in the policy:

2.1 SITE/ LANDSCAPE

The overall development is a previously disturbed site and through earlier approvals has generally been modified and filled. Perimeter landscaping under those approvals includes tree retention and newly landscaped areas. The provision and construction of a Valley Trail through the site has significantly positive environmental and community benefits.

Storm Water & Drainage

8080 Nesters Road site & landscape have been designed both to accommodate the proposed uses while restoring some of the site hydrology and native plant communities. The entire perimeter of Lot B, with the exception of access, is a landscape buffer that also accommodates storm water management. Storm water is directed to these swaled landscapes, is detained and is biologically filtered by wetland plants and soil microbials. Excessive runoff moves through this system, beyond the site into engineered channels and floodways. Within the site, surface water is directed to swales and infiltration chambers to assist with groundwater recharge, while excessive surface water is directed to the perimeter buffers and beyond. (see L1.3 Grading & Drainage Plan)

Landscape Plants & Surfacing

The landscape plant pallet uses predominantly native wetland plants appropriate to this site. The exception to native plants are species selected for accent and drought tolerance near the entrance and exist driveways to the property. This landscape strategy reduces the demand for irrigation.

Over 53% of the site is permeable surfaces and landscaping. Only driveways and parking areas are paved in order to improve circulation and eliminate dust migrating off site. (see L1.2 Hard Landscape & Roads Plan and L2.1 & L2.2 Planting Plans)

2.2 ENERGY

Site Energy

As the site use is predominantly unheated storage it is a relatively low energy consumption facility. Circulation lighting will be LED fixtures with full cut-off shading.

Building Energy

The Office and Caretakers Residence is a very small building (135m²). Its size and the simplicity of the form, as a 2-storey structure, ensure that it is very practical and efficient in its construction and ongoing consumption of energy. The building will meet and exceed the current 2014 BCBC for Energy Conservation. It will also be mechanically designed to be solar ready.

2.3 WATER**Site Water**

The selection of plant material and the storm water drainage plan will ensure the landscape minimizes its long-term reliance of irrigation. These plant communities will also assist in cleaning runoff water before it enters natural waterways.

Building Water

The office and residence will be outfitted with high efficiency / low consumption plumbing fixtures.

2.4 MATERIALS**Site Materials**

Landscaping materials are generally organic and or biodegradable. Surfacing materials, gravels and asphalts, are recyclable. Fencing and entry wall materials are recyclable.

Building Materials

The small wood and steel frame building is efficient in its use of recyclable materials. Building cladding includes; metal roofing and siding, cementitious siding, wood soffits and steel guardrails all of these materials are recyclable or biodegradable.

2.5 WASTE

The general use of the site, as a storage facility, encourages conservation and reduction of waste. Garbage generated on site will be temporarily held in secure and screened waste bins and will be removed from site on regular intervals. Recycling will be temporarily stored in an adjacent shipping container and removed from site at appropriate intervals.

2.6 INDOOR ENVIRONMENT

The office and resident have opening windows from all major spaces for natural ventilation. Interior finishes, materials and furnishing will be selected for low VOC and general occupant health.

Conclusion

This facility will allow local businesses an affordable and environmentally responsible alternative to working from Whistler residences and neighbourhoods, as well as reducing traffic on the highway south of the Village to and from Function Junction. The inclusion of an onsite caretaker unit adds to the local residential housing inventory. The developer/ applicant will operate the project such that the Green Building investments will be a long-term benefit to the tenants and the overall investment.



THE RESORT MUNICIPALITY OF WHISTLER

4325 Blackcomb Way
Whistler, BC Canada V0N 1B4
www.whistler.ca

TEL 604 932 5535
TF 1 866 932 5535
FAX 604 935 8109

Crosland Doak Design
3121 Alta Vista Road
Whistler, BC V0N 1B3

February 14, 2017

RE: DP 1543 – 8080 Nesters Road

The following provides a list of outstanding items to be provided and reviewed to the satisfaction of the General Manager of Resort Experience as a condition of development permit approval.

1. Provide engineering and environmental certifications for the preliminary aquifer protection methods proposed for the permeable storage areas.
2. Provide civil drawings showing integration of all services into the landscape.
3. Provide a final lighting plan meeting zoning bylaw requirements.
4. Provide a location in the garbage and recycling structures for future composting.
5. Finalize adequate screening of the chain link fence adjacent to the public road.
6. Relocate trees proposed in snow storage sites to park on the east side of the property and to fill gaps in eastern portion of tree buffer area. Add boulders to protect planted areas adjacent to drive aisles.
7. Submit a landscape estimate prepared by a landscape architect for the hard and soft landscaping. Provide a letter of credit in the amount of 135% of the approved landscape estimate as security for completion of the works.
8. Provide 1 full size hard copy and 1 pdf of the architectural, landscape and civil drawings for development permit issuance.

Regards,

Robert Brennan
Planner



REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: February 21, 2017
FROM: Resort Experience
SUBJECT: DP 1548 – 4865 PAINTED CLIFF ROAD

REPORT: 17- 012
FILE: DP 1548

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Resort Experience be endorsed.

RECOMMENDATION

That Council authorize development approval under the Blackcomb Land Use Contract for DP 1548 consisting of renovations to Building One in the Snowbird development located at 4865 Painted Cliff Road per the architectural plans 1, 2, 3, 4, 5, 6, 7, 8, 9, 10 (Revision 2) prepared by ATA Architectural Design Ltd., dated 16-12-5, attached as Appendix A to Administrative Report to Council No. 17-012, subject to modification of development covenant GC9176 to reflect the proposed changes to the satisfaction of the General Manager of Resort Experience; and further,

That Council authorize the Mayor and Municipal Clerk to execute the amending covenant.

REFERENCES

Location: 4865 Painted Cliff Road
Legal: Common Property VAS2486
Owners: Owners of Strata Plan VAS2486
Zoning: Blackcomb Land Use Contract GB77455

Appendices: A – Location Plan
B – Project Photos
C - Architectural Plans

PURPOSE OF REPORT

This report requests Council's consideration to authorize development approval under the Blackcomb Land Use Contract for DP 1548, an application by the strata to develop existing unfinished attic space above units 101, 103, 105, and 107 in the Snowbird townhouse development at 4865 Painted Cliff Road.

The proposed development is subject to Council approval as the application involves building additions beyond the confines of the existing building envelope that are greater than 20 square metres in floor area.

DISCUSSION

The Snowbird townhouse development is located in the Blackcomb Benchlands on the northwest side of Glacier Drive between the Crystal Ridge and Foxglove developments, across the street from Horstman Estates as shown in Appendix A.

The development was approved by Council under Blackcomb Permit BPA 19 in the spring of 1989. The project consists of three buildings containing 23 townhouse units with an overall floor space ratio of approximately 0.30.

The application is proposing to develop some existing attic space in Building One as shown in Appendix B. The space is common property of the strata and is proposed to be allocated to units 101, 103, 105, and 107. A new shed dormer is proposed on each end of the building to allow for head room within the sloping roof line, resulting in 55 square metres of new gross floor area outside of the confines of the existing building envelope.

The new spaces will take advantage of existing gable details in the roofline to incorporate Juliet balconies, including a glazed door and small window for each unit. All materials and finishes will match the existing Snowbird development.

The overall design is consistent with the existing architecture of the project. All materials and finishes will match the existing development.

The accompanying table details the proposed gross floor area additions:

Unit	Existing Unit Area	New Attic Area	Total Unit Area
101	113 m ²	66 m ²	179 m ²
103	113 m ²	53 m ²	166 m ²
105	113 m ²	53 m ²	166 m ²
107	113 m ²	55 m ²	168 m ²
Total New Area:		227 m²	

These additions are within the density provisions for the property and do not require rezoning.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD	Comments
	Descriptions of success that resolution moves us toward	
Built Environment	Limits to growth are understood and respected.	Proposal conforms to the limits defined in the Blackcomb Land Use Contract.
	The built environment is attractive and vibrant, reflecting the resort community's character, protecting viewscales and evoking a dynamic sense of place.	Proposal is consistent with the character of the existing Snowbird development.
W2020 Strategy	AWAY FROM	Mitigation Strategies and Comments
	Descriptions of success that resolution moves away from	
	None	

OTHER POLICY CONSIDERATIONS

Blackcomb Land Use Contract

The lands are regulated by the Blackcomb Land Use Contract registered on title as GB77455. The proposal is consistent with all density regulations and design considerations contained in the Blackcomb Land Use Contract.

This proposal is consistent with the existing project architecture as approved by Council under BPA 19 in 1989.

Legal Documents

This project is subject to restrictive covenant GC9176, which limits development on the lands to the project as approved by the Municipality under Blackcomb Permit Application BPA19. This document will need to be amended to reflect the proposed renovation.

BUDGET CONSIDERATIONS

Application fees provide for recovery of costs associated with processing this application.

COMMUNITY ENGAGEMENT AND CONSULTATION

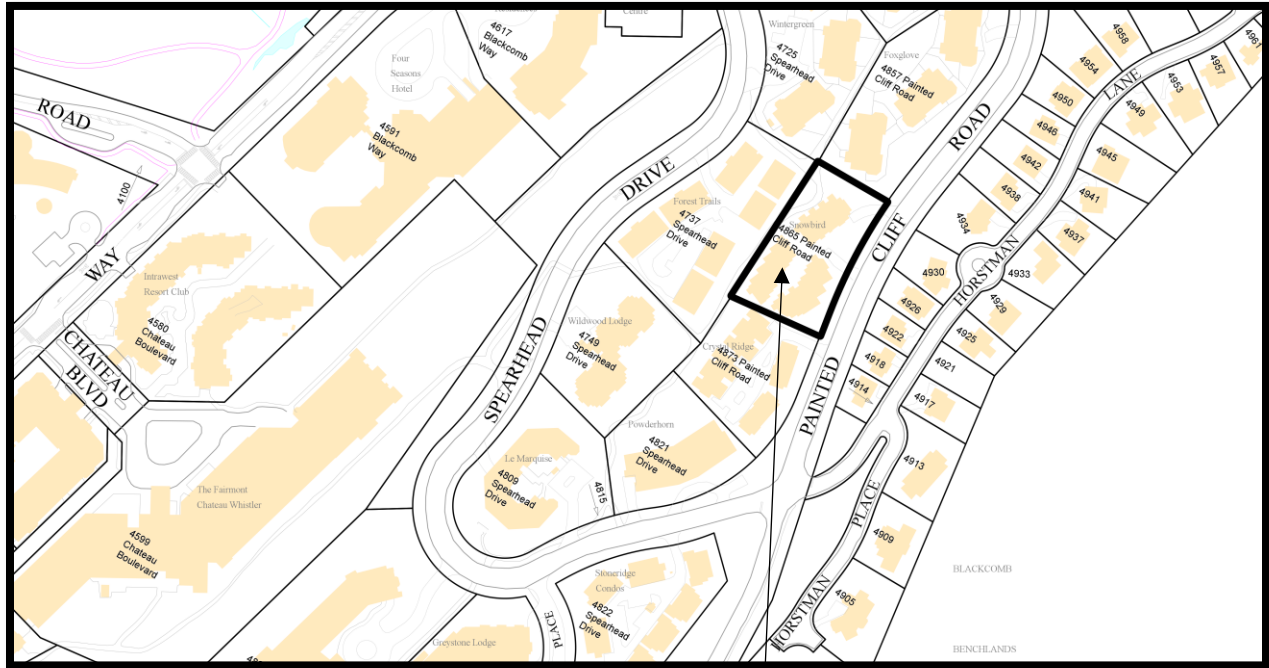
An information sign is posted on the property per application requirements.

SUMMARY

DP 1548 proposes to capture existing unutilized attic space above units 101, 103, 105, and 107 at 4865 Painted Cliff Road, "Snowbird". The proposal conforms to the applicable regulations under the Blackcomb Land Use Contract. Staff recommend modification of the existing development covenant registered on title as GC9176 to reflect the revised development scheme.

Respectfully submitted,

Roman Licko
PLANNING ANALYST
for
Jan Jansen
GENERAL MANAGER OF RESORT EXPERIENCE



Subject Lands: 4865 Painted Cliff Rd.

ATA
ATA ARCHITECTURAL DESIGN LTD
Suite 200-1687 West Broadway,
Vancouver, B.C. V6J 1X2



**EXISTING BUILDING #1 SNOWBIRD
PROPOSED DORMER LOCATION UNIT #101**

VIEW FROM PAINTED CLIFF ROAD
Building #1 has limited visibility.

**EXISTING BUILDING #1 SNOWBIRD
PROPOSED DORMER LOCATION UNIT #101**



VIEW FROM DRIVEWAY
North end of building #1

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PROPOSED DORMER LOCATION UNIT #101 NORTH SIDE

EXISTING GREEN SPACE BETWEEN DEVELOPMENTS REMAINS

TREES SCREEN VIEW OF BUILDING

**VIEW FROM PAINTED CLIFF ROAD INCLUDING ADJACENT SITE TO NORTH
Building #1 has limited visibility.**

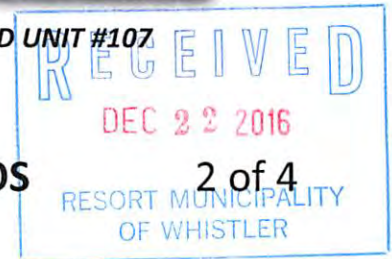
**PROPOSED DORMER LOCATION UNIT #107
SOUTH SIDE**

**THIS END OF BUILDING ONLY VISIBLE FROM
WITHIN THIS SITE**



VIEW FROM WITHIN SITE SHOWING SOUTH END UNIT #107

SNOWBIRD – #101, 103, 105, + 107- 4865 PAINTED CLIFF RD - PHOTOS



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PROPOSED DORMER #107 →
THIS END OF BLDG

PROPOSED WINDOW, →
DOOR & BALCONY LOCATION

ALL FINISHES, MATERIALS & COLOURS →
ARE TO MATCH EXISTING



TYPICAL UNIT EAST ELEVATION

SNOWBIRD – #101, 103, 105, + 107- 4865 PAINTED CLIFF RD - PHOTOS

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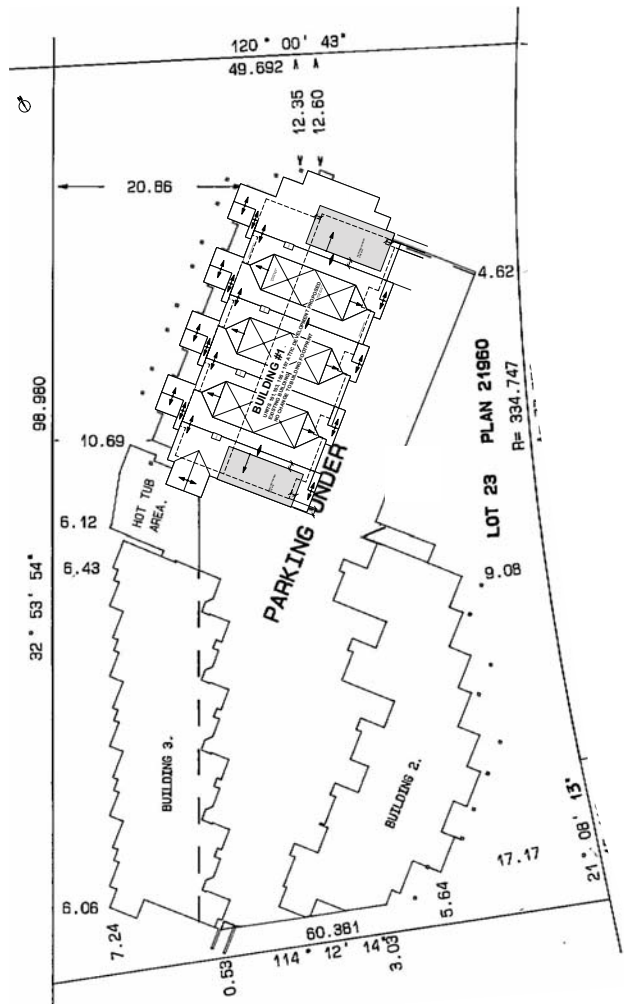
**BUILDING 1 FROM SOUTH END OF
COURTYARD**



**BUILDING 1 FROM NORTH END OF
COURTYARD**

SNOWBIRD – #101, 103, 105, + 107- 4865 PAINTED CLIFF RD - PHOTOS

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4 of 4



KEY SITE PLAN
 TAKEN FROM STRATA PLAN
 CVC ADDRESS: UNIT 101, 103, 105, AND 107 4865 PAINTED CLIFF ROAD, WHISTLER
 LEGAL DESCRIPTION: STRATA LOTS 5,6,7, AND 8, DL 3903, STRATA PLAN VR 2486.

SITE INFORMATION DEC 2016

OWNER: Strata Plan
 CVC: 8881 Olympic Cliff Road
 LEGAL: COMMON PROPERTY ABOVE SL 5, 6, 7, 8, DL 3903, PLAN VR 2486
 LAND USE REG: Blackcomb Land Use Contract Zone #2
 SITE AREA: 5476.59 5702 1 M2

TOTAL DENSITY	Unit 101	Unit 103	Unit 105	Unit 107	TOTAL
Area	1108	1108	1108	1108	4432
Weight	170	171	171	171	683
Total					2443

NEW AREA ONLY	Unit 101	Unit 103	Unit 105	Unit 107	TOTAL
Area	0	0	0	0	0
Weight	0	0	0	0	0
Total					0

Maximum density per unit = 185 m2 or 1991 sf

Parking: 2 stalls required per unit up to 250 m2 (Schedule 'C' LUC)
 Height: Max 44' or 13.7 m - Actual 12.7m to highest roof. Calculation not provided on height in conforming
 Setbacks: Unchanged
 Site Coverage: Unchanged - 27% per original permit plan
 Floor Space Ratio: Existing 62.7% per original permit plan 34021 sqm 34196 = 62.7%
 Proposed 2443 + 34021 sqm 34196 = 66.8%

- PROPOSED EXTERIOR ALTERATIONS**
- ADD BRICK CORNERS TO BUILDING 1 OVER UNIT 101 AND 107 AT BOTH ENDS OF BUILDING.
 - ADD NEW WINDOWS IN NEW DOORMATS AT NORTH AND SOUTH ENDS OF BUILDING.
 - ADD NEW JULIET BALCONIES AND FRENCH DOORS TO EACH UNIT AT UPPER FLOOR.
 - ADD NEW OPENING WINDOW BESIDE BALCONIES AT UPPER FLOOR.
 - RE-FRAME UPPER FLOOR CEILINGS TO PROVIDE MINIMUM CEILING HEIGHT OVER MINIMUM ROOM AREAS.
- SCOPE OF WORK**
- BUILDING STARTS TO UPPER LEVEL, UNITS 101, 103, 105 AND 107.
 - CREATE FLOOR AT UPPER LEVEL, COMPRISED OF EXISTING CEILING JOISTS, AMENDED PER STRUCTURAL PLANS.
 - EXTEND FIRE SEPARATIONS BETWEEN UNITS TO UNDERSIDE OF ROOF DECK.
 - CONSTRUCT EXTERIOR ALTERATIONS AS NOTED ABOVE.
 - APPLY SPRAY FOAM INSULATION TO INTERIOR OF EXISTING ATTIC ROOF.
 - COMPLETE ASSOCIATED MECHANICAL AND ELECTRICAL WORK.
 - COMPLETE ALL WORK SPECIFIED IN ESSL ALTERNATE APPROACH TO CODE COMPLIANCE REPORT.
 - IMPROVEMENTS TO INTERIORS OF INDIVIDUAL UNITS IS TO BE DONE BY EACH UNIT OWNER, UNDER SEPARATE BUILDING PERMIT.

CONSULTANTS:
STRUCTURAL ENGINEER:
 DEREK SMITH, M.ENG, P.ENG
 Rockingham Engineering
 Consulting Structural Engineers
 220-1555 Marine Drive
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 V7V 1H9
 604-250-1544 (cell)
 dsmith@rockingham.ca
BUILDING CODE CONSULTANT:
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 604-518-3459
 gtriggs@evb.ca

Appendix C

ATA ARCHITECTURAL DESIGN LTD

**200-1687 WEST BROADWAY
 VANCOUVER, B.C. V6J 1X2
 TEL. (604) 736-3730
 FAX. (604) 736-3771**

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REV.	DATE	DESCRIPTION
1	18-11-1	Progress for review - discussion
2	18-12-5	For Development Approval Application

RECEIVED
 By: [Signature] Date: 18-12-2016

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CONSULTANT:
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 kat.s@shaw.ca 604-932-6055

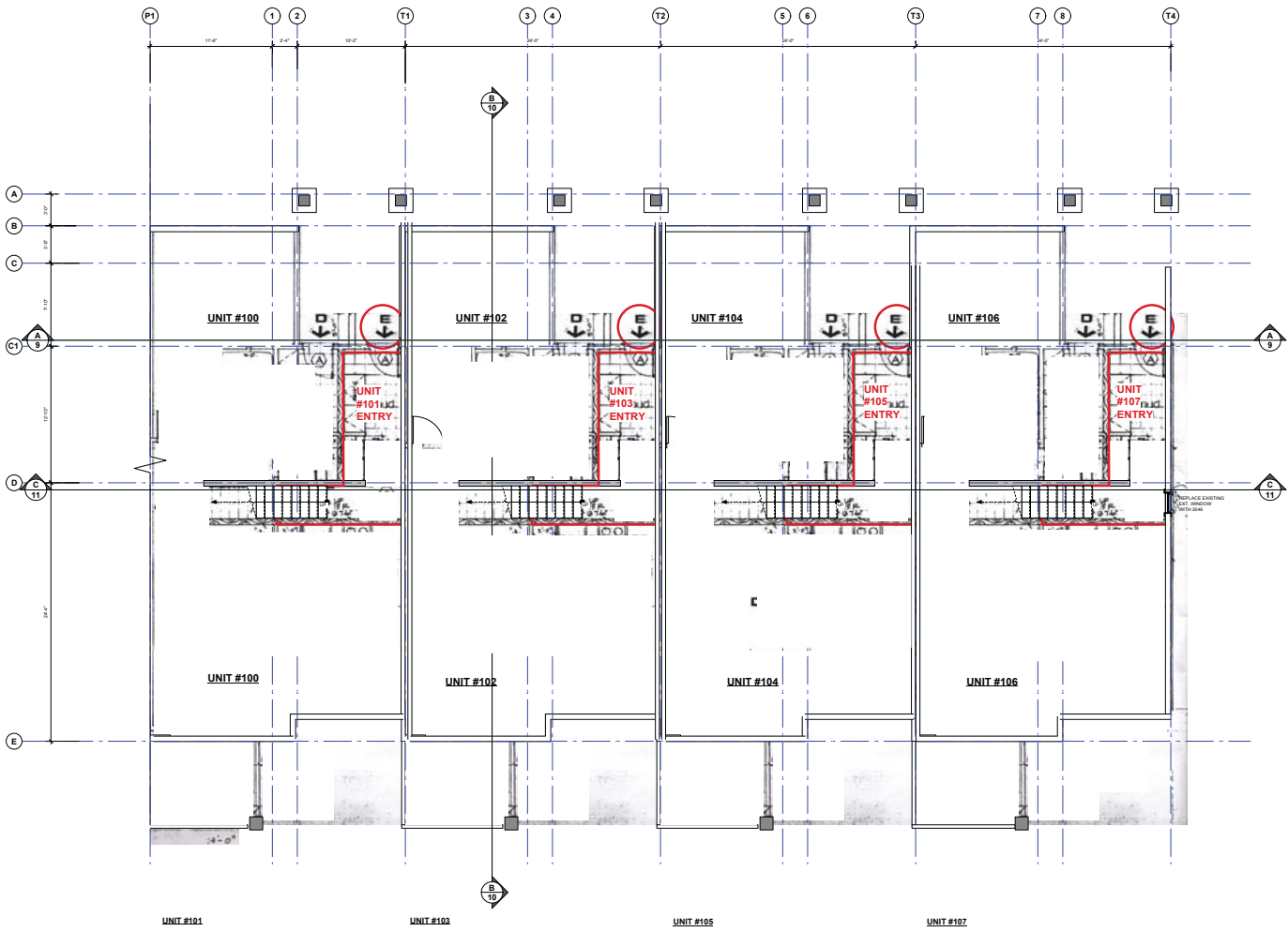
PROJECT:
 BUILDING 1
 #101, 103, 105 & 107 - 4865 PAINTED CLIFF ROAD, WHISTLER

SHEET TITLE:
SITE PLAN

CHECKED BY: ATA
DRAWN BY: KS
START DATE: OCT-2016

SCALE: 3/32" = 1'-0" U.N.O.

PROJECT NO.	DRAWING NO.
20-2016	1 of 10



LOWER FLOOR PLAN
 SECOND STOREY
 NO CHANGE

Appendix C

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REVISIONS:		
REV.	DATE	DESCRIPTION
1	18-11-1	Progress for review + discussion
2	18-12-5	For Development Approval Applic.

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CONSULTANT:
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 DESIGN

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PROJECT:
 BUILDING 1
 #101, 103, 105 & 107 - 4865 PAINTED CLIFF ROAD, WHISTLER

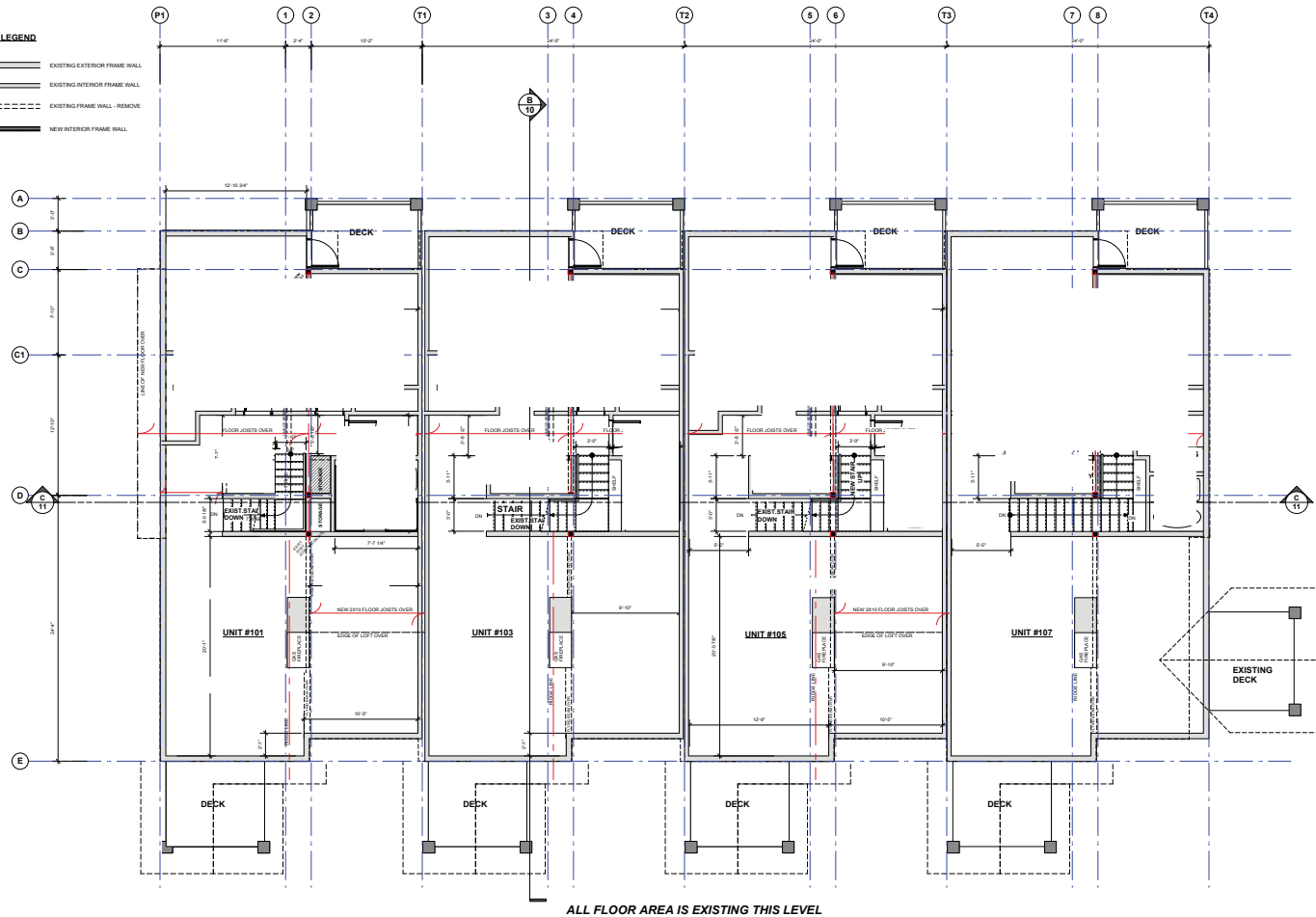
SHEET TITLE:
LOWER FLOOR

CHECKED BY:	ATA
DRAWN BY:	KS
START DATE:	OCT-2016
SCALE:	1/4"=1'

PROJECT NO.	DRAWING NO.
20-2016	2 of 10

WALL LEGEND

	EXISTING EXTERIOR FRAME WALL
	EXISTING INTERIOR FRAME WALL
	EXISTING FRAME WALL - REMOVE
	NEW INTERIOR FRAME WALL



UNIT #101
MAIN FLOOR PLAN
3RD STOREY

UNIT #103

UNIT #105

UNIT #107

Appendix C

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REV.	DATE	DESCRIPTION
1	18-11-1	Progress for review + discussion
2	18-12-5	For Development Approval Applic.

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ALL DIMENSIONS, DETAILS AND SPECIFICATIONS ARE TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY ATA ARCHITECTURAL DESIGN.

CONSULTANT:

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 DESIGN

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 kat.s@shaw.ca 604-932-6055

PROJECT:
 BUILDING 1
 #101, 103, 105 & 107 - 4865 PAINTED CLIFF ROAD, WHISTLER

SHEET TITLE:
MAIN FLOOR

CHECKED BY: ATA

DRAWN BY: KS

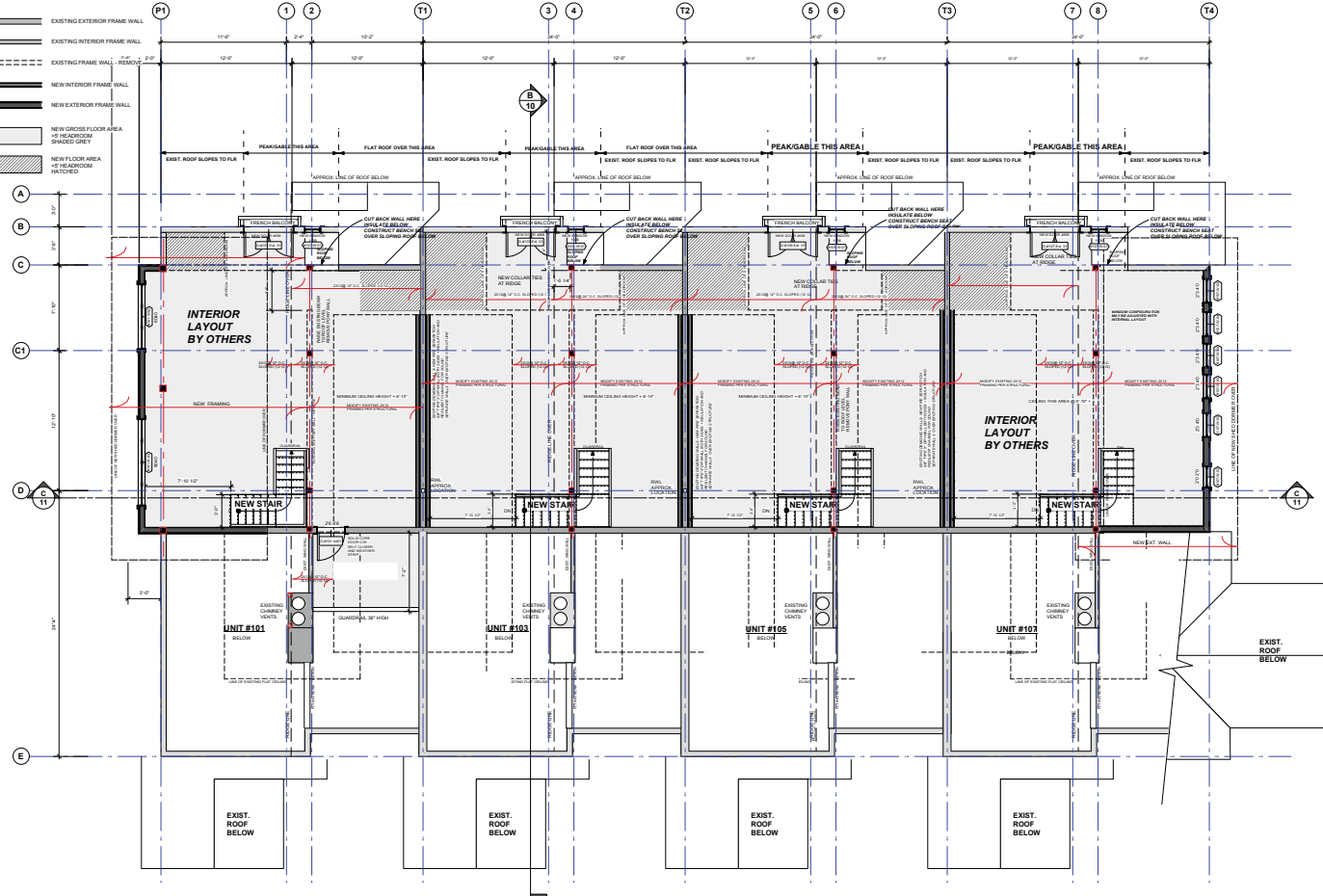
START DATE: OCT 2016

SCALE: 1/4"=1'

PROJECT NO.	DRAWING NO.
20-2016	3 of 10

WALL LEGEND

- EXISTING EXTERIOR FRAME WALL
- EXISTING INTERIOR FRAME WALL
- EXISTING FRAME WALL
- NEW INTERIOR FRAME WALL
- NEW EXTERIOR FRAME WALL
- NEW CONCRETE FLOOR AREA OF HEADROOM
- NEW FLOOR AREA OF HEADROOM



UPPER FLOOR PLAN
 INTERIOR LAYOUT BY OTHERS
UNIT #101
 END UNIT CONDITION
 WITH DOORMS
 NEW GFA = 710 SQUARE FEET

UNIT #103
 MID UNIT CONDITION
 WITH FLAT CEILING THROUGHOUT
 THROUGHOUT
 NEW GFA = 571 SQUARE FEET

UNIT #105
 MID UNIT CONDITION
 WITH FLAT CEILING THROUGHOUT
 THROUGHOUT
 NEW GFA = 571 SQUARE FEET

UNIT #107
 END UNIT CONDITION
 WITH DOORMS
 NEW GFA = 591 SQUARE FEET

Appendix C

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200-1687 WEST BROADWAY
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2	18-12-5	For Development Approval Applic.

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CONSULTANT:
kat sullivan
 DESIGN

KAT SULLIVAN DESIGN
 5401 Matheson Drive
 Whistler BC V0N 1B8
 kat.s@shaw.ca 604-932-6055

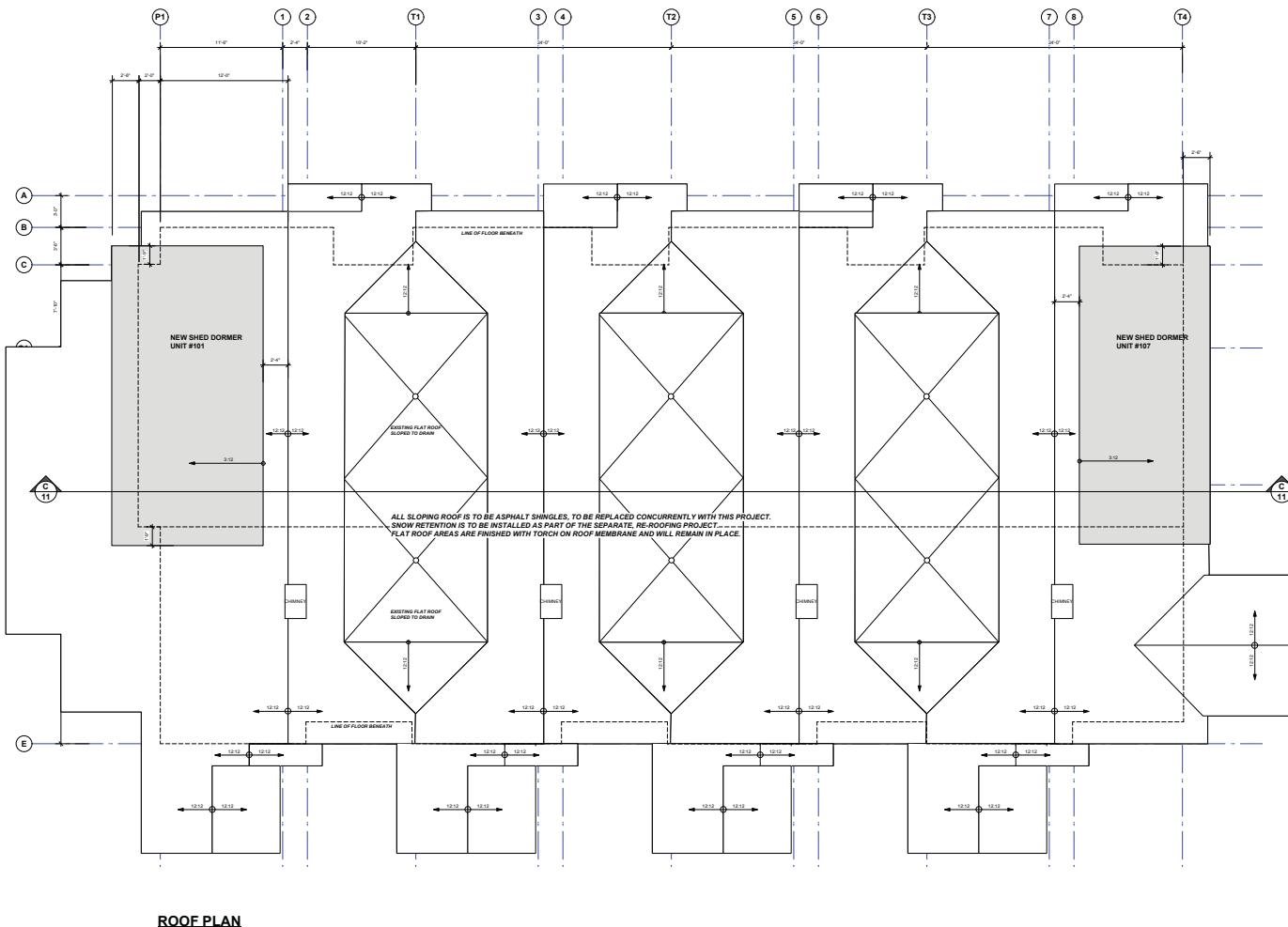
PROJECT:
 BUILDING 1
 #101, 103, 105 & 107 - 4865 PAINTED CLIFF ROAD, WHISTLER

SHEET TITLE:
UPPER FLOOR PLAN

CHECKED BY: ATA
DRAWN BY: KS
START DATE: OCT-2016

SCALE: 1/4"=1'

PROJECT NO. 20-2016	DRAWING NO. 4 of 10
-------------------------------	-------------------------------



Appendix C

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CONSULTANT:
kat sullivan
 DESIGN

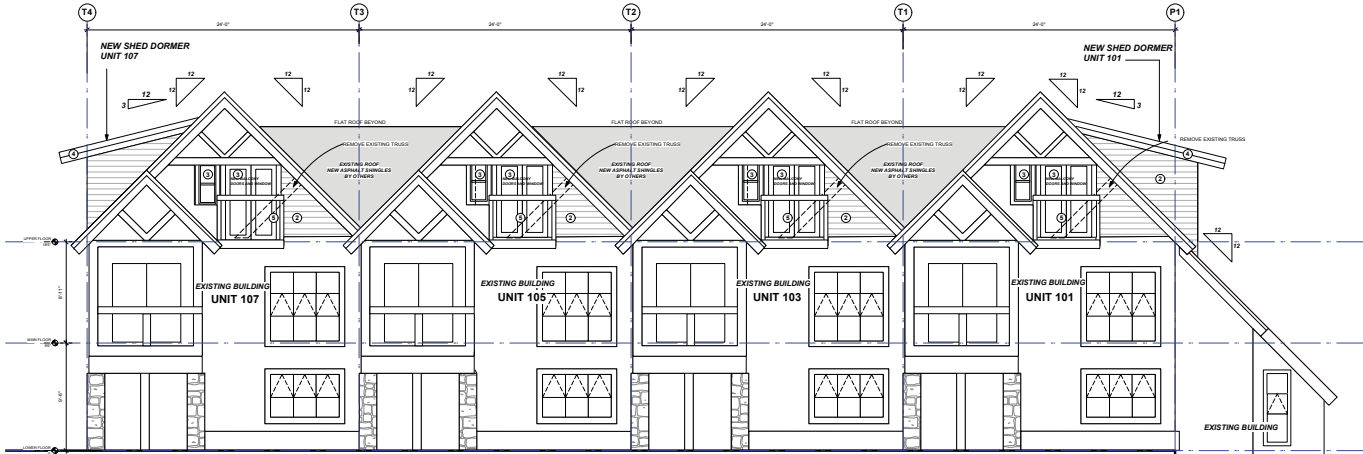
KAT SULLIVAN DESIGN
 5401 Matheson Drive
 Whistler BC V0N 1B8
 kat.s@shaw.ca 604-932-6055

PROJECT:
 BUILDING 1
 #101, 103, 105 & 107 - 4865 PAINTED CLIFF ROAD, WHISTLER

SHEET TITLE:
ROOF PLAN

CHECKED BY: ATA
 DRAWN BY: KS
 START DATE: OCT-2016
 SCALE: 1/4"=1'

PROJECT NO.	DRAWING NO.
20-2016	5 of 10



EAST ELEVATION
1/4" = 1'-0"



WEST ELEVATION
3/16" = 1'-0"

- EXTERIOR FINISHES**
1. ASPHALT SHINGLES (SEPARATE PERMIT)
 2. STAINED CEDAR SIDING TO MATCH EXISTING
 3. VINYL WINDOWS OR DOORS TO MATCH EXISTING
 4. STAINED CEDAR FASCIA TO MATCH EXISTING
 5. STAINED CEDAR METAL AND GLASS GUARDRAIL TO MATCH EXISTING.

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CONSULTANT:

kat sullivan
DESIGN

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5401 Matheson Drive
Whistler B.C. V0N 1B8
kat.s@shaw.ca 604-922-6055

PROJECT: BUILDING 1
#101, 103, 105 & 107 - 4865 PAINTED CLIFF ROAD, WHISTLER

SHEET TITLE: ELEVATIONS

CHECKED BY: ATA

DRAWN BY: KS

START DATE: OCT 2016

SCALE: 1/4" = 1'-0" UNLESS NOTED OTHERWISE

PROJECT NO.	DRAWING NO.
20-2016	6 of 10



200-1687 WEST BROADWAY
VANCOUVER, B.C. V6J 1X2
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CONSULTANT:

kat sullivan
DESIGN

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8401 Matheson Drive
Whistler B.C. V0N 1B8
kat.s@shaw.ca 604-932-6055

PROJECT:
BUILDING 1
#101,103,105 & 107 - 4865 PAINTED CLIFF ROAD, WHISTLER

SHEET TITLE:
ELEVATIONS

CHECKED BY: ATA

DRAWN BY: KS

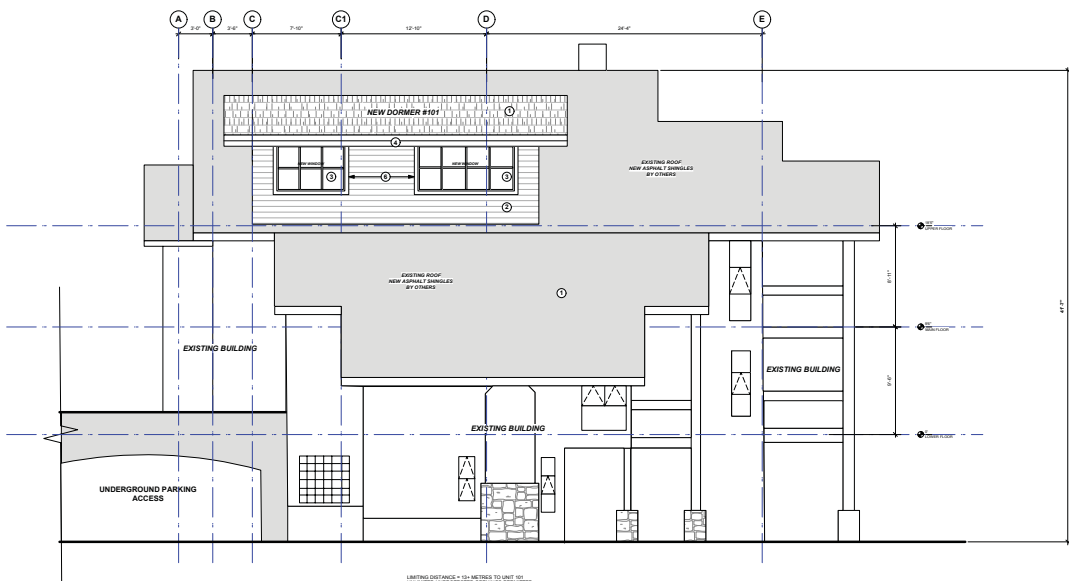
START DATE: OCT-2016

SCALE: 1/4" = 1'-0"

PROJECT NO.	DRAWING NO.
20-2016	7 of 10

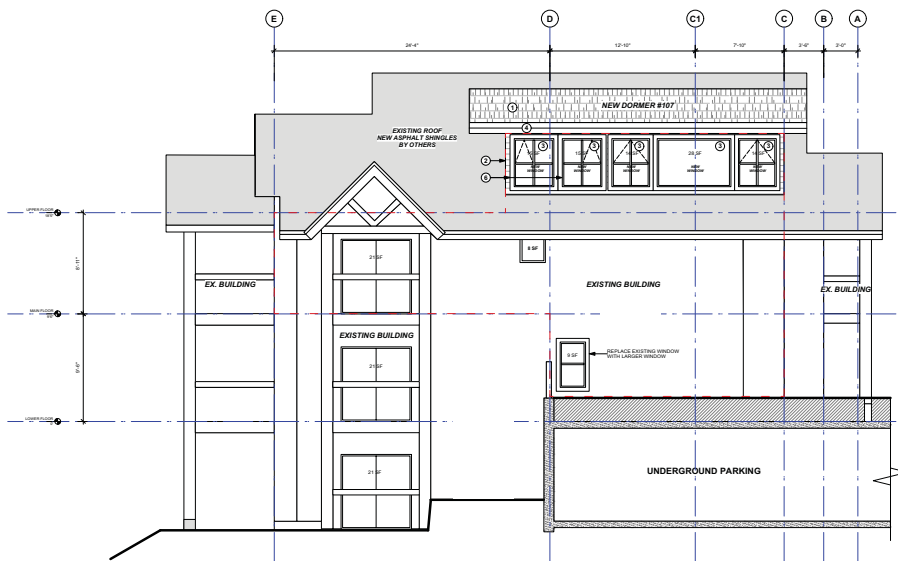
EXTERIOR FINISHES

1. ASPHALT SHINGLES (SEPARATE PERMIT)
2. STAINED CEDAR SIDING TO MATCH EXISTING
3. VINYL WINDOWS OR DOORS TO MATCH EXISTING
4. STAINED CEDAR FASCIA TO MATCH EXISTING
5. STAINED CEDAR METAL AND GLASS GUARDRAIL TO MATCH EXISTING.
6. STAINED CEDAR TRIM TO MATCH EXISTING.



NORTH ELEVATION

LIMITING DISTANCE = 1/2 INCHES TO LEFT OF UNLIMITED ARCHITECTURAL OPENINGS PERMITTED.



SOUTH ELEVATION

LIMITING DISTANCE = 17'-0" OR 5.03 M
 AREA EXPOSED BUILDING FACE UNIT 107 FIRE COMPARTMENT = 726 SF OR 67.4 M²
 AREA = 2.1
 UNEXPOSED/PROTECTED SURFACES UNIT 107 = 103 SF
 % ULD = 14.1%
 WWW.ALLOW UNPROTECTED DRAWINGS - TABLE 3.3.2.1.C - 14.1%

Interpolation				
	5	5.33	6	
60	16	19.31	23	
67.6	14.95	16.52		
80	13	14.65	18	

EXTERIOR FINISHES

1. ASPHALT SHINGLES (SEPARATE PERMIT)
2. STAINED CEDAR SIDING TO MATCH EXISTING
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CONSULTANT:
KAT SULLIVAN
 DESIGN

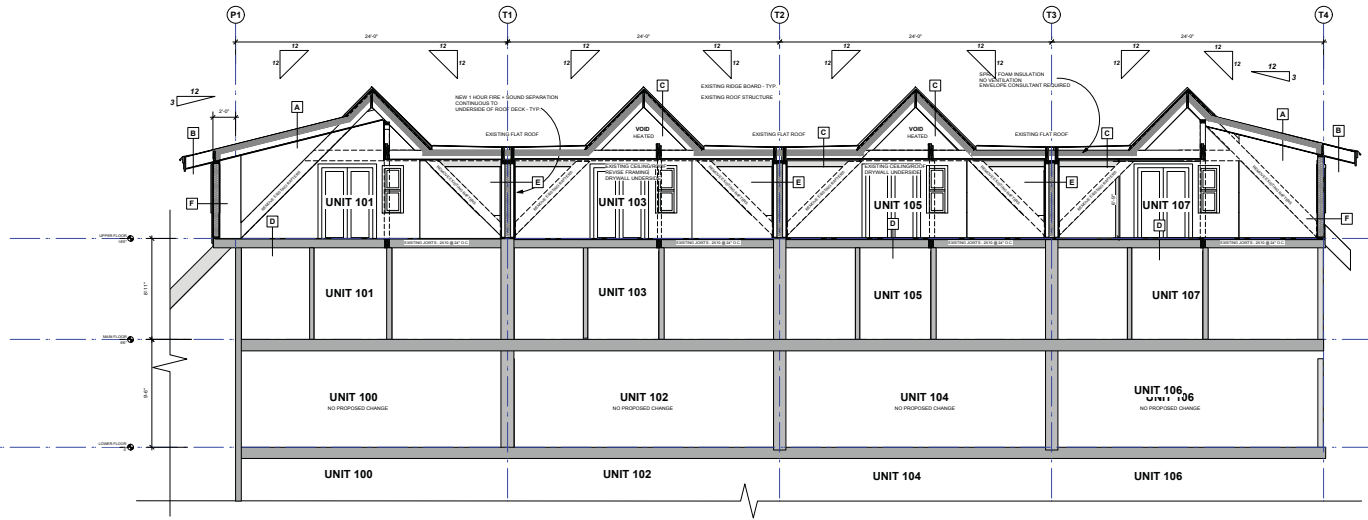
KAT SULLIVAN DESIGN
 5401 Matheson Drive
 Whistler BC V0N 1B8
 kat.s@stn.ca 604-932-6055

PROJECT:
 BUILDING 1
 #101,103,105 & 107 - 4865 PAINTED CLIFF ROAD, WHISTLER

SHEET TITLE:
ELEVATIONS

CHECKED BY: ATA
DRAWN BY: KS
START DATE: OCT-2016
SCALE: 1/4"=1'

PROJECT NO. 20-2016	DRAWING NO. 8 of 10
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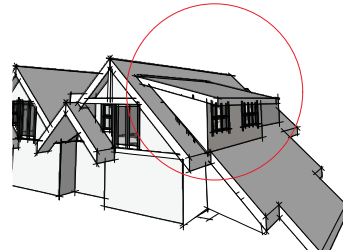


SECTION A-A
UPPER FLOORS ONLY

TYPICAL CONSTRUCTION ASSEMBLIES

- A. NEW ROOF**
EXISTING ASPHALT SHINGLES ON CE AND WATER SHIELD ON TYP. POLY ROOF JOISTS (PER STRUCTURAL PLANS) 2X STRAPPING @ 12" O.C. NEW 6 MIL POLY VAPOR BARRIER 10" GIBB CEILING LIGHTING TO DIMMER SPECIFICATIONS 180 PARTY CERTIFICATION REQUIRED FOR SPRAY FOAM APPLICATION WITHOUT ROOF VENTILATION.
- B. OVERSILLS**
NO INSULATION CEILING SOFFIT TO MATCH EXISTING 1/2" GYPSUM WALLBOARD UNINT. SCREENED SOFFIT VENTS
- C. EXISTING ROOF**
EXISTING ROOF STRUCTURE AND ROOFING MODIFIED PER STRUCTURAL PLANS ADD SPRAY FOAM INSULATION - R2 ADD SPRAY FOAM INSULATION - R2 APPLICATION WITHOUT ROOF VENTILATION.
- D. NEW FLOOR/CEILING - EXISTING FRAME**
FLOOR FINISH 5/8" T&G GYP. JOISTS AMENDED PER STRUCTURAL PLANS) INSULATION OPTIONAL FOR SOUND PER STRUCTURAL PLANS) 1/2" GIBB CEILING FINISH

- E. INTERIOR WALL - ONE HOUR FIRE SEPARATION**
1/2" GYPSUM WALLBOARD 2x4 OR 2x6 STUDS ON TRUSSES (BOTH SIDES) @ 16" OC 5/8" TYP. 1/2" GYPSUM WALLBOARD CONTINUE TO UNDERSIDE OF ROOF DECK USE ACoustical CAULK AND HIGH DENSITY ACOUSTIC INSULATION
- F. EXTERIOR WALL**
EXTERIOR CEILING TO MATCH EXISTING BUILDING PAPER OR TYP. 1/2" EXTERIOR SHEATHING 2x4 STUDS @ 16" O.C. R24 R41 INSULATION 6 MIL POLY VAPOR BARRIER 1/2" GYPSUM WALLBOARD
- G. INTERIOR PARTITION**
1/2" GYPSUM WALLBOARD 2x4 OR 2x6 STUDS @ 16" OC 1/2" GYPSUM WALLBOARD



**PROPOSED DORMER SKETCH
UNIT # 101**

Appendix C

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CONSULTANT:
kat sullivan
DESIGN

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kat.s@shaw.ca 604-932-6055

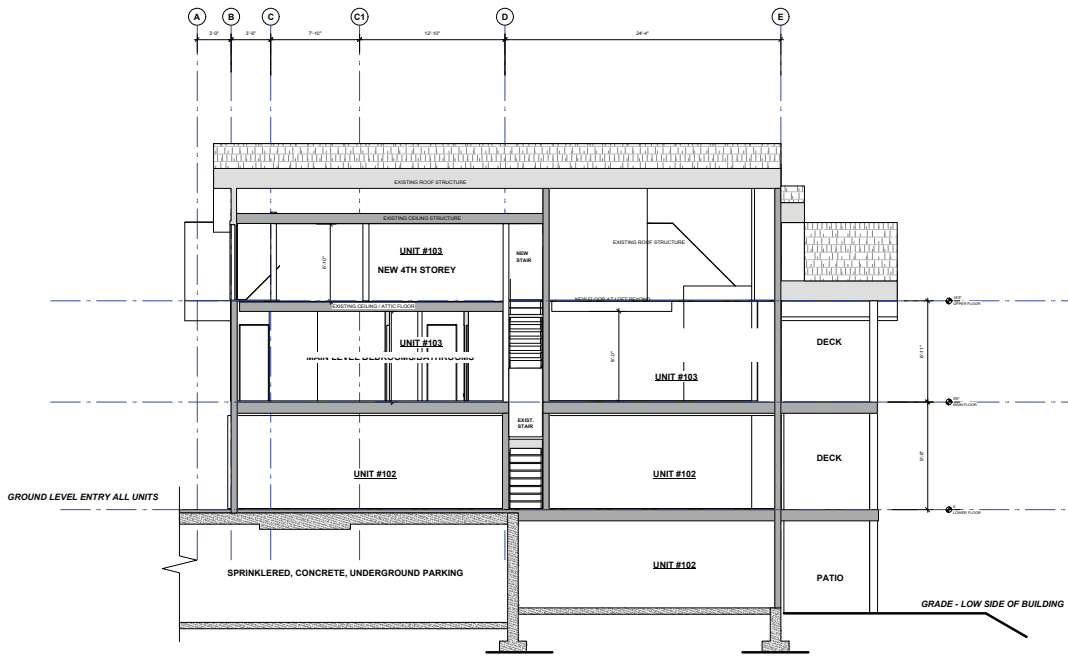
PROJECT:
BUILDING 1
#101, 103, 105 & 107 - 4865 PAINTED CLIFF ROAD, WHISTLER

SHEET TITLE:
SECTION AA

CHECKED BY: ATA
DRAWN BY: KS
START DATE: OCT-2016

SCALE: 1/4"=1'

PROJECT NO. 20-2016	DRAWING NO. 9 of 10
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SECTION B-B
 SCHEMATIC ONLY
 FOR CONSTRUCTION ASSEMBLIES, SEE SECTIONS A + C

Appendix C

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 DESIGN

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 kat.s@shaw.ca 604-932-6055

PROJECT:
 BUILDING 1
 #101,103,105 & 107 - 4865 PAINTED CLIFF ROAD, WHISTLER

SHEET TITLE:
SECTION BB

CHECKED BY: ATA
 DRAWN BY: KS
 START DATE: OCT-2016
 SCALE: 1/4"=1'

PROJECT NO.	DRAWING NO.
20-2016	10 of 15



REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: February 21, 2017 **REPORT:** 17- 013
FROM: Corporate, Economic & Environmental Services **FILE:** 8337.01
SUBJECT: UBCM APPLICATIONS: ALPINE MEADOWS AND CCF5

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the Director of Corporate, Economic and Environmental Services be endorsed.

RECOMMENDATIONS

That Council direct staff to undertake the requisite grant management and internal support for the proposed activities described in UBCM Operational Fuel Treatment and Maintenance Program application (Alpine Meadows – Block 2) attached as Appendix A to Administrative Report to Council No.17-013; and further

That Council direct staff to undertake the requisite grant management and internal support for the proposed activities described in UBCM Operational Fuel Treatment and Maintenance Program application (CCF5) attached as Appendix B to Administrative Report to Council No.17- 013.

REFERENCES

- Appendix A – Strategic Wildfire Prevention Initiative Operational Fuel Treatment and Maintenance Program, Alpine Meadows (Block 2)
- Appendix B – Strategic Wildfire Prevention Initiative Operational Fuel Treatment and Maintenance Program, CCF5
- Appendix C – Map of Alpine Meadows (Block 2) Treatment Area
- Appendix D – Map of CCF5 Treatment Area

PURPOSE OF REPORT

The report describes two UBCM Operational Fuel Treatment and Maintenance Program applications (Alpine Meadows – Block 2, and CCF5) and as per application requirements, requests a resolution in support of each.

DISCUSSION

B.A. Blackwell and Associates Ltd. (Blackwell) were retained in 2005 and 2011 to develop and then update a Community Wildfire Protection Plan (CWPP) for Whistler. The project was funded by the RMOW and a supplementary grant from the Union of B.C. Municipalities' Strategic Wildfire Prevention Initiative (SWPI). A Wildfire Risk Management System was developed to identify key areas of risk within the community. Based on the findings, Blackwell developed a list of priority locations within the valley to receive Operational Fuel Treatment (thinning) in order to reduce the fire behaviour threat class and reduce the risk to the community. The RMOW has received funds through the SWPI program for a number of projects over the last few years and has used these funds to help implement the CWPP recommendations.

The SWPI funding program is broken into two portions given out consecutively for a project: funds for Fuel Management Prescriptions (how the forest will be treated to reduce risk), and once the prescriptions are completed and approved, the second step is to apply for Operational Fuel Treatment funds (the actual tree thinning work). Applicants are required to contribute 25% of total project costs for Fuel Management Prescriptions, and 10% for the related Operational Fuel Treatments.

There are two Operational Fuel Treatment applications included in this Council report: Alpine Meadows (Block 2) and CCF5. Prescriptions were prepared and approved for these sites in 2016, and the Operational Fuel Treatment applications submitted to the SWPI program for its January, 2017 intake. A requirement of the application process is to receive a resolution from Council to confirm a willingness to provide overall grant management and to express support of the proposed activities. If the funds are awarded, work would be targeted for autumn 2017, however the RMOW has a two year window in which to complete the project.

The **Alpine Meadows (Block 2) application** covers a 15 hectare area of Crown Land within the Cheakamus Community Forest tenure above Alpine Meadows from the top of Alpine Way and adjacent to either side of the access road to the Flank Trail. See Appendix C for map. The prescription calls for a reduction in fuel loading, ladder fuels and fuel continuity, all of which are characteristics that provide direct and local protection to residences in Alpine Meadows. The second function of this proposed prescription is to provide the community and RMOW the protection of a landscape-level fuel break as the area, in conjunction with 19-Mile Creek, provides protection from an advancing fire from the west or south. The thinning will reduce aggressive fire behaviour to an extent that should improve the ability of firefighting crews to suppress its growth. Prescribed fire is an option for debris management in this area except for Treatment Unit (TU) 2C which is closest to Wedgeview Place. The final decision on debris management will be made based on discussions between the RMOW, the chosen contractor and the RMOW fire specialist.

The **second application** is for an area called **CCF5** near the Whistler Cemetery and also located within the Cheakamus Community Forest (CCF) tenure. The upper boundary is Whip Me Snip Me north to the Rainbow Trail/water treatment facility access road. See Appendix D for map. The total treatment area is 6.7 hectares less a 0.5 hectare net down due to road rights of way. This area was determined to be a high risk due to the forest type and proximity to critical water supply infrastructure. Pile burning may be permitted on this site due to its distance from residential areas. However, the final decision on debris management will be made based on discussions between the RMOW, the chosen contractor and the RMOW fire specialist.

The applications were completed and submitted for the January, 2017 SWPI program intake and a decision is expected within the next 6-8 weeks. An RFP was released to receive proposals from interested contractors but a contract won't be awarded until the UBCM funding is confirmed.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Finance	The cost of maintaining the resort community is shared	UBCM program covers the majority of costs.
Health & Social	The resort community is safe for both visitors and residents, and is prepared for potentially unavoidable emergency events	Wildfire risk has been identified and the RMOW is taking action on a plan to reduce that risk.

Natural Areas	Developed and recreation areas are designed and managed to protect as much of the natural environment within and around them as possible	The thinning program includes biodiversity goals so that long term forest health is improved by removing much of the skinny, dense second growth that provides limited habitat values.
---------------	--	--

W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
	N/A	

OTHER POLICY CONSIDERATIONS

The CWPP and wildfire management program is consistent with OCP policies, the Community Energy and Climate Action Plan, and the recently finalized Wildfire Protection Strategy received by Council on January 24, 2017. The objectives of the proposed fuel treatments are to reduce the fire risk to residences, infrastructure and forest ecosystems, to demonstrate FireSmart principles, enhance the ability of the province and Fire Rescue Services to protect public and private properties, enhance natural barriers that reduce the continuity of fuel loads and wildfire risk, and to provide for ecosystem enhancement and restoration.

BUDGET CONSIDERATIONS

The UBMC grant program provides 90% of the cost of eligible Operational Fuel Treatment activities up to \$400,000. Based on past projects in Whistler, the UBCM has agreed to pay \$20,000 per hectare while the RMOW contributes the remaining costs. The difference arises because most communities do a rougher thinning job using machines rather than the amount of handwork Whistler does. Most other communities burn the wood debris on site while Whistler trucks it to the composter. This approach provides needed woody material for the composter, reduces air quality impacts and avoids smoke impacts to nearby residents.

The total proposed cost for the Fuel Management Prescription Program for **Alpine Meadows (Block 2)** is \$455,800 with \$300,000 requested from the UBCM,. The RMOW is responsible for the remaining \$155,800.

The total proposed cost for the Operational Fuel Treatment Program for **CCF5 area** is \$222,800. The UBCM grant request is for \$100,000 with the RMOW responsible for the remaining \$122,800.

The requested amount for CCF5 is less than \$20,000 per hectare because the RMOW is co-applying for the Alpine Meadows (Block 2) grant at \$300,000. Combined, the two projects would maximize the annual UBCM funding allowed at \$400,000. These figures are included in the 2017 RMOW budget, Project S018.

COMMUNITY ENGAGEMENT AND CONSULTATION

Before each thinning project starts, information is provided to the public through local media, Whistler.ca, Whistler Today and in some cases, targeted letters to neighbouring landowners. Information signs are also erected at each location to describe the project. The Squamish and Lil'wat Nations have been consulted as the thinning prescriptions were developed, and will be consulted as part of the process to secure a Forest License to Cut from the province, as well as be invited to submit proposals to carry out the thinning work.

SUMMARY

The RMOW continues its wildfire management program as per the recommendations of its Community Wildfire Protection Plan. It is prudent to take action to minimize risk in identified areas and take what efforts we can to protect our community. These two UBCM grants significantly assist in the funding of the on-the-ground fuel thinning projects.

Respectfully submitted,

Heather Beresford
ENVIRONMENTAL STEWARDSHIP MANAGER
for
Ted Battiston
DIRECTOR, CORPORATE, ECONOMIC AND ENVIRONMENTAL SERVICES

Strategic Wildfire Prevention Initiative

Operational Fuel Treatment & Maintenance Program

2017 APPLICATION FORM

Please type directly in this form or print and complete. Additional space or pages may be used as required. For detailed instructions regarding application requirements, please refer to the *2017 Operational Fuel Treatment & Maintenance Program & Application Guide*.

Please note: Applications to perform maintenance must be submitted on separate application forms from applications to treat new areas

SECTION 1: APPLICANT INFORMATION

Local Government or First Nation: Resort Municipality of Whistler

Date of Application: 30/01/2017

Contact Person*: Heather Beresford

Title: Manager, Environmental Stewardship

Phone: 604-935-8374

E-mail: Hberesford@whistler.ca

* Contact person must be an authorized representative of the applying local government or First Nation.

SECTION 2: PROJECT INFORMATION

1. NAME OF PROJECT.

Alpine Meadows (Block 2) 2017 OFTP

2. CURRENT FUEL MANAGEMENT PRESCRIPTION. All operational fuel treatments funded through the SWPI are required to be support by a completed fuel management prescription.

Name of prescription: Fuel Management Prescription: Alpine Meadows (Block 2)

Date of prescription: 27/04/2016

3. PROJECT DESCRIPTION. Please provide a geographic description, description of fuel load and objective(s) of the proposed fuel treatment for the area being considered for treatment.

The Alpine Meadows area (Block 2) lies adjacent to and above the Alpine Meadows neighbourhood in the RMOW and on Crown land. Access to this area is west from Sea to Sky highway on Alpine Way and a dirt road (Mid-Altitude Trail) into most of the area. The prescription area is mostly characterized by second growth conifer dominated stands fuel typed as C3, C4 and C5. The Alpine Meadows prescription serves dual functions. Treatment units (TUs) 1 and 2c provide direct protection to the residences or infrastructure within the WUI in the event of an approaching wildfire from the south or west. The prescription calls for a reduction in fuel loading, ladder fuels and fuel continuity; all of which are characteristics that provide direct and local protection to residences in the Alpine Meadows community. The second function of this proposed prescription is to provide the community and RMOW the protection of a landscape-level fuel

break. TUs 2a and 2b, in conjunction with Nineteen Mile Creek provide protection from an advancing fire from the west or south. These TUs will function to reduce aggressive fire behaviour to an extent that should improve the ability of firefighting crews to suppress its growth.

Is this a maintenance treatment? Yes No

If yes, please refer to Section 3 of the Program & Application Guide (Eligible Projects) and provide a detailed rationale for undertaking a maintenance treatment:

Is this a retreatment? Yes No.

If yes, please provide a rationale:

4. PROPOSED NUMBER OF HECTARES. Please provide the gross and net hectares to be treated. If applicable, please separate hectares on Crown land from hectares on local government land.

New area: Gross: 15.0 ha; Net: 15.0 ha; ALL PRESCRIBED TREATMENT AREAS ARE PROVINCIAL CROWN LAND. In addition, the prescription area overlaps the Cheakamus Community Forest Limited Partnership tenure area.

Maintenance:

Retreatment:

5. MOUNTAIN PINE BEETLE AFFECTED TIMBER. Please indicate if this project includes Mountain Pine Beetle fuel type.

Yes No

6. WILDFIRE RISK CLASS or THREAT RATING & PRIORITY OF PROPOSED AREA. Please indicate the Wildfire Risk Class, or the Wildfire Behaviour Threat Class and WUI Threat Class if threat assessments were completed prior to 2017.

TU1: Wildfire behaviour threat class (Moderate, 92), WUI threat class (high, 28); TU2A: Wildfire behaviour threat class (High, 111), WUI threat class (moderate, 14); TU2B: Wildfire behaviour threat class (Moderate, 92), WUI threat class (high, 28); TU2C: Wildfire behaviour threat class (High, 100), WUI threat class (high, 35)

If the proposed treatment contains areas that are not high or extreme Wildfire Risk Class, or Wildfire Behaviour Threat Class and WUI Threat Class if threat assessments were completed prior to 2017, but that link eligible areas for a logical fuel treatment, please provide a rational for including these areas:

N/A

7. COMMUNITY ENGAGEMENT. Please describe all community involvement in wildfire risk mitigation in the past 2 years (as described in Sections 5 and 6 of [2017 CWPP Template](#)), including:

Fuel management: RMOW has implemented SWPI UBCM-funded prescriptions and OFTP treatments in years 2015 and 2016. Some of these prescriptions were implemented including

Millars Pond (2015) and Brio (2016) and an additional prescription submitted in 2016 (Blocks 7 and 8-2).

-The RMOW has funded and managed an independent project to create landscape-level fuel breaks in the Callaghan valley, which is ongoing in 2015. Operations commenced on this prescribed area in the Callaghan in 2015 and have continued through 2016.

The RMOW has wildfire management information on its website at <https://www.whistler.ca/services/emergency/fire> and has had articles published in the local newspaper.

FireSmart planning and activities: RMOW Council has earmarked funds in the 2013-2017 financial plan for Firesmart initiatives. This is the first time FireSmart initiatives have been included in the Council budget. The municipal Fire Department currently offers free home assessments and detailed information regarding FireSmart within the RMOW at <https://www.whistler.ca/fire/firesmart>.

Community education: Currently, Whistler Fire Rescue Service offers fire safety programming to daycares, preschools, and schools as well as adults to help them make their homes a safe place. <https://www.whistler.ca/services/emergency/fire/public-outreach>

Local government wildfire response resources: A minimum of one practice/ cross training session is organized annually. These sessions are executed in cooperation with the Pemberton Fire Base at the start of the fire season; the objective is to improve familiarity with and working relationships between RMOW Fire Department and Wildfire Management Branch staff and equipment.

- During HIGH or EXTREME fire danger classification times, campfires at campsites are prohibited.

- In 2015 and 2016, all Fire Department Paid-On-Call staff are S100 trained; all Fire Department career staff are S215 trained. Several of RMOW Public Works staff are trained in S100. The Fire Department has worked with Whistler Blackcomb (WB) to train the majority of their staff in S100.

- The Fire Department has a CAFS truck within the fleet. Budgeting over the next few years includes the purchase of an additional Type 1 SPUs (sprinkler protection units)(in 2015).

Other:

8. REVIEW OF APPLICATION. Were any other agencies consulted in the development of the project and/or application prior to submission? Please check all that apply, add contact names and provide any supporting documentation:

BC Wildfire Service. Contact person(s):
Tony Botica, Fuels Management
Specialist

Local fire officials. Contact person(s):

Land manager (e.g. MFLNRO resource district or BC Parks). Contact person:
Frank DeGagne, Land & Resource Spec.
Sea to Sky RD

First Nations' Emergency Services Society.
Contact person:

Area-based tenure holders. Contact person:
Tom Cole, Manager of Cheakamus
Community Forester

Other:

9. PARTNERSHIPS & LEVERAGING. Are any other partners or funders supporting this project?

No

10. CONTRACTOR INFORMATION. If a contractor is being used to do some or all of the work, please describe how you will select a qualified individual:

Operational Treatment Contractor will be selected through a competitive request for proposal process. Contractor supervision, quality control, and final deliverables will be undertaken by BA Blackwell and Associates Ltd. with project management being a joint effort between the RMOW and Blackwell.

If possible, please include the name(s) of the contractor(s).

Operational Treatment Contractor: To be determined

GIS Contractor: BA Blackwell and Associates, Ltd.

Eligible activities and costs are outlined in Section 4 of the Program & Application Guide (Eligible & Ineligible Costs & Activities).

In Section 3, include all proposed eligible costs and clearly describe the proposed treatments, including information on the estimated days of work, hourly/daily rates and types of equipment and estimated hours of use. If hand and mechanical treatments are proposed, provide separate descriptions and costs.

SECTION 3: PROPOSED FUEL TREATMENT ACTIVITIES & COSTS

Productivity and details on equipment used for the project will not be known until the tender process is completed, as the capability and competitive advantage of fuel treatment contractors varies. The objective of the tender process will be to encourage each contractor to propose creative solutions to ensure the most cost-effective methods for fuel treatment, while meeting the intent of the prescription. Proposed costs below assume the use of a hand crew for the majority of the work, with debris removal from the site by machine/truck. Pile and burn has now been accepted by the RMOW as an acceptable debris management option, however, the costs below have been calculated to reflect historical methods (hauling debris off-site using bin truck) in order to be conservative. As in previous applications, the RMOW understands that the UBCM has previously not funded per hectare costs in excess of \$20,000, and is prepared to fund the excess with municipal funds.

Activity	Proposed Cost
Consultation with the Fuel Management Specialist or Liaison, land manager, forest tenure holders, other local governments, or other stakeholders regarding the proposed project. <i>This activity may take place within 12 months prior to application submission. Please describe:</i>	\$0.00
Eligible fuel treatment activities: Stand treatments	
<ul style="list-style-type: none"> Prescribed fire, including broadcast burning. <u>Please describe:</u> N/A 	\$0.00
<ul style="list-style-type: none"> Pruning. <u>Please describe:</u> Pruning will remove branches from all retained trees to a minimum of 2 m from the ground. The total estimated days of actual work (assuming a 4-person crew), will be appx. 22 full days. This equates to a 0.6 ha/day rate. Or approx. \$1,600 total daily rate or per day/person rate of \$400.00. This rate relates to a 10-hour work day for operations. 	\$34,000.00
<ul style="list-style-type: none"> Tree felling, including hand and mechanical tree felling. <u>Please describe:</u> The overstory canopy will need to be selectively thinned to achieve prescription specifications. The cost assumption is that a handcrew and a machine will be 	\$85,000.00

<p>utilized in combination for tree felling within the treatment area. The total cost estimate for this line item is that this will account for 20% of the total cost per hectare estimate of \$30,000 (or \$6,000/ha). This \$30,000 estimate is based on known historical rates and costs derived from competitive tendering processes. The productivity equates to approximately 0.25 ha/day or \$1,600 daily total.</p> <ul style="list-style-type: none"> • HAND: Trees over 17.5cm dbh will require a certified faller. • MACHINE: A walking harvester or other low impact machine may be employed (given access is determined) for mechanical thinning of larger diameter stems. 	
<ul style="list-style-type: none"> • Thinning, including hand and mechanical thinning. <u>Please describe</u>: The stands will be thinned from below to target densities specified in the prescription (550-600sph target density). It is possible that both hand and machine methods will be employed in the execution of these treatments. The cost assumption is that a handcrew will execute most or all of this activity, as access for machinery is not guaranteed. This total cost estimate was equated as an assumption that proportional cost is 30% of the total \$30,000/ha cost (or \$9,000/ha). This \$30,000 estimate is based on known historical rates and costs derived from competitive tendering processes. This equates to 0.15 ha/day or \$1,600 daily total. • HAND: Trees less than 17.5cm do not require a certified faller. Previous treatments in similar stand types have shown that hand thinning is very slow and labour intensive. Productivity targets are 0.25ha/day for a hand thinning crew although this is dependent on the tendering process and the chosen contractor. • MACHINE: Conventional machinery may not be suitable for this treatment area (due to level of disturbance along high value recreation area, as well as steep slopes and safety concerns). If access secured, a low impact machine may be employed. Productivity will vary by type of machine, and will not be determined until the tendering process is complete. 	\$128,000.00
<ul style="list-style-type: none"> • Brushing. <u>Please describe</u>: N/A 	\$0.00
<ul style="list-style-type: none"> • Grazing. <u>Please describe</u>: N/A 	\$0.00
<ul style="list-style-type: none"> • Tree planting for species conversion. <u>Please describe</u>: N/A 	\$0.00
<p>Eligible fuel treatment activities: Debris Management</p>	
<ul style="list-style-type: none"> • Prescribed fire, including broadcast burning and pile burning. <u>Please describe</u>: Prescribed fire is an option for debris management in all TUs except for sections of TU2C where pile burning is not allowed. If pile burning is not intended as a treatment method then the budget allocated to this line item will be transferred to 'debris removal' below. This budget assumes a combination of both pile burning and chipping. Total days of work for a 4-person crew is estimated at 6.5 days total or 2.0 ha/day. If pile burning is not chosen as a debris management activity, the money allocated for this line 	\$10,500

<p>item will be moved to debris management chipping or to debris removal. The total daily rate of cost is \$1,600 or approximately \$400/person/day for a 10-hour work day.</p>	
<ul style="list-style-type: none"> • Piling, including hand and mechanical piling. <u>Please describe:</u> The operational contractor will decide if piling and subsequent pile burning is a chosen method over chipping. This budget assumes a combination of both pile burning and chipping. If the contractor chooses not to burn piles then the budget allocated to this line item will be transferred to 'debris management', below. Total days of work for a 4-person crew is estimated at 6.5 days or 2.0 ha/day. If pile burning is chosen as a method by the operational contractor, piles will be constructed as directed in the prescription and will comply with the BC Wildfire Act and Wildfire Regulations and Environmental Management Act Open Burning Smoke Control Regulations. Piles will not be larger than 3mx3mx2m (Category 2 piles). No piles will be constructed in the area that overlaps the community watershed and in the area labelled 'No Burn Zone' on the prescription map. The total daily rate of cost is \$1,600 or approximately \$400/person/day for a 10-hour work day. 	<p>\$10,500</p>
<ul style="list-style-type: none"> • Debris management, including lop and scatter, chipping, mastication and grinding. <u>Please describe:</u> This rate was determined by calculating the proportional cost Chipping may be proposed as a debris management method rather than pile burning. Determination of the chosen method (either one or the other or a combination of the two) will be determined at the discretion and in consultation with the field supervisor. This budget assumes a combination of both methods. Chipping within the stand and from the roadside will be feasible. If pile burning is used instead of chipping, costs will be reallocated into prescribed fire and piling categories. The total days of work dedicated to this line item is appx. 40 days at a rate of 0.3 ha/day. This includes daily mobilization and demobilization of the chipper. The daily rate is approximately \$1,600/day. 	<p>\$64,000</p>
<ul style="list-style-type: none"> • Debris removal, including chip removal, hog fuel removal and slash removal. <u>Please describe:</u> Given past projects in the RMOW, debris removal is included in this application in order to be conservative. The overall cost estimate is that historically, the total cost was \$30,000/ha and chipping accounts for generally 15% of costs (\$4,500/ha). The cost assumes that material will be chipped and removed by bin truck or other vehicle. This includes cost estimates for all transportation of chipped material. In the event that pile burning is utilized instead, costs will be reallocated to prescribed fire and piling categories. 	<p>\$64,000.00</p>
<ul style="list-style-type: none"> • Tree removal, including sawlog, firewood and other forest products. <u>Please describe:</u> This total cost estimate was calculated through historical analysis of previous operationa fuel treatments which generally cost \$30,000/ha. The costs assumed to account for this line item will likely account for 6.0% of total costs (\$1,800/ha). Thinning in the larger size 	<p>\$26,000</p>

classes (>17.5cm) will generate debris that will be difficult to burn or chip. It may be favourable to buck and pile these pieces for roadside firewood pickup for the community or distribute to a camping facility nearby.	
Grass seeding. <u>Please describe</u> : N/A	\$0.00
Burn Plan and/or Custom Venting Forecast. <u>Please describe</u> : Pile and burn is not a guaranteed debris disposal method. However, if utilized, some cost allocation will be redistributed here for a custom venting forecast and the cost for this will be paid from the 'debris management' line item. The projected total cost for this line item will be \$700.00 and covers the cost of custom venting forecasts from Squamish or another local weather station. If local venting conditions do not seem to be represented accurately by regional weather stations, contractor may wish to receive custom venting forecast in order to have more accurate local forecast. Previous pile burning was limited by venting days forecast for Squamish and local forecasts may have provided more flexibility in burning days.	\$0.00
Danger tree assessments. <u>Please describe</u> : Completed by the operational contractor by a qualified Wildlife/Danger Tree Assessor prior to commencement of hand treatment work. The total number of days for this line item (1 person assessing) is approximately 2.5 days at a productivity rate of 5 ha/day. This assumes a work day of 10 hours/day or an approximate daily rate of \$1,500 for a two person crew.	\$4,000
Updates to existing threat assessment plots and related spatial data to conform to the current Wildfire Threat Assessment standards. <u>Please describe</u> : The four threat assessment plots will be located in the field, photos taken as per the standard and threat score confirmed prior to treatment. This equates to \$125.00/plot.	\$500.00
Preparation of maps, spatial data, and metadata. <u>Please describe</u> : All spatial data management and preparation for final deliverables package. This includes the GPS and recording of field data of prescription specification activities including any changes to the original prescription. The quality control and assurance procedures post-operation and production of finalized spatial datasets. Production of PDF maps, spatial data geodatabase and metadata as per current (2017) UBCM standards. Preparation of all spatial data and any revisions that may be requested by SWPI. Cost equates to a professional rate of \$65.00/hour (junior professional) and \$85.00/hour (senior professional) or approximately 32 total hours of work (or 4, 8-hour work days).	\$2,100.00
Notifications of operational fuel treatment commencement to First Nations and other tenure holders. <u>Please describe</u> : Notification packages developed and sent to First Nations and other tenure holders (notably recreation), several weeks prior to treatment commencement. The First Nations include Lil'wat and Squamish First Nations. This will pay for the fee that is required Lil'wat and the Squamish FN for the Heritage Resources Assessment.	\$200.00

<p>Staff and contractor costs directly related to fuel treatment activities. <u>Please describe:</u> Project management including tender development and evaluation which involves the preparation of the tender document in consultation with the Client and other parties. The evaluation period will entail a detailed comparison of all qualified applications and collaboration with the Client. Once the operational contractor is decided and accepted; the field supervisor will assist the Client and operational contractor in setting up all paperwork and necessary documentation prior to project commencement. This involves the application and receipt of the appropriate timber licence from FLNRO. The Consultant will facilitate a pre-work meeting with additional parties and the successful contractor in order to setup specific direction for the operations. Field supervision will involve multiple field visits throughout the period of operations; the field work will entail one or two visits per week and following the initial phase these visits can decrease to one visit every three weeks approximately. Field work budgeting is variable and depends on project efficiency. This line item also covers site visits for quality assurance once the project is being finalized and the field supervisor must field check for completeness and quality. This involves the collection of field data including stand structure and field data to ensure the specifications have been met. Finally, the Consultant will develop the final report and cost calculation in collaboration with the Client. This line item also includes all gas and food required for all of the field work and travel from North Vancouver. Junior professional rates at \$65.00/hour and senior professional rates at \$85.00/hour.</p> <p>Tender development = 44 hours at an average of \$70/hour (junior and senior prof. rates averaged)</p> <p>Pre-work meeting = 35 hours at an average of \$70/hour (junior and senior prof. rates averaged)</p> <p>Supervision Costs = This will likely require 120 hours total.</p> <p>Post-treatment Plots = 30 hours total required. There will be approximately 10 plots completed.</p> <p>Travel = This is for 5 trips total budgeted at 20 hours.</p> <p>Food and gas= \$800 total</p>	<p>\$18,200.00</p>
<p>Applicant administration costs directly related to fuel treatment activities. <u>Please describe:</u> Local government project management costs, including review of tender documents, evaluation decision, project management and fiscal management throughout the project, interface with public, liaison with UBCM. This will be funded directly from RMOW as in-kind contribution.</p>	<p>\$2,000.00</p>
<p>Post-treatment signage and public information costs directly related to completed fuel treatment activities. <u>Please describe:</u> Large format (3' x 4') weather-proof signs (up to 4 or 5 signs) will be customized for each treatment area, printed and installed at strategic locations.</p>	<p>\$800.00</p>

Other proposed activities. <u>Please describe</u> : If treatment is implemented during breeding bird season, nesting surveys will be required. If operations occur outside of the breeding bird season then this line item will not be utilized. If work is conducted within breeding bird season a Registered Professional Biologist will be subcontracted to assess the treatment areas for bird activity with a focus on nesting activity and active nests. The productivity for this work is approximately 15 ha/day and the work will likely be up to 7 days total. This assumes a registered biologist rate of \$85.00/hour at an 8-hour a day total rate.	\$5,000.00
Total Proposed Costs:	\$455,800

The Operational Fuel Treatment program can contribute a maximum of 90% of the cost of eligible activities up to \$400,000 in funding per municipality and First Nation per calendar year and up to \$600,000 in funding per regional district per calendar year. The remainder (10%) is required to be funded through community contributions.

Total Grant Requested (90% of total cost to maximums listed above): NOTE: This requested amount is equal to \$20,000/ha, given previous funding decisions by the UBCM. This results in a community contribution of \$158,800. If the project was funded up to the maximum, the total grant requested would be \$400,000.00.	\$300,000.00
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Please note that you will be required to provide detailed information on the community contribution in the final report, including contributions from other grant programs and all project revenues. In cases where other grants are used as a community contribution, documentation must be available to demonstrate how actual costs from other grant contributions are accounted for. For example, labour costs must include information on the number of hours worked, the hourly rate, and the eligible activity that was undertaken (e.g. 50 hours at \$18/hr for chipping). If information is available now, please complete Sections 4 and 5.

SECTION 4: OTHER GRANTS	
Grant(s) Description:	Estimated Grant Value
	\$0.00

SECTION 5: REVENUE	
Revenue(s) Description (from merchantable timber and/or other forest products):	Estimated Revenue
Merchantable timber is not recommended at this time as there is insufficient volume to offset additional costs and administrative workload for log removal. One option for this timber is to produce firewood to be left for pickup by the public but this creates no revenue.	\$0.00

SECTION 6: REQUIRED APPLICATION MATERIALS
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Only complete applications will be considered for funding. The following separate documents are required to be submitted as part of the application:

- Completed Application Form
- Local government Council or Board resolution, or First Nation Band Council resolution, indicating support for the current proposed activities and willingness to provide overall grant management. **THIS WILL BE FORTHCOMING, POST COUNCIL MEETING FEBRUARY 21, 2017.**
- A copy of the completed prescription for the proposed treatment area, including all maps. If SWPI funded, the complete prescription final report must be submitted and approved by the Strategic Wildfire Prevention Working Group prior to submission of the operational treatment application.
- Wildfire Threat Assessment worksheets and threat plot photos completed as per the relevant Wildfire Threat Assessments Guide. Previously submitted threat information does not need to be resubmitted, however reference to the previous submission details must be provided.

The UBCM submission, including the Wildfire Threat Assessment Worksheets and Threat Plot Photos were submitted to UBMC in late January, 2016.

- If not SWPI funded, a copy of the completed CWPP for the proposed treatment area and a copy of email from the land manager (e.g. MFLNRO resource district or BC Parks) confirming First Nations Information Sharing has been completed.
- If SWPI funded, the complete CWPP final report must be submitted and approved by the Strategic Wildfire Prevention Working Group prior to submission of the operational treatment application.

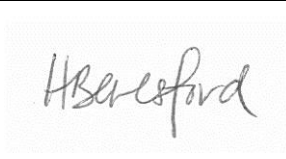
SECTION 7: SIGNATURE (To be signed by Local Government or First Nation Applicant)

I certify that the area covered by the proposed operational fuel treatment: (1) is not scheduled for development; (2) is not scheduled for sale; and (3) is within the jurisdiction of the local government or First Nation (or appropriate approvals are in place)

Name: Heather Beresford

Title: Environmental Stewardship Manager

Signature:



Date: January 30, 2017

All applications (from local governments and First Nations) should be submitted to:

Local Government Program Services, Union of BC Municipalities

E-mail: swpi@ubcm.ca

Mail: 525 Government Street, Victoria, BC, V8V 0A8

Strategic Wildfire Prevention Initiative

Operational Fuel Treatment & Maintenance Program

2017 APPLICATION FORM

Please type directly in this form or print and complete. Additional space or pages may be used as required. For detailed instructions regarding application requirements, please refer to the *2017 Operational Fuel Treatment & Maintenance Program & Application Guide*.

Please note: Applications to perform maintenance must be submitted on separate application forms from applications to treat new areas

SECTION 1: APPLICANT INFORMATION

Local Government or First Nation: Resort Municipality of Whistler

Date of Application: 30/01/2017

Contact Person*: Heather Beresford

Title: Manager, Environmental Stewardship

Phone: 604-935-8374

E-mail: Hberesford@whistler.ca

* Contact person must be an authorized representative of the applying local government or First Nation.

SECTION 2: PROJECT INFORMATION

1. NAME OF PROJECT.

CCF5 2017 OFTP

2. CURRENT FUEL MANAGEMENT PRESCRIPTION. All operational fuel treatments funded through the SWPI are required to be support by a completed fuel management prescription.

Name of prescription: Fuel Management Prescription: CCF5

Date of prescription: 27/04/2017

3. PROJECT DESCRIPTION. Please provide a geographic description, description of fuel load and objective(s) of the proposed fuel treatment for the area being considered for treatment.

The area under prescription near Alta Lake Road described within this Fuels Management Prescription (FMP) was determined to be a high risk area in the Community Wildfire Protection Plan (2011). The FMP provides the prescriptive guidelines as well as the recommended treatment activities in order to implement a proactive wildfire hazard reduction project. The proposed treatment unit (TU) provides direct protection to the residences and infrastructure within the WUI in the event of an approaching wildfire from the south or west. The prescription calls for a reduction in fuel loading, ladder fuels and fuel continuity; all of which are characteristics that provide direct and local protection to residences in the area. The proposed treatment area is largely a C3/C4 fuel type complex of a coastal sub maritime forest. The

predominant overstory species is western hemlock and Douglas-fir, with mixed species in the codominant and understory layers. The stand age varies from approximately 75-80 years.

Is this a maintenance treatment? Yes No

If yes, please refer to Section 3 of the Program & Application Guide (Eligible Projects) and provide a detailed rationale for undertaking a maintenance treatment:

Is this a retreatment? Yes No.

If yes, please provide a rationale:

4. PROPOSED NUMBER OF HECTARES. Please provide the gross and net hectares to be treated. If applicable, please separate hectares on Crown land from hectares on local government land.

New area: Gross: 6.7 ha; Net: 6.2 ha; ALL PRESCRIBED TREATMENT AREAS ARE ON PROVINCIAL CROWN LAND. In addition, the prescription area overlaps the Cheakamus Community Forest Limited Partnership tenure area and a commercial recreation licence held by Bear Back Biking.

Maintenance:

Retreatment:

5. MOUNTAIN PINE BEETLE AFFECTED TIMBER. Please indicate if this project includes Mountain Pine Beetle fuel type.

Yes No

6. WILDFIRE RISK CLASS or THREAT RATING & PRIORITY OF PROPOSED AREA. Please indicate the Wildfire Risk Class, or the Wildfire Behaviour Threat Class and WUI Threat Class if threat assessments were completed prior to 2017.

TU1: Wildfire behaviour threat class (High, 96), WUI threat class (high, 38)

If the proposed treatment contains areas that are not high or extreme Wildfire Risk Class, or Wildfire Behaviour Threat Class and WUI Threat Class if threat assessments were completed prior to 2017, but that link eligible areas for a logical fuel treatment, please provide a rationale for including these areas:

N/A

7. COMMUNITY ENGAGEMENT. Please describe all community involvement in wildfire risk mitigation in the past 2 years (as described in Sections 5 and 6 of [2017 CWPP Template](#)), including:

Fuel management: RMOW has implemented SWPI UBCM-funded prescriptions and OFTP treatments in years 2015 and 2016. Some of these prescriptions were implemented including Millars Pond (2015) and Brio (2016) and an additional prescription submitted in 2016 (Blocks 7 and 8-2).

-The RMOW has funded and managed an independent project to create landscape-level fuel breaks in the Callaghan valley, which is ongoing in 2015. Operations commenced on this prescribed area in the Callaghan in 2015 and have continued through 2016.

The RMOW has wildfire management information on its website at <https://www.whistler.ca/services/emergency/fire> and has had articles published in the local newspaper.

FireSmart planning and activities: RMOW Council has earmarked funds in the 2013-2017 financial plan for Firesmart initiatives. This is the first time FireSmart initiatives have been included in the Council budget. The municipal Fire Department currently offers free home assessments and detailed information regarding FireSmart within the RMOW at <https://www.whistler.ca/fire/firesmart>.

Community education: Currently, Whistler Fire Rescue Service offers fire safety programming to daycares, preschools, and schools as well as adults to help them make their homes a safe place. <https://www.whistler.ca/services/emergency/fire/public-outreach>

Local government wildfire response resources: A minimum of one practice/ cross training session is organized annually. These sessions are executed in cooperation with the Pemberton Fire Base at the start of the fire season; the objective is to improve familiarity with and working relationships between RMOW Fire Department and Wildfire Management Branch staff and equipment.

- During HIGH or EXTREME fire danger classification times, campfires at campsites are prohibited.

- In 2015 and 2016, all Fire Department Paid-On-Call staff are S100 trained; all Fire Department career staff are S215 trained. Several of RMOW Public Works staff are trained in S100. The Fire Department has worked with Whistler Blackcomb (WB) to train the majority of their staff in S100.

- The Fire Department has a CAFS truck within the fleet. Budgeting over the next few years includes the purchase of an additional Type 1 SPUs (sprinkler protection units)(in 2015).

Other:

8. REVIEW OF APPLICATION. Were any other agencies consulted in the development of the project and/or application prior to submission? Please check all that apply, add contact names and provide any supporting documentation:

BC Wildfire Service. Contact person(s):
Tony Botica, Fuels Management
Specialist

Local fire officials. Contact person(s):

Land manager (e.g. MFLNRO resource district or BC Parks). Contact person:
Frank DeGagne, Land & Resource Spec.
Sea to Sky RD

First Nations' Emergency Services Society.
Contact person:

Area-based tenure holders. Contact person:
Tom Cole, Manager of Cheakamus
Community Forester

Other:

9. PARTNERSHIPS & LEVERAGING. Are any other partners or funders supporting this project?

No

10. CONTRACTOR INFORMATION. If a contractor is being used to do some or all of the work, please describe how you will select a qualified individual:

Operational Treatment Contractor will be selected through a competitive request for proposal process. Contractor supervision, quality control, and final deliverables will be undertaken by BA Blackwell and Associates Ltd. with project management being a joint effort between the RMOW and Blackwell.

If possible, please include the name(s) of the contractor(s).

Operational Treatment Contractor: To be determined

GIS Contractor: BA Blackwell and Associates, Ltd.

Eligible activities and costs are outlined in Section 4 of the Program & Application Guide (Eligible & Ineligible Costs & Activities).

In Section 3, include all proposed eligible costs and clearly describe the proposed treatments, including information on the estimated days of work, hourly/daily rates and types of equipment and estimated hours of use. If hand and mechanical treatments are proposed, provide separate descriptions and costs.

SECTION 3: PROPOSED FUEL TREATMENT ACTIVITIES & COSTS

Productivity and details on equipment used for the project will not be known until the tender process is completed, as the capability and competitive advantage of fuel treatment contractors varies. The objective of the tender process will be to encourage each contractor to propose creative solutions to ensure the most cost-effective methods for fuel treatment, while meeting the intent of the prescription. **Proposed costs below assume the use of a hand crew for the majority of the work, with debris removal from the site by machine/truck.** Pile and burn has now been accepted by the RMOW as an acceptable debris management option, however, the costs below have been calculated to reflect historical methods (hauling debris off-site using bin truck) in order to be conservative. As in previous applications, the RMOW understands that the UBCM has previously not funded per hectare costs in excess of \$20,000, and is prepared to fund the excess with municipal funds.

Activity	Proposed Cost
Consultation with the Fuel Management Specialist or Liaison, land manager, forest tenure holders, other local governments, or other stakeholders regarding the proposed project. <i>This activity may take place within 12 months prior to application submission. Please describe:</i>	\$0.00
Eligible fuel treatment activities: Stand treatments	
<ul style="list-style-type: none"> Prescribed fire, including broadcast burning. <u>Please describe:</u> N/A 	\$0.00
<ul style="list-style-type: none"> Pruning. <u>Please describe:</u> Pruning will remove branches from all retained trees to a minimum of 2 m from the ground. The total estimated days of actual work (assuming a 4-person crew) will be appx. 11 days at a rate of 0.6 ha/day. Total cost is approx. \$1,400/day or \$350.00/person/day. 	\$16,000.00
<ul style="list-style-type: none"> Tree felling, including hand and mechanical tree felling. <u>Please describe:</u> Costs are overall estimated at a rate a total hectare cost of \$30,000/ha which is based on historical cost estimates. The total overall cost per hectare for this activity is \$5,900 which is based on an estimate of 20% of the total per hectare cost. The overstory canopy will need to be selectively thinned to achieve prescription specifications. The cost assumption is that machinery will be employed for the majority of this line item, however it may be necessary to use hand crews where slopes make machine use unsafe and impracticable. Total time to complete this line item is projected to be appx. 30 days. Total cost is approx. \$1,400/day 	\$40,000.00

<ul style="list-style-type: none"> • HAND: Trees over 17.5cm dbh will require a certified faller. • MACHINE: A hoe chucker or walking harvester may be employed (given access is determined) for mechanical thinning of larger diameter stems. 	
<ul style="list-style-type: none"> • Thinning, including hand and mechanical thinning. <u>Please describe</u>: Thinning cost was based on an average cost of \$5,900/ha which is 20% of the total per hectare cost of \$29,000/ha. The stands will be thinned from below to target densities specified in the prescription (550-650 sph target density). It is possible that both hand and machine methods will be employed in the execution of these treatments. The cost assumption is that machines will execute most or all of this activity, as access for machinery is relatively good. Total estimated days of work include: 30 days. • • HAND: Trees less than 17.5cm do not require a certified faller. Previous treatments in similar stand types have shown that hand thinning is very slow and labour intensive. Productivity targets are 0.20 ha/day for a hand thinning crew although this is dependent on the tendering process and the chosen contractor. • • MACHINE: Conventional machinery is suitable for this treatment area as the majority of the area is near access points and roads/trails as well as the treatment unit is gently to moderately sloping. Productivity will vary by type of machine, and will not be determined until the tendering process is complete. 	\$40,000.00
<ul style="list-style-type: none"> • Brushing. <u>Please describe</u>: N/A 	\$0.00
<ul style="list-style-type: none"> • Grazing. <u>Please describe</u>: N/A 	\$0.00
<ul style="list-style-type: none"> • Tree planting for species conversion. <u>Please describe</u>: N/A 	\$0.00
Eligible fuel treatment activities: Debris Management	
<ul style="list-style-type: none"> • Prescribed fire, including broadcast burning and pile burning. <u>Please describe</u>: Total cost was calculated based on a total per hectare cost of \$29,500 with the prescribed fire apportionment of 2.5% (\$740.00/ha). Prescribed fire is an option for debris management. If pile burning is not intended as a treatment method then the budget allocated to this line item will be transferred to 'debris removal' below. This budget assumes a combination of both pile burning and chipping. Total days of work for a 4-person crew is estimated at 3.5 days total or 2.0 ha/day. If pile burning is not chosen as a debris management activity, the money allocated for this line item will be moved to debris management chipping or to debris removal. 	\$5,000.00
<ul style="list-style-type: none"> • Piling, including hand and mechanical piling. Total cost was calculated based on a total per hectare cost of \$29,500 with the prescribed fire apportionment of 2.5% (\$740.00/ha). This cost was determined based on <u>Please describe</u>: The operational contractor will decide if piling and subsequent pile 	\$5,000.00

<p>burning is a chosen method over chipping. This budget assumes a combination of both pile burning and chipping. If the contractor chooses not to burn piles then the budget allocated to this line item will be transferred to 'debris management', below. Total days of work for a 4-person crew is estimated at 3.5 days or 2.0 ha/day. If pile burning is chosen as a method by the operational contractor, piles will be constructed as directed in the prescription and will comply with the BC Wildfire Act and Wildfire Regulations and Environmental Management Act Open Burning Smoke Control Regulations. Piles will not be larger than 3mx3mx2m (Category 2 piles). No piles will be constructed in the area that overlaps the community watershed and in the area labelled 'No Burn Zone' on the prescription map.</p>	
<ul style="list-style-type: none"> Debris management, including lop and scatter, chipping, mastication and grinding. <u>Please describe</u>: This line item was calculated based on 20% apportionment of the total cost equating to \$5,900/ha. Chipping may be proposed as a debris management method rather than pile burning. Determination of the chosen method (either one or the other or a combination of the two) will be determined at the discretion and in consultation with the field supervisor. This budget assumes a combination of both methods. Chipping within the stand and from the roadside will be feasible. If pile burning is used instead of chipping, costs will be reallocated into prescribed fire and piling categories. The total days of work dedicated to this line item is appx. 27 days at a rate of 0.25 ha/day. 	\$40,000.00
<ul style="list-style-type: none"> Debris removal, including chip removal, hog fuel removal and slash removal. <u>Please describe</u>: Apportionment was calculated and based off of 10% of total cost or \$2,950/ha. Given past projects in the RMOW, debris removal is included in this application in order to be conservative. The cost assumes that material will be chipped and removed by bin truck or other vehicle. In the event that pile burning is utilized instead, costs will be reallocated to prescribed fire and piling categories. 	\$20,000.00
<ul style="list-style-type: none"> Tree removal, including sawlog, firewood and other forest products. <u>Please describe</u>: Thinning in the larger size classes (>17.5cm) will generate debris that will be difficult to burn or chip. It may be favourable to buck and pile these pieces for firewood, or distribute to a camping facility nearby. This line item is expected to take 22 days at a rate of 0.30 ha/day. 	\$32,000.00
<p>Grass seeding. <u>Please describe</u>: N/A</p>	\$0.00

<p>Burn Plan and/or Custom Venting Forecast. <u>Please describe</u>: Pile and burn is not a guaranteed debris disposal method. However, if utilized, some cost allocation will be redistributed here for a custom venting forecast and the cost for this will be paid from the 'debris management' line item. The projected total cost for this line item will be \$700.00 and covers the cost of custom venting forecasts from Squamish or another local weather station.</p> <p>If local venting conditions do not seem to be represented accurately by regional weather stations, contractor may wish to receive custom venting forecast in order to have more accurate local forecast. Previous pile burning was limited by venting days forecast for Squamish and local forecasts may have provided more flexibility in burning days.</p>	\$0.00
<p>Danger tree assessments. <u>Please describe</u>: Completed by the operational contractor by a qualified Wildlife/Danger Tree Assessor prior to commencement of hand treatment work. This cost assumes that the work will take roughly 1.25 days total at a rate of 4.5 ha/day.</p>	\$2,000.00
<p>Updates to existing threat assessment plots and related spatial data to conform to the current Wildfire Threat Assessment standards. <u>Please describe</u>: Threat plots will be located in the field, photos taken as per the standard and threat score confirmed prior to treatment.</p>	\$500.00
<p>Preparation of maps, spatial data, and metadata. <u>Please describe</u>: All spatial data management and preparation for final deliverables package. This includes the GPS and recording of field data of prescription specification activities including any changes to the original prescription. The quality control and assurance procedures post-operation and production of finalized spatial datasets. Production of PDF maps, spatial data geodatabase and metadata as per current (2017) UBCM standards. Preparation of all spatial data and any revisions that may be requested by SWPI.</p>	\$2,100.00
<p>Notifications of operational fuel treatment commencement to First Nations and other tenure holders. <u>Please describe</u>: Notification packages developed and sent to First Nations and other tenure holders (notably recreation), several weeks prior to treatment commencement.</p>	\$200.00

<p>Staff and contractor costs directly related to fuel treatment activities. <u>Please describe:</u> Project management including tender development and evaluation which involves the preparation of the tender document in consultation with the Client and other parties. The evaluation period will entail a detailed comparison of all qualified applications and collaboration with the Client. Once the operational contractor is decided and accepted; the field supervisor will assist the Client and operational contractor in setting up all paperwork and necessary documentation prior to project commencement. This involves the application and receipt of the appropriate timber licence from FLNRO. The Consultant will facilitate a pre-work meeting with additional parties and the successful contractor in order to setup specific direction for the operations. Field supervision will involved multiple field visits throughout the period of operations; the field work will entail one or two visits per week and following the initial phase these visits can decrease to one visit every three weeks approximately. Field work budgeting is variable and depends on project efficiency. This line item also covers site visits for quality assurance once the project is being finalized and the field supervisor must field check for completeness and quality. This involves the collection of field data including WUI threat plots and stand structure plots. Finally, the Consultant will develop the final report and cost calculation in collaboration with the Client. This line item also includes all gas, food and lodging required for all of the field work and travel from North Vancouver. Junior professional rates at \$65.00/hour and senior professional rates at \$85.00/hour.</p> <p>Tender development = 25 hours at an average of \$70/hour (junior and senior prof. rates averaged)</p> <p>Pre-work meeting = 22 hours at an average of \$70/hour (junior and senior prof. rates averaged)</p> <p>Supervision Costs = This will likely require 90 hours total at \$70.00/hour average rate.</p> <p>Post-treatment Plots = 20 hours total required. There will be approximately 10 plots completed.</p> <p>Travel = This is for 5 trips total budgeted at 20 hours.</p> <p>Food and gas= \$800 total</p>	<p>\$13,200.00</p>
<p>Applicant administration costs directly related to fuel treatment activities. <u>Please describe:</u> Local government project management costs, including review of tender documents, evaluation decision, project management and fiscal management throughout the project, interface with public, liaison with UBCM. This will be funded directly from RMOW as in-kind contribution.</p>	<p>\$1,000.00</p>
<p>Post-treatment signage and public information costs directly related to completed fuel treatment activities. <u>Please describe:</u> Large format (3' x 4') weather-proof signs (up to 4 or 5 signs) will be customized for each treatment area, printed and installed at strategic locations.</p>	<p>\$800.00</p>

Other proposed activities. <u>Please describe</u> : If treatment is implemented during breeding bird season, nesting surveys will be required. If operations occur outside of the breeding bird season then this line item will not be utilized. If work is conducted within breeding bird season a Registered Professional Biologist will be subcontracted to assess the treatment areas for bird activity with a focus on nesting activity and active nests. The productivity for this work is approximately 10 ha/day and the work will likely be up to 9 days total.	\$5,000.00
Total Proposed Costs:	\$222,800

The Operational Fuel Treatment program can contribute a maximum of 90% of the cost of eligible activities up to \$400,000 in funding per municipality and First Nation per calendar year and up to \$600,000 in funding per regional district per calendar year. The remainder (10%) is required to be funded through community contributions.

Total Grant Requested (90% of total cost to maximums listed above): NOTE: This requested amount is less than \$20,000/ha, given previous funding decisions by the UBCM. This results in a community contribution of \$130,800. This requested amount was capped at \$100,000 because RMOW is coapplying for a separate 2017 OFTP grant of \$300,000 (Alpine Meadows – Block 2)	\$100,000
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Please note that you will be required to provide detailed information on the community contribution in the final report, including contributions from other grant programs and all project revenues. In cases where other grants are used as a community contribution, documentation must be available to demonstrate how actual costs from other grant contributions are accounted for. For example, labour costs must include information on the number of hours worked, the hourly rate, and the eligible activity that was undertaken (e.g. 50 hours at \$18/hr for chipping). If information is available now, please complete Sections 4 and 5.

SECTION 4: OTHER GRANTS	
Grant(s) Description:	Estimated Grant Value
	\$

SECTION 5: REVENUE	
Revenue(s) Description (from merchantable timber and/or other forest products):	Estimated Revenue
Merchantable timber removal and sale is proposed as part of this prescription and operation. However, it is very difficult to estimate the eventual value of the harvested timber. The difficulty lies in the unknown costs for the harvesting and transport of the logs to the mill as well as the unknown sale price of the timber at the time of future sale. Given these limitations, this is strictly a conservative estimate at \$500/ha.	\$3,100.00

SECTION 6: REQUIRED APPLICATION MATERIALS

Only complete applications will be considered for funding. The following separate documents are required to be submitted as part of the application:

- Completed Application Form
- Local government Council or Board resolution, or First Nation Band Council resolution, indicating support for the current proposed activities and willingness to provide overall grant management. **THIS WILL BE FORTHCOMING, COUNCIL MEETING FEBRUARY 21, 2017.**
- A copy of the completed prescription for the proposed treatment area, including all maps. If SWPI funded, the complete prescription final report must be submitted and approved by the Strategic Wildfire Prevention Working Group prior to submission of the operational treatment application.
- Wildfire Threat Assessment worksheets and threat plot photos completed as per the relevant Wildfire Threat Assessments Guide. Previously submitted threat information does not need to be resubmitted, however reference to the previous submission details must be provided.

The UBCM submission, including the Wildfire Threat Assessment Worksheets and Threat Plot Photos were submitted to UBMC in late January, 2016.

- If not SWPI funded, a copy of the completed CWPP for the proposed treatment area and a copy of email from the land manager (e.g. MFLNRO resource district or BC Parks) confirming First Nations Information Sharing has been completed.
- If SWPI funded, the complete CWPP final report must be submitted and approved by the Strategic Wildfire Prevention Working Group prior to submission of the operational treatment application.

SECTION 7: SIGNATURE (To be signed by Local Government or First Nation Applicant)

I certify that the area covered by the proposed operational fuel treatment: (1) is not scheduled for development; (2) is not scheduled for sale; and (3) is within the jurisdiction of the local government or First Nation (or appropriate approvals are in place)

Name: Heather Beresford

Title: Environmental Stewardship Manager

Signature:



Date: January 30, 2017

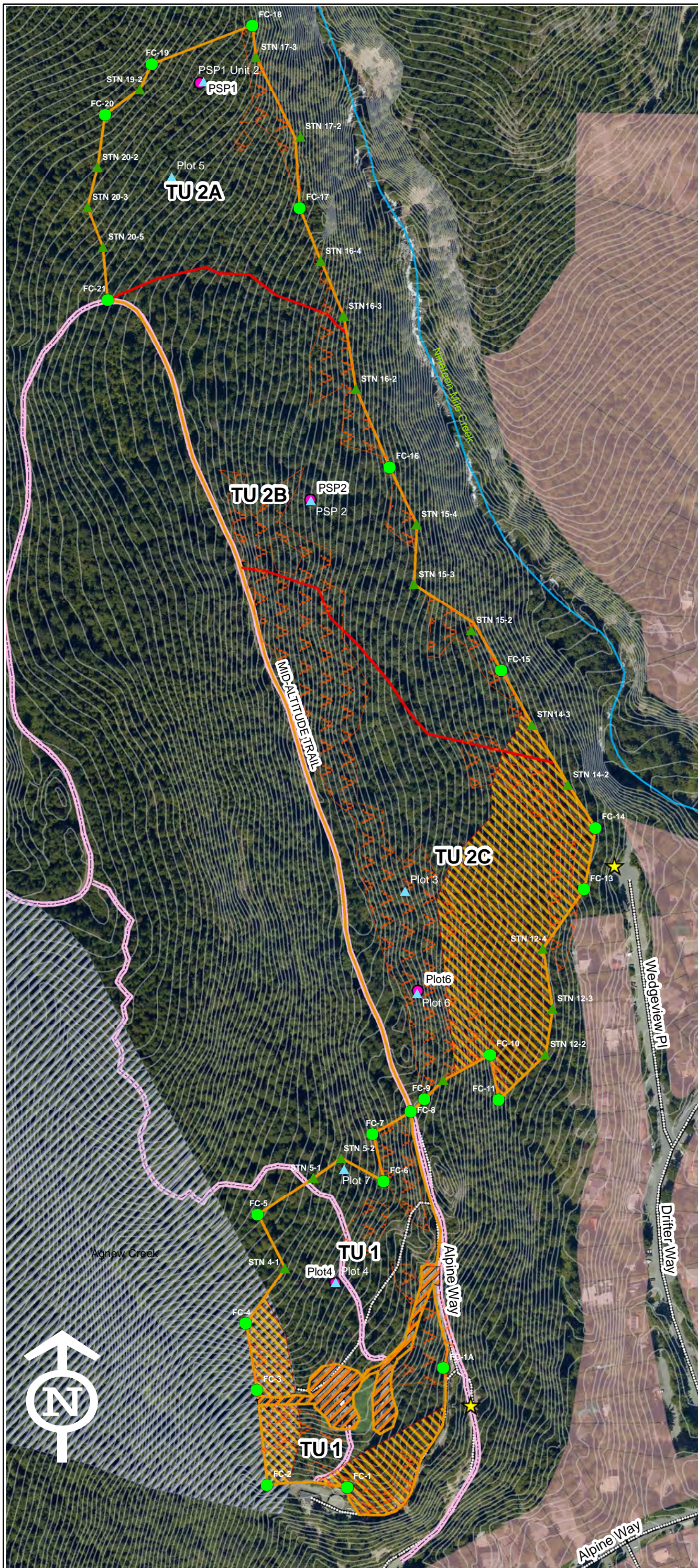
All applications (from local governments and First Nations) should be submitted to:

Local Government Program Services, Union of BC Municipalities

E-mail: swpi@ubcm.ca

Mail: 525 Government Street, Victoria, BC, V8V 0A8

Alpine Meadows (Block 2) Treatment Unit Map



Legend

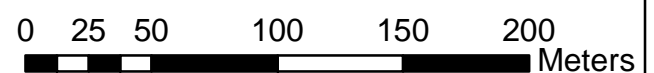
- PRESC_PROJECT_BOUNDARY
 - PRESC_TREATMENT_UNIT
 - THREAT_PLOT
 - ▲ Stand Assessment Plots
 - >45% Slope
 - No Burn Zone
 - ★ Access Points
 - Community Watersheds
 - Recreation Trails
 - Streams
- ### Roads
- Local
 - Highway
- ### Land Ownership
- CROWN MUNICIPAL
 - CROWN PROVINCIAL
 - MUNICIPAL
 - PRIVATE

TREATMENT UNIT SUMMARY

TU	Gross Treatment Area (ha)	Net Treatment Area (ha)	Treatment Type
1	3.0	3.0	HTR, TFB, SFR, P, C
2A	2.6	2.6	HTR, TFB, SFR, P, PB/C
2B	4.3	4.3	HTR, TFB, SFR, P, PB/C
2C	5.1	5.1	HTR, TFB, SFR, P, PB/C
TOTAL NET AREA		15.0	

HTR = Hazard tree removal, CT = Commercial Thin, TFB = Thin from below, SFR = Surface Fuel Removal, B = Brush Flammable
Field Marking Convention: Block boundary – orange and black striped; Block boundary corners – double orange and black striped and single white ribbon with aluminum tag stating treatment area name, station number, and date; Treatment-unit demarcation—yellow ribbon, no writing; Riparian Areas – blue and white striped ribbon.

1:3,000



Fuel Management Prescription
Alpine Meadows (Block 2)

Mapsheet: 092J016

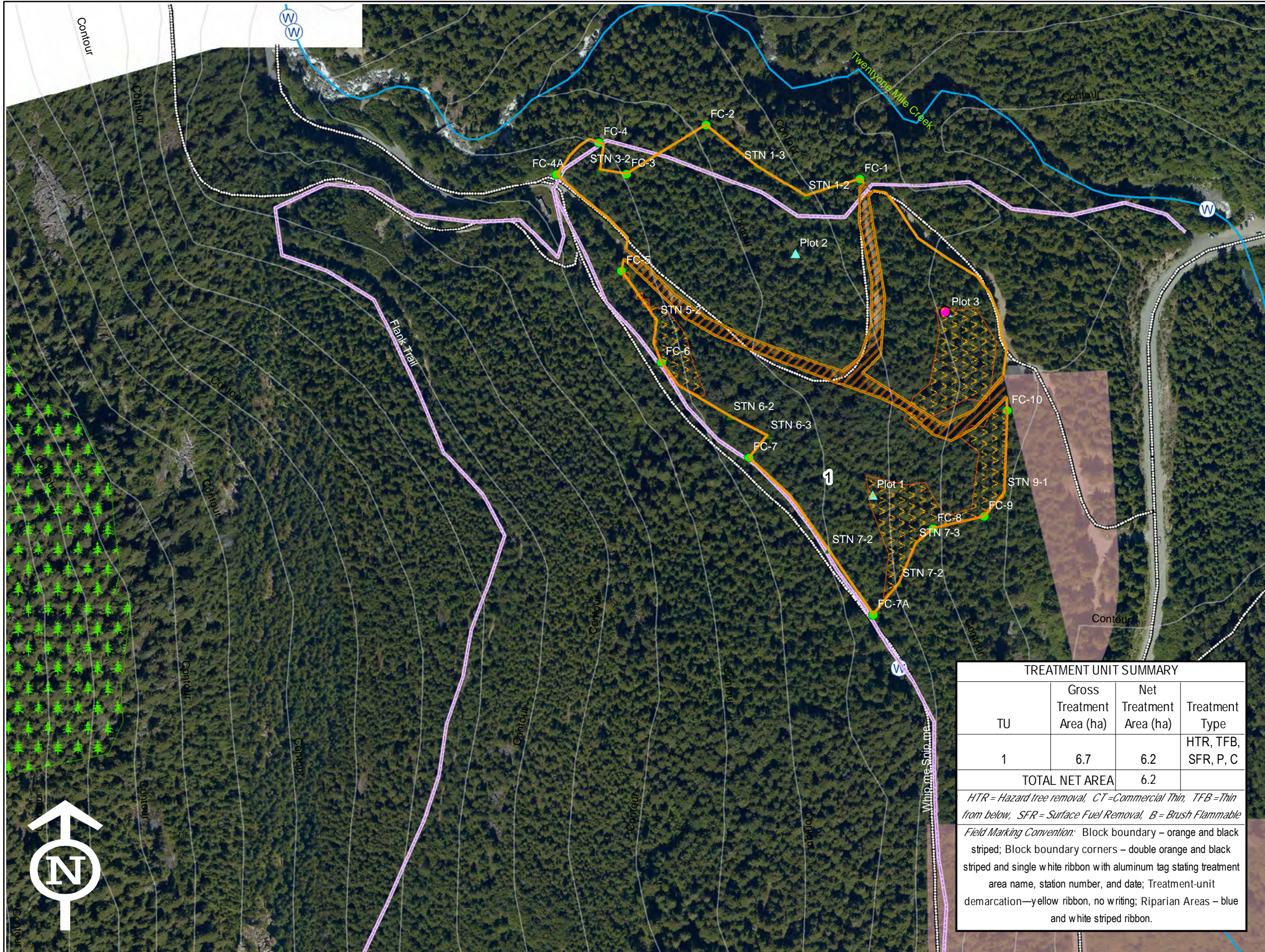
Prescription and GIS Consultant:
B.A. Blackwell and Associates Ltd.
Map created January 2016 by
Joanna deMontreuil



B.A. Blackwell
& Associates Ltd.



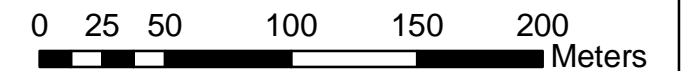
CCF5 Treatment Unit Map



Legend

- PRESC_PROJECT_BOUNDARY
 - PRESC_TREATMENT_UNIT
 - THREAT_PLOT
 - No_Treatment
 - >45% Slope
 - ▲ Stand Assessment Plots
 - Falling Corner
 - ▲ Station
 - Mountain Bike Trails
 - Streams
 - 🌲 🌲 Legal OGMA
- ### Land Ownership
- CROWN MUNICIPAL
 - CROWN PROVINCIAL
 - MUNICIPAL
 - PRIVATE

1:3,000



TREATMENT UNIT SUMMARY			
TU	Gross Treatment Area (ha)	Net Treatment Area (ha)	Treatment Type
1	6.7	6.2	HTR, TFB, SFR, P, C
TOTAL NET AREA		6.2	

HTR = Hazard tree removal, CT = Commercial Thin, TFB = Thin from below, SFR = Surface Fuel Removal, B = Brush Flammable
Field Marking Convention: Block boundary – orange and black striped; Block boundary corners – double orange and black striped and single white ribbon with aluminum tag stating treatment area name, station number, and date; Treatment-unit demarcation—yellow ribbon, no writing; Riparian Areas – blue and white striped ribbon.

Fuel Management Prescription
CCF5

Mapsheet: 092J016

Prescription and GIS Consultant:
B.A. Blackwell and Associates Ltd.
Map created January 2016 by
Joanna deMontreuil





REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: February 21, 2017
FROM: Resort Experience
SUBJECT: WHISTLER VILLAGE LAND COMPANY - PARKADE B WATERPROOFING CONTRACT AWARD

REPORT: 17-014
FILE: 8900.04

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Resort Experience be endorsed.

RECOMMENDATION

That Council authorizes the RMOW to enter into a contract with Jacob Bros. Construction Inc. for the construction of the St. Andrews Alley Plaza Restoration project to an upset limit of \$1.331 million.

That Council authorizes the RMOW to commence the St. Andrews Alley Plaza Restoration project.

PURPOSE OF REPORT

Administrative Procedure D-1 Procurement requires Council approval for contracts over \$500,000 in value. The contract discussed in this report will exceed this value, and therefore the purpose of this report is to seek Council's approval to enter into the contract and for the Mayor and Corporate Officer to sign the contract for the construction of the St. Andrews Alley Plaza Restoration project.

DISCUSSION

Background

The Whistler Village Land Company (WVLC) is a company held by the RMOW that retains the responsibility of maintenance and operation of five underground parking structures situated in under Whistler Village. The parking structures are identified as Lot A, Lot A Private, Lot B, Lot C and Lot D. Lot B is situated under St Andrews Alley, Blackcomb Lodge, Wedgeview Condominiums and a portion of the Village Stroll. In short, St Andrews Alley Plaza Restoration project is to complete the installation of a waterproof membrane over the concrete roof of Lot B.

In 2010, the WVLC Parkade Condition Evaluation Report, completed by Read Jones Christoffersen Consulting Engineers, identified and documented a number of required repair and maintenance projects for the parking structures. These projects were laid out in a multi-year maintenance plan. The plan was updated in 2013 to reflect projects that were complete and identify future priorities. St Andrews Alley Plaza Restoration was identified for construction in 2015.

This structure consists of an at grade plaza level and an underground parking level. Approximately 50% of the plaza level is covered with buildings, while the remaining 50% is overlaid with asphalt and brick pavers which serve as vehicle roadway and a pedestrian circulation area known as St Andrews Alley and Village Stroll. The total area of suspended slab is 1,980m².

In 1992, the six planter boxes located on the plaza slab were excavated and waterproofed. The waterproofing in the main field of the plaza was not addressed at that time and there is no evidence to indicate other waterproofing programs have occurred since. Significant water ingress occurs during rain events and is evident by staining on concrete surfaces and accelerated corrosion of electrical and metal components. In addition, it is not uncommon to see water dripping from several locations in the parking structure.

Staff began internal consultation, preliminary design and construction drawing development in 2015. In 2016, detailed design and costing was completed and feedback from a public open house was incorporated. The project was let for public tender and three bids were received. Evaluation of the bids determined that all bids were compliant and the lowest price bid was selected as it met the proposed construction schedule and objective to be complete by the onset of summer.

The limits of the work affect an area of Village Stroll from the centre of St Andrews Alley extending west to east edge of Village Square, from the building edge of Blackcomb Lodge south to Village Lane. (figure A) In general terms the work includes the removal of unit pavers, planters and stairs and road works over the parking structure. A double layer of bitumen membrane is applied to the concrete surface of the structure and is tied into the adjacent buildings. All planters, stairs and surfaces are reinstalled and blended into the existing edges. This work is similar to the successful waterproofing project undertaken by the Municipality 3 years ago.

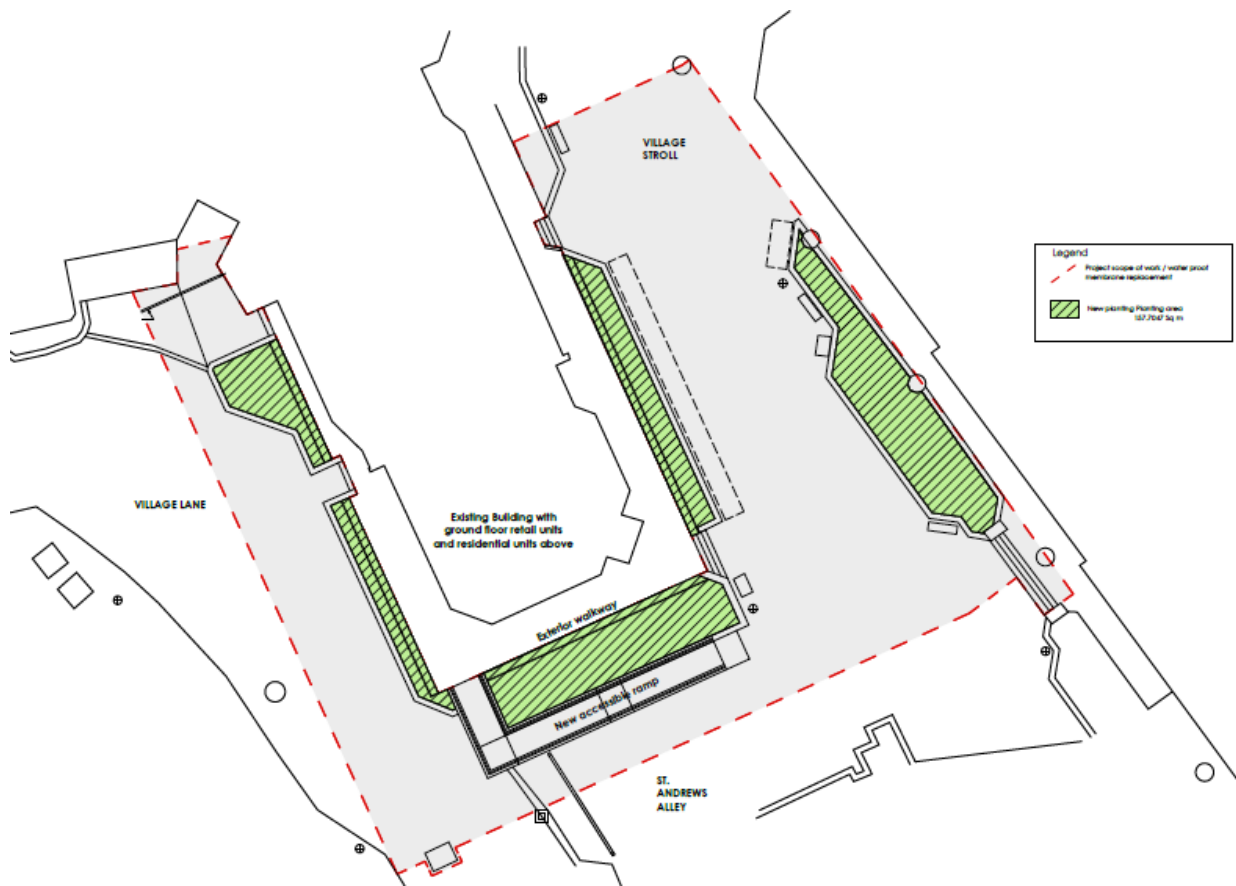


Figure A

Internal Consultation and Public Open House

Initial comments from staff recommended that a significant rejuvenation or alteration to the landscape in this area was desirable and that an inclusive access to the east aspect of the Wedgeview Condominium building be incorporated in the design. In support of this recommendation, the Wedgeview building was identified in the 2003 Whistler Village Access Audit of Village Stroll pathways as a significant barrier to mobility challenged pedestrian traffic. This recommendation was echoed by attendees of the Public Open House.

The design has incorporated an accessible ramp into the planter on the east aspect of the Wedgeview building and has been designed to meet the CSA standards for accessible design.

An application was made to the RMOW Planning Department for a Development Permit (#DP001515).

A Public Open House was held at the Delta Village Suites on October 19, 2016. Ten members of the public were recorded on the attendance form. The comments received were generally positive and in support of the project. The comments of note primarily highlight concern for traffic management during construction, the timing of work related to disruption and comments relating to landscape design improvements.

The comments are summarized into three general categories and are as follows:

Construction/disruption:

- Minimize timing for construction of stairs and access points
- Provide temporary access to the stroll level at or near each existing access point during construction

Access:

- Maintain fire and emergency egress from buildings
- Maintain access for deliveries and pick-up

Landscape:

- Planting choices and locations to frame retail
- Planting choices should consider plant growth
- Consider different plant choices as thoughts around landscaping in the Village are shifting

These comments have been considered in the design and in the project planning. The development of a Traffic Management Plan is a requirement of the successful contractor. Once the project has been awarded staff will begin to work with the Contractor to ensure the concerns and the requirements are incorporated in the traffic management and construction plan.

Temporary access to retail was stipulated to the bidders during the pre-bid meeting and allowances were included in the contract values to ensure reasonable access will be maintained to all effected retailers during the course of construction.

Accessible Ramp meets the CSA design specifications and will have an embedded thermostatically controlled snow melt system to ensure safe passage in winter months.

The Tender Process

The Tender – St Andrews Alley Plaza Restoration – was issued November 28, 2016. A site meeting was held on December 1, 2016 and bid submissions were requested by December 16, 2016. A

number of bidders requested an extension to the bid close date so the close date was moved to December 19, 2016 14:00. Upon closing, three (3) formal responses were submitted.

Bids were opened in private at RJC's office. Upon review of the bids, all three were determined to be compliant. Jacob Bros Construction Inc. submitted a complete bid submission with the lowest estimated price and shortest construction schedule of 12 weeks.

A cost summary of the responses is as follows:

Jacob Bros. Construction Inc.	\$1,207,582.36
Heatherbrae Builders Co. Inc.	1,259,721.60
Polycrete Restoration Ltd.	1,268,721.00
<i>(pre-tax amounts)</i>	

RJC recommends that Jacob Bros. be awarded the construction contract. RJC also recommends that with any project of this nature there often are unforeseen circumstances that arise during the course of the project that could alter the final cost and recommend an internal contingency amount of at least 10% of the contract value be carried.

Budget Considerations

St Andrews Alley Plaza Restoration is part of the WVLC Parkade Rehabilitation Program (the Program) in the Five Year Capital Plan. The Program is intended to provide funding for on-going capital rehabilitation projects to maintain the underground parking structures.

Based on the tender value received from the bid process the 2017 budget includes the estimated cost for construction and a contingency value of 10% of the construction cost as recommended by the Consultant.

The 2017 Capital budget submission has been updated to reflect the new values provided in the Bid documents and are as follows:

St Andrews Alley Plaza Restoration project	\$1,210,000.00
Contingencies	<u>121,000.00</u>
Total 2017 budget	\$1,331,000.00

Other rehabilitation work identified for 2017 that is not included in this project totals approximately \$347,055. These projects include wall joint repairs and seal replacements in addition to further investigation into the condition of Lot A waterproof membrane.

Funding

This project will be funded from General Capital Reserves and has been included in the 2017 budget. It should be noted that the existing parking stall license agreements are being reviewed to clearly understand obligations of the licensee to contribute a proportional share of the project costs related to the repair.

Construction Schedule

Pending Council approval and successful execution of the construction contract documentation, the proposed construction schedule start date is April 17th with substantial completion June 30th, 2017. Work hours will align with Municipal Noise Bylaw and weekend work will be considered on request.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Built Environment	Building design, construction and operation is characterized by efficiency, durability and flexibility and long-term uses.	The restoration and reconstruction can extend the anticipated useful life of the parking structure.
Finance	The long-term consequences of decisions are carefully considered	Responsible facility management proactively reduces degradation and extends useful life of the asset.
Materials and Solid Waste	Whistler is using durable materials that are less environmentally harmful, preferring recycled, natural and sustainably harvested materials, and plentiful metals	The addition of a new waterproof membrane extends the life of the asset reducing the need for early replacement or significant repair.
Visitor Experience	The resort is comfortable, functional, safe, clean and well-maintained.	The addition of a waterproof membrane, replacement of the surface treatments and planters will provide a clean and updated appearance improving the guest experience.
Economic	Physical and social infrastructure attract and support work and investment	This project will employ a number of local businesses increasing local investment and economic viability.

W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
	N/A	

OTHER POLICY CONSIDERATIONS

The proposed project aligns with the Whistler Village Construction Management Strategy to mitigate impacts of the construction activity on the resort experience and the Village businesses and property owners.

SUMMARY

To provide responsible facility management and to prolong the life expectancy of a building asset, envelop and structural inspection, on-going maintenance and rehabilitation are necessary tasks. The St Andrews Plaza Rehabilitation Project is a maintenance project intended to address obvious signs of water ingress into the parking structure which, if left unchecked, has the potential to cause significant structural damage.

In addition to addressing the water tightness of the parking structure and prolonging its life expectancy, the Stroll level landscaping will see the replacement of the planters, unit pavers and the

softscape in a form to reflect the concerns of the area retailers. These changes will also provide a new accessible ramp to the arcade level of the Wedgeview building eliminating a barrier for mobility.

It is staff's recommendation that Council approve the St Andrews Alley Plaza Restoration Project contract award and for Mayor and the Corporate Officer to sign the contract,

Respectfully submitted,

Andy Chalk
Capital Projects Supervisor
for
Jan Jansen
General Manager, Resort Experience



REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: February 21, 2017

REPORT: 17-015

FROM: Infrastructure Services

FILE: 573

SUBJECT: 2017 GATEWAY LOOP RECONSTRUCTION – TENDER AWARD

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Infrastructure Services be endorsed.

RECOMMENDATION

That Council award the contract in the amount of \$3,788,902.00 (exclusive of GST) to Wilco Civil Inc. in accordance with their tender proposal dated December 21, 2016 for construction of the civil works as described in Tender E121-02 – Gateway Loop Redevelopment Phase 1 Construction of Site Works; and,

That Council award the contract in the amount of \$2,571,130.00 (exclusive of GST) to B. Cusano Contracting (2007) Ltd. in accordance with their tender proposal dated December 21, 2016 for construction of the roof structure as described in Tender E121-03 – Gateway Loop Redevelopment Phase 2 – Construction of Transit Shelter;

PURPOSE OF REPORT

The purpose of this report is to inform Council of the process and outcomes of the 2017 Gateway Loop Upgrade tendering, and to request approval to proceed with 2017 construction work totalling \$6.8M (exclusive of GST), with the draft 2017 Capital Budget updated to reflect the additional project costs.

DISCUSSION

The existing Gateway Loop area is the initial arrival point for a large number of visitors each year and with the progression of current transportation initiatives, that amount will increase as we encourage more travellers to arrive by highway coaches rather than personal vehicles. This volume of traffic all destined for the Gateway Loop makes the area extremely chaotic and diminishes the arrival experience for visitors to Whistler.

Recent Project Timeline:

- March 2016 - 50% design brought to Advisory Design Panel (ADP) – received comments
- May 2016 - 75% plans received and reviewed by staff
- ADP requests considered and adopted wherever possible
- May 2016 - tender plans produced to meet the required timeline for fall 2016 construction
- June 2016 - project tendered (as a single package)
- July 2016 - tender closed, only two (2) bids received, neither having any local content

- the bids received for the amount of \$5.65M and \$9.70M
 - bids reviewed, both were subsequently rejected due to missing documentation and significantly exceeding the estimated cost and budget.
- Sept 2016
- project timelines were adjusted and considerations made to encourage bids from local contractors (expected to be less expensive), as well as increase competitiveness of the pricing and ultimately reduce the overall project cost.
 - project scope and materials also adjusted to reduce costs (ex. less area of paving stones, less expensive type of paving stones specified, and smaller plants specified in landscaping plans)
- Nov 2016
- project is re-tendered in 2 phases:
 - 1) Civil & Landscaping Works (Phase 1)
 - 2) Roof Structure (Phase 2)
- Dec 2016
- tenders close - 2 bids received for Phase 1 and 4 bids received for Phase 2
- Jan 2017
- tenders are reviewed and clarification required on a number of items for each of the bids. Consultant makes recommendation of award. There are still budget concerns and this prolongs the review of the bids and the discussions surrounding the project.
- Feb 2017
- after reviewing the bids and talking to the bidders and the local companies that did not bid, it is clear that in this construction climate the overall price provided in these bids is the true current cost to build this facility, and despite their previous cost estimates, the engineering consultant for this project recommends that Council consider awarding these tenders.

Approvals

This project originated as a multi-stakeholder economic planning initiative that included Tourism Whistler, the Hotel Association of Whistler, the Whistler Chamber of Commerce, Whistler-Blackcomb, and the RMOW.

This project was reviewed by the Advisory Design Panel (ADP) in March 2016 with a return visit to ADP scheduled for February 15, 2017. This project will also require a Development Permit before it can proceed.

Tender Results

The construction of this upgrade was initially tendered in Spring 2016 for construction in the fall of 2016, but only 2 bids were received from that process, and both bids significantly exceeded the budget for set at that time. Neither of the bids were accepted, and more work was done during 2016 to break the project into two smaller packages that would provide a narrower scope of work in hopes that a broader range of contractors might find it more desirable. This action was expected to generate more bids and allow local contractors to concentrate on the type of work that best fit their business model while the specialized work could be undertaken by qualified contractors whether they were local or not.

The two new tender packages were publicly advertised from November 30 to December 21, 2016. An optional site meeting was held for this project on December 6, 2016 with only 3 contractor or sub-contractor representatives in attendance.

The two (2) bids were received for the Civil Works Tender (E121-02) and the four (4) bids were received for the Roof Structure Tender (E121-03) are presented below (all prices exclusive GST):

Bidder	Tender Amount for 2017 Civil work
Wilco Civil Inc.	\$3,788,902
B.Cusano Contracting(2007) Ltd.	\$4,450,161
Bidder	Tender Amount for 2017 Roof Structure work
BC Passive House	na ¹
B.Cusano Contracting(2007) Ltd.	\$2,571,130
Fricia Construction Inc.	\$2,628,201
Wilco Civil Inc.	\$2,666,174

¹Bid invalid due to lack of required information and bonding.

Total amount to award for both Phase One and Two (to Wilco Civil Inc. and B.Cusano Contracting (2007) Ltd., respectively, is **\$6,360,032**

Project Construction Schedule

- Phase One: Civil and Landscaping Works (Tender E121-02)
 - Work will begin in April and will be completed on or before the third week of June to have the site re-opened for public use
 - Current regional bus operations will be re-located to Day Skier Lot 3 during this period
- Phase Two: Roof Structure Installation (Tender E121-03)
 - The roof structure will be pre-fabricated during the spring and summer months
 - On-site installation work will begin in the second week of September and will be completed before the end of October
 - It is anticipated that only the “inner loop” of the site will need to be completely closed during this period, and only for a few days at a time. Regional tour bus drop-off and pick-up will be accommodated on the outside portion of the loop during the time that the “inner loop” is closed.

Fee for Service

Staff will explore a fee for service model for the operation and maintenance of the new facility. This facility is primarily for the benefit of visitors to Whistler and the tour operators that bring them to Whistler by highway coach, and the construction, operation and maintenance of this facility could be primarily funded by the users of the site.

Active management of the site will be explored for busy operation times. Tourism Whistler and Village host will be consulted to determine the most efficient way to provide this additional level of service. Active management will be required to maximize site usage, whether that happens in the first year of operation, or as the site becomes busier.

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Visitor Experience	Communication, travel and services are seamless and convenient at all phases of visitors' trips, from prior to departure until after returning home	The upgraded Gateway Loop facility will significantly improve the arrival and departure experience for visitors travelling by highway coach to and from Whistler.
Transportation	Transportation alternatives and options are developed, promoted and supported so that inter-community mobility minimizes the negative impacts of traditional modes of travel	The upgraded Gateway Loop facility will make highway coach travel to and from Whistler a more attractive alternative with the ability of this facility to accommodate a greater capacity of visitors while still increasing the efficiency and convenience of the trips.
Transportation	The convenience and seamlessness of the alternative transportation system to, from and within Whistler ensures usage rates continue to rise	The upgraded Gateway Loop facility will provide a location for seamless (and weather protected) transfers from highway coaches to smaller shuttles and taxis.
Transportation	Residents, businesses and visitors are increasingly aware of the importance and benefits of alternative transportation choices	The upgrade of the Gateway Loop facility will be a clear message that the community places high importance on providing excellent facilities for alternative modes of transportation.
Built Environment	Building design, construction and operation is characterized by efficiency, durability and flexibility for changing and long-term uses	The design of the upgraded Gateway Loop facility utilizes durable materials that meet the Whistler Village Design Guidelines and no significant additional maintenance costs are anticipated. This design also allows for expansion in the future as the resort increases in visitation.

W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
Finance	The resort community effectively and efficiently balances its costs and expenditures	While the cost of construction for this project exceeds the estimated cost, this is a long-term investment and service fees will be explored to mitigate the cost impact on Whistler taxpayers.

OTHER POLICY CONSIDERATIONS

None.

BUDGET CONSIDERATIONS

The consulting engineer's estimate for construction costs was used to develop the 2016 budget for this project. This project has now been tendered twice, in two different ways and the reality of the

current market conditions are such that the cost to execute this project in 2017 is significantly more than anticipated by the project engineer.

The total cost of construction for this project was estimated at \$3.8 million. This estimate was based on other similar projects that had been recently completed in the Lower Mainland and the Sea to Sky area. The total cost of construction for this project based on the recent tender process is approximately \$6.4 million.

Anticipated expenditures to complete the project:

Item	2017 expected Cost
Phase 1 – Civil & Landscaping	\$3,789,000
Phase 2 – Roof Structure	\$2,571,000
Project Management & Engineering	\$190,000
Other Utility work (Shaw, Telus, Fortis)	\$150,000
Site furniture	\$90,000
Total	\$6,790,000

Sufficient uncommitted funds exist in the General Fund Reserves to support the overall cost of this project and this total cost has been included in the draft 2017-2021 Five-year Financial Plan.

COMMUNITY ENGAGEMENT AND CONSULTATION

A community open house was held on May 4, 2016, in addition to Council workshops in 2015 and presentations to the Advisory Design Panel in March 2016 and February 2017. Feedback from all of these engagements have been incorporated into the design of this project.

As the project begins there we will utilize a number of methods to inform as many stakeholders of the disturbances that they can expect during each phase of the construction.

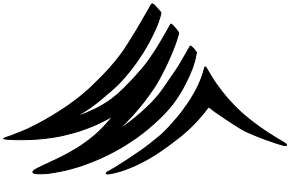
SUMMARY

A public and competitive tender process was undertaken for the two work packages that make up this project. The lowest bidder for each work package is qualified to do the work.

The project engineer has recommended the RMOW accept the lowest bids at:

- 1) \$3,788,902.00 (plus GST) from Wilco Civil Inc. for Tender E121-02 Construction of Site Works; and
- 2) \$2,571,130.00 (plus GST) from B.Cusano Contracting Inc. for Tender E121-03 Transit Shelter.

Respectfully submitted,
Jim Dunlop, AScT.
Senior Technologist
for
James Hallisey
GENERAL MANAGER, INFRASTRUCTURE SERVICES



WHISTLER

MINUTES

REGULAR MEETING OF FOREST & WILDLAND ADVISORY COMMITTEE
 WEDNESDAY, JANUARY 11, 2017, STARTING AT 3:00 P.M.
 In the Piccolo Room
 4325 Blackcomb Way, Whistler, BC V0N 1B4

File: 8221.03

Name	Meetings to Date: 1
Present:	
Member at Large, Derek Bonin	1
Member at Large, Arthur DeJong	1
Member at Large, Candace Rose-Taylor	1
WORCA, Todd Hellinga	1
Member at Large, Johnny Mikes	1
Member at Large, Trevor Burton	1
Member at Large, Colin Rankin	1
Regrets:	
AWARE, Claire Ruddy, Chair	0
Councillor Andree Janyk	0
Member at Large, Kathi Bridge	0
Member at Large, Mac Lowry	0
Recording Secretary	
Heather Beresford	1

Adoption of Agenda

ADOPTION OF AGENDA

Moved by C. Rose-Taylor
 Seconded by T. Hellinga

That the Forest & Wildland Advisory Committee adopt the Forest & Wildland Advisory Committee agenda for January 11, 2017.

CARRIED

Adoption of Minutes

ADOPTION OF MINUTES

Moved by T. Hellinga
 Seconded by J. Mikes

That the Forest & Wildland Advisory Committee adopt the Forest & Wildland Advisory Committee minutes for December 14, 2016.

CARRIED

Elect Chair

FWAC members nominated Claire Ruddy to act as Chair through 2017. C. Ruddy accepted the nomination.

Moved by D. Bonin
Seconded by J. Mikes

That Claire Ruddy serve as FWAC Chair for 2017.

CARRIED

Verbal Reports

Council:

- N/A

AWARE:

- N/A

WORCA:

- Submitted Whistler Interpretive Forest trail development proposal to Cheakamus Community Forest
- Open house scheduled for February

RMOW:

- Brio fuel thinning project proposals received.
- Blackwell & Associates finalizing a draft Wildfire Protection Strategy. Will be presented to Council January 24.
- UBCM funding application being prepared for Alpine Meadows area.

Cheakamus Community Forest:

- Winter logging in W08.

F. DeGagne arrived at 3:28 p.m.

Sea to Sky Visual Quality Objectives

Presentation by Frank DeGagne, RPF, Land and Resource Specialist, Sea to Sky Natural Resource District, MFLNRO.

MFLNRO currently undertaking Visuals Landscape Inventory update for the Sea to Sky Natural Resource District. The review process is largely a re-inventory of 2006 visual landscape inventory along Highway 99 with addition of 2015 inventory of Callaghan Road.

License owners and the Forest Management Leadership Team were notified to review and comment on the draft update to the scenic area polygons and visual quality objectives (VQO) for the Sea to Sky Natural Resource District by January 31, 2017. A 60 day public comment period will follow.

Maps and GIS data are here:

ftp://ftp.for.gov.bc.ca/DSQ/external!/publish/Visuals/Draft_SeatoSky_ScenicAr

Discussion: VQO only apply to forestry activities, but FLNRO requests other proponents follow VQO but there is no legal obligation to do so. The current update is focusing on design to achieve Partial Retention VQO. Ecosystem-based Management approach by default largely meets the recommended VQO. In general, VQO are more restrictive around Whistler.

Forest & Range Practices Act moves the responsibility to forest professionals and proponents to meet the VQO. FLNRNO conducts random sampling to check for compliance, and will respond to complaints.

Draft VQO maps were reviewed.

Next steps: CCF completing its comments for the January 27 deadline and will share with FWAC. Add to FWAC March agenda for review and comments.

F. DeGagne left at 4:15 p.m.

CCF 2017 Harvesting
Plans

Discussion regarding consolidating comments on CCF 2017 harvesting plans.

FWAC reviewed plans at November and December meeting. Consolidated draft comments circulated by email before January meeting.

Further comments to be added to consolidated comments document:

- Logging 2nd growth stands provide an opportunity to implement commercial thinning that can reduce forest fuels and potential fire hazards. Small cable yarding methods have a minimal environmental footprint.
- Recommend conducting a GIS based terrain stability mapping to guide harvest planning. The mapping can identify where slope stability and erosion concerns exist, and appropriate silviculture systems and logging methods can be implemented.
- One of the key benefits to the Whistler community from the CCF is to provide improved access for recreation.
- Powder 07: Concern expressed regarding unintended consequences that could possibly undermine the intent of any motorized/non-motorized backcountry sharing accords through the creation of new or reopening of old access.
- CCF should prioritize opportunities to harvest using existing roads rather than building new road.
- Terrain mapping information would help FWAC and public better understand proposed harvesting and its effects
- CCF needs to better integrate fuel management plans with harvesting plans.
- Focus on second growth, especially commercial thinning for wildfire management.

- Encourage CCF to provide longer term contracts to encourage operators to make equipment investments that facilitate harvesting smaller diameter second growth trees.

ACTION: Attach consolidated comments as Appendix A to minutes and distribute to CCF Board.

FWAC Priorities & Tasks

Discussion regarding FWAC priorities for 2017

Discussion: concern that FWAC may be discussing topics and providing recommendations that are not Council priorities.

Priorities for review:

- Wildfire management
- Access – need to articulate what FWAC can do to augment CCF and RMOW efforts on access management. FWAC could assist in identifying different types of access.
- Coordinated recreation infrastructure planning

Next steps: meet with RLAC and Trail Planning Working Group to discuss priorities.

ACTION: Subcommittee (J. Mikes, T. Hellinga, C. Rankin, T. Burton) to develop framework identifying FWAC objectives regarding access.

Other Business

OTHER BUSINESS

Future Agenda Items:

- February: review RMOW Wildfire Protection Strategy
- March: Visual Quality Objectives
- TBD: Presentation by Bob Cunneynworth, FLNRO Compliance and Enforcement Officer

ADJOURNMENT

Moved by A. DeJong

That the Forest & Wildland Advisory Committee adjourn the January 11, 2017 meeting at 5:05 p.m.

CARRIED

CHAIR: C. Ruddy

RECORDING SECRETARY: H. Beresford

APPENDIX A

Consolidated FWAC Comments on 2017 Harvesting Plans

- Plans presented to FWAC by Tom Cole, Cheakamus Community Forest, at the November 9 and December 14, 2016 FWAC meetings.
- Comments are those recorded in the meeting minutes.

Comments organized to match Logging and Road Development areas shown on 2017 Road and Logging Development Plan Summary.

2017 Logging and Road Development Areas

Powder02:

- No specific comments

Rainbow04:

- No specific comments

Wedge02:

- Contractor will build road shortly at Wedge 02 area. First time attempting winter harvest operations.
- Discussion re: AWARE spotted some flagging tape that appeared to cross the Comfortably Numb trail.
 - ACTION: T. Cole will follow up to ensure harvest area is flagged correctly (i.e. not across trail and respecting specific no harvest zones).
- WORCA requested edges of harvesting be “feathered” to minimize visual impact to Comfortably Numb. T. Cole noted that Forest Stewardship Plan has objective to do modified harvesting near defined recreation elements. Moderate retention is planned and logging will not take place across the trail. Access road will be deactivated later.

Wedge08:

- No specific comments

CMA – A01 (G)

- No specific comments

CMA – A01 (A, E & G)

- No specific comments

CMA – A01 (Q & R)

- No specific comments

Fee01

- No specific comments

Powder07

- Motorized vs. non-motorized zones, commercial vs. public. Concern expressed regarding unintended consequences that could possibly undermine the intent of any

motorized/non-motorized backcountry sharing accords through the creation of new or reopening of old access.

Rainbow13

- Whistler Olympic Park, CWA areas. Harvesting planned for June 2017. Considering alternate access routes. CCF has yet to hear back from Whistler Olympic Park.

Cheakamus15

- Cheak-15 post-harvest access. Concerns about opening up too much access to Jane/Jake Lakes.

2017 Road Construction Plan for 2018 Logging Areas

Cheakamus02

- Cheak-02 "Road Ahead" program. Questions around visible cuts from various sightlines and potential impacts around the Cheakamus Crossing neighbourhood. T. Cole explained that benched, small openings would limit such potential impacts.
- Concern with plans to harvest Cheakamus 02 (CK02) above Highline trail. Very busy recreation area. T. Cole noted that there are no trails within CK02 and it's in the Timber Harvesting Land Base. CCF needs to do formal referral with WB because CK02 is in the CRA. Will access by opening an old road. CK02 was included in long range plans communicated previously.

Powder 07

- See above

Landscape Level Fuel Reduction Areas

Rainbow 04 & 06

West Interface

Cheakamus 01

- No specific comments

General Comments

- Discussion re: approach to long-term road planning in certain areas and how this relates to recreation access. T. Cole confirmed that harvest plans, timing and related roads are considered in the draft Access Management Plan. The drivers for locations and types of road are primarily industrial (i.e. forestry). Access can be restricted after harvesting if desired.
- Landscape level fuel reduction plans. FWAC members would benefit from overview of how wildfire reduction plans relate to CCF harvest plans.
- No feedback from December 7 open house.
- Suggest CCF update the 1-3 and 4-10 year plans regularly to keep community informed. Recommend putting all polygons on same map.
- CCF is managing visual quality for minimum of partial retention, meaning 5-7% disturbance on the landscape.

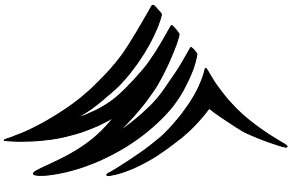
MINUTES

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- Logging 2nd growth stands provide an opportunity to implement commercial thinning that can reduce forest fuels and potential fire hazards. Small cable yarding methods have a minimal environmental footprint.
- Recommend conducting a GIS based terrain stability mapping to guide harvest planning. The mapping can identify where slope stability and erosion concerns exist, and appropriate silviculture systems and logging methods can be implemented.
- One of the key benefits to the Whistler community from the CCF is to provide improved access for recreation.
- CCF should prioritize opportunities to harvest using existing roads rather than building new road.
- Terrain mapping information would help FWAC and public better understand proposed harvesting and its effects
- CCF needs to better integrate fuel management plans with harvesting plans.
- Focus on second growth, especially commercial thinning for wildfire management.
- Encourage CCF to provide longer term contracts to encourage operators to make equipment investments that facilitate harvesting smaller diameter second growth trees.



WHISTLER

MINUTES REGULAR MEETING OF WHISTLER BEAR ADVISORY COMMITTEE

JANUARY 11, 2017, STARTING AT 8:30 A.M.

**At Decker Room
RMOW Public Works Yard**

PRESENT:

Co-Chair, RMOW, H. Beresford
Conservation Officer Service, S. Gravel
RMOW Bylaw Services, T. Lunn
RMOW Councillor J. Ford
Carney's Waste Systems, P. Kindree

Public:

Whistler Wildlife Protection Group, I. Minic-Lukac
Ellie Archer
Wind River Bear Institute, Lori Homstol

REGRETS:

Co-Chair, Get Bear Smart, S. Dolson
RCMP. Sgt. R. Knapton
AWARE/C2C Grizzly Bear Initiative, C. Ruddy
Whistler Blackcomb, A. DeJong
Member at Large, C. Hedderson

ADOPTION OF AGENDA

Moved by J. Ford
Seconded by L. Homstol

That Whistler Bear Advisory Committee adopt the Whistler Bear Advisory Committee agenda of January 11, 2017.

CARRIED

ADOPTION OF MINUTES

Moved by J. Ford
Seconded by T. Lunn

That Whistler Bear Advisory Committee adopt the Regular Whistler Bear Advisory Committee minutes of December 14, 2016.

CARRIED

Conservation
Officer Service

A discussion led by Sgt. S. Gravel regarding COS activities.

- S. Gravel has returned as sergeant for Sea to Sky District

- B. Mueller still on light duty, but anticipate being back to full staffing levels by March.
- Bears quiet but numerous bobcat reports.
- Some media outreach concerning securing attractants against all wildlife.
- COS role with large special events (Ironman, Pemberton Festival). COS works with organizer and SLRD to ensure provincial regulations are followed. May be hired by organizer to provide extra service where organizer cannot do so with its own resources. Pemberton Festival also used Wind River Bear Institute team to patrol site. The use of dogs raises issues with the Wildlife Act regarding harassing wildlife. Needs strict conditions applied. Discussed possibility of adjusting Ironman route to avoid bear habitat but likely not possible.

Bylaw Services A discussion led by T. Lunn regarding RMOW Bylaw Services activities.

- No calls since last meeting

Carney's Update A discussion led by P. Kindree regarding Carney's Waste Services activities.

- Nesters compactor site was overwhelmed at times during Christmas holidays. Recommending to RMOW that service be increased to daily in future. Entire valley experienced increased demand for waste management services. Traffic and snow slowed down service.
- A bobcat has been sighted inside Callaghan transfer station grounds. Will report to COS if spotted again.

RMOW Update A discussion led by H. Beresford regarding RMOW activities.

- Advertised for Community Member-at-Large. Council will make decision January 24.
- H. Beresford and A. Tucker, Solid Waste and Transportation Manager, developing system for improving efficiency and tracking contractors who bring residential waste to compactor sites.
- WBAC reviewed document tracking how its comments on the draft Garbage Disposal and Wildlife Attractants bylaw have been incorporated so far. See Appendix A.
- Bear Response Plan – RMOW and COS committed to completing as soon as possible in 2017.
- Bear Smart Program Assistant – A. Paris is returning in April.
- Rainbow Plaza waste storage room – emails circulating between Carney's, AWARE and RMOW in regard to inadequacy of the storage room. AWARE will connect with site manager to search for solutions.

ACTION: P. Kindree to provide example(s) of effective solid waste facility planning from other communities.

ACTION: H. Beresford will follow up with Solid Waste Manager, Building department and Planning department for discussion regarding process for solid waste facility planning.

Previous Action
Updates

- H. Beresford connect with Sea to Sky Invasive Species Council (SSISC) to ensure that it is not promoting bear attractant plants as alternatives to invasives.
 - Action taken: SSISC agrees to not promote bear attractant plants in its outreach material.

ADJOURNMENT

Moved by J. Ford

That Whistler Bear Advisory Committee adjourn the January 11, 2017 meeting at 10:59 a.m.

CARRIED

CO-CHAIR: H. Beresford

RECORDING SECRETARY: H. Beresford

APPENDIX A

January 6, 2017: This is Appendix C from the updated Human-Bear Conflict Management Plan. I compared the relevant sections of the current draft of the Garbage Disposal Bylaw to determine how it was incorporating the bear management comments from Appendix C.

WBAC Comments from January 11 meeting: Still concern that we need to have a way to avoid stock piling garbage in a garage, for example, that attracts bears. COS would issue DWPO/ticket if bear tries to access or if garage is obviously not secure. Are there other communities that manage this issue? Perhaps Ottawa....pick up every 3 weeks and only allowed 1 garbage can. Really pushes people to divert streams.

Appendix C: WBAC Recommended Amendments to Garbage Disposal and Wildlife Attractants Bylaw, No. 1861

- Change wildlife resistant container to wildlife-proof in the definition and throughout the sections > “wildlife-proof container” means a fully enclosed container with a sealed lid and a self-latching mechanism of sufficient design and strength to prevent access by dangerous wildlife, that is securely affixed to the ground or to an immovable object or fixture, and that is described in Bylaw Appendix A;

Draft Bylaw:

"Wildlife Proof Container" means a fully enclosed container of sufficient design and strength to prevent access by dangerous wildlife that is securely affixed to the ground or to an immovable object or fixture;

WBAC Comments from January 11 meeting: Include reference of approved products that have been tested and certified.

"Wildlife Proof Enclosure" means a structure of sufficient design and strength to prevent access by dangerous wildlife.

WBAC Comments from January 11 meeting: Could RMOW provide loaner bins? Or at a discount?

- Add Section: Landlords must ensure that tenants are provided with bear-proof garbage

and recycling disposal – either on site or provide a collection service to remove garbage and recycling from the property on a minimum weekly basis. Any on-site disposal must be bear-proof and emptied on a minimum weekly basis.

Draft Bylaw:

- (1) Parcel owners/ Agents are responsible for scheduling Solid Waste to be removed from the parcel as frequently as needed, such that the Solid Waste is not a Dangerous Wildlife Attractant.

HB is seeking clarity on this clause to see if it is meant to require landlords to provide service for their tenants.

WBAC Comments from January 11 meeting: Remove term “Dangerous”...too narrow. Focus on garbage being in bear-proof container, limit number of containers to 2 or can't have refuse

- Make bear-proof waste shed guidelines requirements mandatory. Change enclosure specs to add that exterior walls should not be made of wood. Delete page 2 that shows an open style shed with saloon style doors. Perhaps, in the interest of encouraging recycling, delete page 1 as well as it only shows a floor plan that includes a garbage bin with no options for recycling. By allowing this design w/o recycling options, we open up the possibility of storing the recycling outside of an enclosure.

Draft Bylaw:

Parcel owners/occupiers/agents are responsible for adhering to the Solid Waste storage guidelines for the dimension, content and layout of Solid Waste disposal and storage facilities as part of obtaining an RMOW Development Permit.

WBAC Comments from January 11 meeting: Review guidelines from other communities to find effective approach.

- Update Appendix A contact info. in Bylaw

Draft Bylaw:

That section is no longer in the bylaw. If contact info changes, then the Bylaw needs to be amended so they aren't including it.

- Amend Section 4 to read: Garbage and recycling containers required for temporary special events, such as sporting events, concerts, weekend ball tournaments, weddings, and outdoor conventions are subject to the requirement under section 3.

Draft Bylaw:

- (1) All event producers, in conjunction with the submission of a Whistler Village Event Permit Application, shall submit a Solid Waste Management Plan as outlined in the Application.
- (2) Event vendors shall be encouraged to use packaging/food ware that can be recycled or composted.

WBAC Comments from January 11 meeting: Can RMOW require only compostable?

- (3) Event producers are responsible for adhering to the Solid Waste storage guidelines in Sections 6 and 7.
 - (4) It is the Event producer's responsibility to ensure that event generated Solid Waste streams are appropriately separated prior to pick up by the Waste Hauler. Garbage to Landfill that is contaminated by more than 25% (assessed at the discretion of the Waste Hauler) materials or items not defined as Garbage to Landfill may be rejected for collection by the Waste Hauler or the load will be tipped at the Municipal Transfer Station at the fee set for Mixed Waste.
- Section 16 > change number of units from 12 to 6: Single family and multiple family residential development having six or more dwelling units shall provide a garbage storage site located inside a building or within a wildlife proof enclosure or within a wildlife resistant container.

Draft Bylaw:

Changed from 12 to 6 units.

Multi-Family Residential" means multiple separate Dwelling Units within one complex or building; any complex or building with greater than six (6) Dwelling Units requires a Wildlife Proof Enclosure for Solid Waste disposal;

- Add a section that deals with ICI waste > No person shall dispose of industrial, commercial and institutional waste or recyclable materials except into:
 - (a) a wildlife proof container;
 - (b) a container in a wildlife proof enclosure;
 - (c) a wildlife proof garbage compactor; or
 - (d) subject to section 6, a recycling facility.

Draft Bylaw:

Definition for Solid Waste now include ICI waste so it will be treated under the same requirements.

- Section 6: should include ICI waste as well as domestic garbage.

Draft Bylaw:

Definitions are changed to avoid the redundancies of previous definitions. Solid waste is defined as refuse originating within RMOW, then they break it out into the different streams.

- Section 17: No person shall store, handle or dispose of wildlife attractants in such a

way that they attract or are accessible to dangerous wildlife.

WBAC Comments from January 11 meeting: Remove word dangerous...but trying to match Wildlife Act. Does that make it too broad? E.g. Does feeding a bird becomes illegal?

Draft Bylaw:

This wording is included extensively in Section 6, Dangerous Wildlife Attractants.

- Clause 8 –does this include litter or just illegal dumping? Do we need to reference provincial law here?

Draft Bylaw:

I'm not sure what this referred to and can't find anything in the draft bylaw.

- Clause 14 – reword to be clearer – it now says if you have wildlife proof container, it must be closed as opposed to containers must be wildlife proof or in secure building/enclosure, also requires people to have enclosure as opposed to maintain enclosure if have it.

Draft Bylaw:

- (1) A person/parcel owner/occupier/agent must not leave, place or store outdoors any Solid Waste that is a dangerous wildlife attractant except if stored in:
1. A wildlife proof container which is located within;
 2. A wildlife proof enclosure.

WBAC Comments from January 11 meeting: Clause 1 is not clear. Add word "or" between 1 and 2. Don't need to have one inside the other.

Submitted on Thursday, February 2, 2017 - 16:46 Submitted by anonymous user: 69.156.110.216
Submitted values are:

Full Name: Diana Nagy

Mailing Address: 89 Parkway Avenue, Markham Ontario L3P 2H1 Civic address if different from mailing address:

Email Address: howshk@gmail.com

Phone Number: 416-918-1131

Your Message:

Although I do not live in the Cheakamus Crossing neighbourhood of Whistler, I often visit as my daughter lives in the neighbourhood. I am writing this letter to express my concern over the close proximity of the asphalt plant to the Cheakamus Crossing neighbourhood in Whistler, BC.

This neighbourhood is comprised of families, many with young children (infants and toddlers). I am concerned of the short and long term effects on my pregnant daughter, my son-in-law, and my young grandson. These families live and breathe in Cheakamus Crossing. My grandson goes to daycare in the neighbourhood, rides the BMX track in the summer, goes on hikes in the neighbourhood, plays in the playground with friends. These families spend the majority of their time outside enjoying nature.

We do not know the long term health effects of living so close to an asphalt plant. These plants emit carbon monoxide, sulfur dioxide, nitrogen dioxide and lead. All these are hazardous to one's health. My daughter and her family are breathing in this pollution.

This quarry is situated immediately adjacent to this neighbourhood of full time residents with young families. You can often see dust coming from the quarry. Blasting so enormous that it shakes the houses of the neighbourhood. I'm concerned over the short and long term effects on the families and children of the neighbourhood.

I am expressing my concern over the Asphalt plants current plans for a 30-year lease extension of the site located less than 300 metres from the Cheakamus Crossing neighbourhood. I am hopeful this issue will be investigated further, the request for a lease extension will be denied, and the Asphalt plant be closed or relocated to an area that does not impact the health and lives of families living and working in Whistler.

Kind Regards,

Diana Nagy, 89 Parkway Avenue, Markham, Ontario L3P2H1

Mobile: 416-918-1131

Please sign the form by entering your initials: DN

From: Canadian Fallen Heroes Foundation [<mailto:memorials@canadianfallenheroes.com>]

Sent: Tuesday, February 07, 2017 12:23

To: Wanda Bradbury <WBradbury@whistler.ca>

Subject: Resort Municipality of Whistler Attn: Mayor & Council

Dear Mayor & Council,

I have attached our information letter for you as well as an example of an ad and an explanation of our kids' program. We are hoping that we can get the kids from the Resort Municipality of Whistler doing research about your local soldiers that gave their lives during wartimes for the freedoms we all enjoy today. As we are a registered charity, we rely on donations from the community in order to continue this important project. We feel that this program teaches the younger generation the reason why these people should never be forgotten. I am also attaching a copy of the Youth Initiative Application Form for your local schools. If you would like to pass this information along, that would be wonderful. Please let us know if there is a Grant in Aid Form that needs to be filled out for your next meeting. You may contact me via email or by phone at 250.921.5180. Thank you for taking the time to review our project.

Have a nice day,

Toni Hall

Canadian Fallen Heroes Foundation

E. memorials@canadianfallenheroes.com

www.canadianfallenheroes.com

Youth Remembrance Initiative



Canadian Fallen Heroes Foundation

Who We Are:

For nearly fourteen years, the Canadian Fallen Heroes Foundation has been tasked with creating memorials for each of Canada's fallen soldiers. It is an honour to do so. One soldier at a time, we hope to share their story, to shed light on their pre enlistment lives and gain a greater understanding of their dreams and aspirations. They went to school here, they enlisted here and thousands would leave their parents, homes and families, never to return. That they would sacrifice this future for their family and friends, community and nation is heroic and no effort is spared to honour their memory.

Our Mission:

To create memorials in honour of the fallen and bring them home. Providing for them a permanent and prominent place in the community.

Our Programs:

Youth Outreach & Partnerships – Our foundation actively supports youth involvement in this process of research and Remembrance and is pleased to contribute towards the efforts of the Army Cadet League of Canada's 2016 Battlefield Tour. Through partnerships with public schools, legions, community centers and historical societies, we greater increase the education of Remembrance in home communities. As the nation nears its 150th anniversary, we remember well the rights and freedoms we enjoy today came at a heavy cost and those who gave their lives in service deserve a significant role in the celebrations planned for this year and beyond. To help ensure each community who lost a son or daughter in the cause of freedom and democracy is represented, the Foundation is inviting 1000 classrooms and youth groups across Canada to participate in the 150 Memorial project. Those selected to participate are provided a gift of \$150.00 and a set of age-appropriate tasks to perform as part of their contribution to the Memorial project. Applications for funding can be made online and we hope to involve schools from every corner of our province.

In Memoriam – In 2012, we successfully designed and rolled out an online version of the memorials to better engage youth with a medium they are familiar with. Please visit the IN MEMORIAM section of our website at www.canadianfallenheroes.com to view the soldiers from your area.

Physical Memorial Prints – Donated for permanent display in the towns once called home, these beautiful 23" x 19" oak-framed Memorials are printed with archival inks and laminated with UV resistant film. They feature a photograph and biography including military history and once complete serve as a permanent reminder of those that would leave their home and not return.

Bringing Home The Fallen – 2017/2018

How can you help?

We had great success this year involving students from two Winnipeg schools. They were invited to help research and later write biographies for the soldiers they found. Memorials for some of those whose pictures were found were included as part of a large display at Polo Park mall prior to Remembrance Day. We provided funding and support from donations made to the Foundation and created a template allowing school-aged children an opportunity to participate in an age appropriate manner. The children did a wonderful job and our Foundation is going to continue pledging money for research this coming year to similar partnerships with schools and youth groups throughout Canada. A complete honour roll for every community who lost a son or daughter in service to the country will be built in this way as a special initiative on Canada's 150th.

As a nationally registered charity, we depend solely on the community to complete this important mission. We hope you will consider a gift to the foundation with one of the levels below. All donations are welcome and in accordance with our charitable status, all donors will receive an official tax receipt. The ads we place will be on our website and will come up as soon as you open the soldiers from your municipality. For every 500.00 raised a local classroom will receive \$ 150.00 to help with research of the local soldiers. Website ad rates are below:

Municipal Rate

\$1000.00 – Full Page

\$500.00 – Half Page

\$250.00 – Quarter Page

\$125.00 – Honourable Mention

Provincial Rate

\$4000.00 - Full Page

\$2000.00 - Half Page

\$1000.00 – Quarter Page

\$500.00 – Honourable Mention

Contact Us

Canadian Fallen Heroes Foundation
PO Box 293
Fruitvale BC V0G 1L0

Phone: 778.459.2224

Email: memorials@canadianfallenheroes.com

Media:

<http://aptn.ca/news/2016/11/10/family-surprised-to-see-great-grandfather-in-war-memorial-display/>

<https://goo.gl/photos/EDq2uwwHFKXs7Dse7>

*The Canadian Fallen Heroes Foundation is proud to be a registered Canadian charity.
Charity Tax No. 86563 9447 RR0001*

Sponsorship Ad

In Memoriam

Search by: **Heroes** Sponsors

Soldier Name:

* When searching by name, please enter the surname followed by a comma.

War:

Province:

City/Town:

SEARCH NOW

Your search returned **40** soldiers. Soldiers are matched to the search criteria above. Some soldiers belong to multiple towns.

Rank/Name	Hometown
 Boneca, Anthony Joseph Corporal	Thunder Bay, Ontario
 Cameron, William Hugh Private	Thunder Bay, Ontario
 Costall, Robert Howard Private	Thunder Bay, Ontario
 Cunningham, Walter Garfield Flying Officer	Thunder Bay, Ontario
 Klukie, Joshua James Private	Thunder Bay, Ontario
 Bell, George Raymond	Thunder Bay, Ontario

Remembering and Honouring Our Fallen Heroes



Bill Mauro, MPP
Thunder Bay-Atikokan

240 South Syndicate Avenue
Thunder Bay, ON P7E 1C8
T: 807-623-9237 | bmauro.mpp.co@liberal.ola.org

Kids In Action



Our foundation is pleased to invite **STUDENTS** to participate with research and help us find the fallen.

Apply now for funding for your classroom or youth group and help us share their story.



Funding for this program provided by:

Canadian Fallen Heroes Foundation

Suite 116 3 212 Henderson Hwy
Winnipeg MB R2L 1L8

**SPONSORSHIP
INFORMATION**



facebook.com/CanadianFallenHeroes

204.818.0430

www.CanadianFallenHeroes.com



Bring Home The Fallen 2017

Youth Remembrance Initiative Application

Thank you for your interest in the **2017 Youth Remembrance Initiative** sponsored by the Canadian Fallen Heroes Foundation! We are excited to have your classroom join our team of national researchers! In conjunction with the 150th Birthday of Canada, our foundation is offering a grant of \$150/classroom for your help in researching and honouring the men and women that paid the supreme sacrifice for our nation. These funds should be used to offset any costs associated with the project as well as a celebration for your students at the end of your project.

Please fill out this short application and submit it by email to cadetresearch@canadianfallenheroes.com. ***We invite multiple classrooms from your school to apply for this grant.***

School Name:	
Teacher Name :	
Phone Number:	
Mailing Address:	
Email Address:	
Number of students in class:	
Does your classroom have access to computers including internet and word processing software?	
Is the Canadian Fallen Heroes Foundation allowed to use pictures of your students in future advertising and social media?	

Upon approval of this application, a list containing names of fallen soldiers from Canada will be sent to you by email along with an information package on how to get started.

Thank you again for your interest in bringing the education of Remembrance to your classroom!

Canadian Fallen Heroes Foundation
www.canadianfallenheroes.com

***The Canadian Fallen Heroes Foundation is proud to be a registered Canadian charity.
Charity Tax No. 86563 9447 RR0001***

From: Melissa Pace [<mailto:CEO@whistlerchamber.com>]
Sent: Wednesday, February 15, 2017 10:24
To: Wanda Bradbury <WBradbury@whistler.ca>
Subject: Proclamation for Chamber Week Feb 20-24, 2017

Hi Wanda,

Please find attached the proclamation for Chamber Week which is next week from Feb 20-24, 2017. I apologize for the delay in getting this to you as I get myself on track in my new role.

Your patience is so much appreciated!

Kindly,

Melissa



Melissa Pace

“Networking Guru” - Whistler Chamber Acting CEO

melissa@whistlerchamber.com

o. 604.932.5922 ext. 22



making business easy.



CHAMBER OF COMMERCE WEEK PROCLAMATION

WHEREAS a strong local business community is a key driver of our local economic prosperity, and

WHEREAS a strong local business community creates jobs and opportunities for residents of Whistler and supports growth, and

WHEREAS The Whistler Chamber of Commerce is a business organization dedicated to strengthening Whistler's business community and helping the Sea to Sky thrive, and

WHEREAS every year, members of The Whistler Chamber dedicate countless volunteer hours in service to our local business community:

NOW, THEREFORE, I Nancy Wilhelm-Morden, Mayor of Whistler, do hereby proclaim that February 20 to 24, 2017, shall be known as

'Chamber of Commerce Week'

In the Resort Municipality of Whistler

From: Delena Angrignon [<mailto:delena@myseatosky.org>]

Sent: Wednesday, February 15, 2017 12:04

To: Andrée Janyk <ajanyk@whistler.ca>; Jack Crompton <jcrompton@whistler.ca>; Jen Ford <jford@whistler.ca>; John Grills <jgrills@whistler.ca>; Steve Anderson <sanderson@whistler.ca>; Sue Maxwell <smaxwell@whistler.ca>; Wanda Bradbury <WBradbury@whistler.ca>

Subject: Feb 18th meeting hosted by MP Pamela Goldsmith-Jones, in Squamish

Dear Mayor and Council.

I have attached a letter that is being sent out to all the Mayor's and Councils around Howe Sound and to MP Pamela Goldsmith_Jones for your meeting on February 18th.

I have also included the details in the body of this email. We have provided information on the issues that we hope will help educate you on our ongoing concerns.

This letter is being sent on behalf of My Sea To Sky, Future of Howe Sound and Concerned Citizens of Bowen.

Our hope is that you will be able to impress to our MP the importance of the issues that are outstanding and to relay the importance of public engagement that truly allows the public's voice to be heard.

We are passionate about the protection of Howe Sound and its natural assets and the importance it plays in Tourism.

Kind Regards.

Delena Angrignon

Co-Founder, My Sea To Sky

PO Box 5271

Squamish, BC

V8B 0C2

Mobile: 778-266-1432

www.myseatosky.org



Concerned
Citizens
Bowen . ca

February 13, 2016

Dear Mayor and Council,

On Saturday, February 18th, we understand that you are invited to participate in a forum hosted by MP Pamela Goldsmith-Jones to discuss the Proposed Woodfibre LNG Export facility.

Per the BCEAO website:

EAO has formally accepted an Application to amend Environmental Assessment Certificate (EAC) #15-02, for the Woodfibre LNG Project. The public is invited to obtain information about and comment on a proposed amendment to Certificate #15-02. A 30 day public comment period will start on February 9, 2017 and end on March 11, 2017 on the [EAC Amendment Application](#). The public is invited to submit comments regarding new or additional potential effects that might result from the proposed amendment. All written comments received by online form, fax or mail during this time period will be considered.

We are very concerned about the public's ability to engage in a meaningful, informed and democratic way and would like these issues raised with MLA Pamela Goldsmith-Jones during this meeting.

We ask your help in the following:

1. Engage Working Groups in this new application and provide 90 days for them to properly evaluate the new information presented.
2. Public open house in Squamish and West Vancouver that allows for the public to ask questions of the proponent and the consultants.
3. Make hard copies of the amendment made available in all community libraries.

Other topics that we would ask for your help in engaging our Federal Government:

1. Tanker Safety and the lack of standards similar or stronger than the US
2. Floating Storage Containers – the use of 40-year-old tankers that have been retired from service used to store LNG.
3. Site for the facility and the fact it contravenes the industry's recommendations - SIGTTO

We have included supporting documents that provide details on our concerns and a reminder of municipal agreement for banning LNG Tankers in Howe Sound.

Thanks for taking the time to read this letter.

Kind Regards.

Delena Angrignon
My Sea to Sky

Ruth Simons
Future of Howe Sound

Anton van Walraven
Concerned Citizens of Bowen

BANNING TANKER TRAFFIC IN THE SALISH SEA

Communities and Regional Districts around Howe Sound have signaled strong opposition to the proposed Woodfibre LNG project. The Union of BC Municipalities has also passed a resolution urging the Federal Government to ban LNG tanker traffic in the waters of the Malaspina, Georgia, Juan de Fuca and Haro Straits, and Boundary Pass.

Below is an incomplete list of recent resolutions and votes:

1. Village of Lions Bay, May 20, 2014

"the Village of Lions Bay urges the federal government to ban the passage of LNG tankers in the waters of the Malaspina, Georgia, Juan de Fuca and Haro Straits, and Boundary Pass."

<http://files.lionsbay.ca/2014%20Content/Council/Minutes/20140520%20Regular%20Meeting%20Minutes%20-%20signed.pdf>

2. Powell River Regional District, May 22, 2014

Resolution 9.1 Ban LNG Tankers from Howe Sound & Georgia/Haro Strait
D.Murphy/P. Brabazon THAT the Board concur with the recommendations of the Committee of the Whole to send a letter to the Premier of BC, the Prime Minister of Canada and copy to other appropriate local governments to advise the Regional District's support for the 2008 UBCM resolution to ban LNG tanker traffic in the Georgia/Haro Straits is still in effect.

3. Town of Gibsons, July 15, 2014

"Gibsons Council urge the federal government to ban the passage of LNG tankers in the waters of Howe Sound and the Georgia Strait, and to request the support of other communities around the Howe Sound to support this resolution."

<http://www.gibsons.ca/include/get.php?nodeid=808>

4. District of West Vancouver, July 21, 2014

"to write to the federal government with a suggestion to ban the passage of LNG tankers in the waters of Howe Sound."

<http://westvancouver.ca/sites/default/files/dwv/council-minutes/2014/July/14jul21.pdf>

5. Municipality of Squamish, January 20th 2015

"Council votes no to LNG pipeline test drilling in Squamish estuary"

<http://www.squamishchief.com/news/local-news/council-votes-no-to-fortis-drilling-1.1737742>

6. Bowen Island Municipality: Feb 24, 2015

"Resolution regarding an LNG tanker ban in Howe Sound carried"

<https://bowenisland.civicweb.net/document/59416/150223%20RC%20MinutesFINAL%28E%29.pdf>>

7. Municipality of Squamish, April 28th 2015

"Squamish Council voted 4-3 to send a letter to the Environmental Assessment office stating that the Woodfibre LNG project is not supportable as it stands."

<http://squamish.ca/assets/WLNG/DOS-Council-EAO-Response-Apr30-2015-combined.pdf>

8. Union of BC Municipalities resolution, 2008

WHEREAS the waters of Georgia and Malaspina Straits provide a vital habitat for diverse bird and fish species, a corridor for commercial and recreational marine traffic and an attraction for upland settlement; AND WHEREAS WestPac LNG is soliciting interest to build an LNG import facility and associated 600MW gas-fired electricity generating plant on Texada Island, which will involve the passage of a significant number of LNG tankers in the Georgia Strait, which will interfere with existing marine traffic, put at risk these ecologically important and sensitive inland waters, and negatively impact upland development along this route: THEREFORE BE IT RESOLVED that the UBCM urge the federal government to ban the passage of LNG tankers in the waters of the Malaspina, Georgia, Juan de Fuca and Haro Straits, and Boundary Pass.

[UBCM resolution B143 on LNG Tanker Traffic Ban in Georgia Strait](#)

SAFETY HAZARDS

DANGERS POSED BY LNG TANKERS PLACE HOWE SOUND COMMUNITIES AT RISK

The danger lies in a Liquefied Natural Gas (LNG) vapour cloud released from a breached cargo tank. LNG vapour can be ignited with the slightest spark (e.g., cigarette) and could cause an enormous spreading fireball—lethal to anything within several kilometres. Risks include death by cryogenic freezing, fire or explosion; suffocation; thermal radiation burns; and damage or destruction of property by fire or explosion, and forest fires.

The tanker route runs along the shore of West Vancouver and through Howe Sound. It cuts across three BC Ferries routes carrying thousands of daily passengers. Howe Sound is notorious for strong winds and has several narrow passages. The ability to maneuver a massive LNG carrier is highly restricted. Each tanker would need to be assisted by three tugboats. If a tanker collided with a ferry or ran aground and caught fire, the impacts would be devastating.

The U.S. Coast Guard and U.S. Dept. of Homeland Security use world experts on LNG fires to define hazard zones around LNG tanker routes, to protect human life and property. Canada has no such safeguards. Hazard zones extend 3,500 m on either side of the LNG tanker. Check out the map to see if your home or business, or your children's school is within 3,500 m of the tanker route.

As LNG tankers transit Howe Sound, there is a high-danger zone for 1,600 metres on either side of the LNG tanker (see Zone 2 boundary on the map below). People within this zone risk death by asphyxiation, or death/injury by fire or explosion if an accident happens. Every time a tanker travels through Howe Sound (approximately 6-8 transits a month according to Woodfibre LNG) the following communities are in that high-danger zone: Bowen Island, Bowyer Island, Anvil Island, Passage Island, Porteau Cove, West Vancouver, and parts of the Sea to Sky highway.

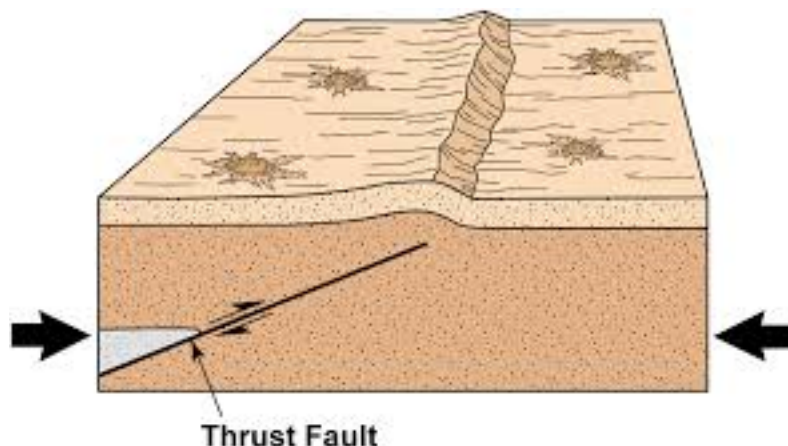
Source: [Sandia Report, 2004](#)

SITING AN LNG EXPORT FACILITY IN HOWE SOUND VIOLATES INTERNATIONAL SAFETY STANDARDS AND PRACTICES.

According to the Society of International Gas Tanker and Terminal Operators (SIGTTO) **LNG Terminal Siting Standards**:

1. LNG ports must be located where they do not conflict with other waterway uses, including fishing, recreational boating, and ferries.
2. Long, narrow inland waterways are to be avoided, due to greater navigation risk. Fjords (such as Howe Sound) are by **definition** "long, narrow inlets characterized by steep sides, created in a valley carved by glacial activity."
3. LNG ports must not be located on the outside curve in the waterway, since other transiting vessels would at some time during their transits be headed directly at the berthed LNG ship.
4. Human error potential always exists, so it must be taken into consideration when selecting and designing an LNG port.

SITE INCLUDES 2 THRUST FAULTS RUNNING THROUGH THE PROPERTY



USE OF 40 YEAR OLD RETIRED TANKERS AS ON OCEAN STORAGE.

In a recent post in The Squamish Chief, Woodfibre LNG's VP Byng Giraud said he must "cut costs to make the business profitable." The company website states that safety will come about through "Use of appropriate materials and compliance with industry and safety best practices" and "Proper engineering design of all onshore and floating facilities."

Many wondered what the tradeoffs would be between safety and cost. Influential shipping magazine TradeWinds is reporting that Woodfibre plans "to use two elderly LNG carriers as floating storage units (FSUs)... Two LNG carriers, the 126,300 m³ LNG Capricorn (built 1978) and LNG Taurus (built 1979), which were purchased by Singapore-based Nova Shipping & Logistics last year, have been widely rumoured to be earmarked for conversion into FSUs for the Woodfibre project. Both ships are currently laid up in Southeast Asia."

What can possibly go wrong with using two "elderly" 285-metre-long, bolted-together vessels holding 120,000 tones of flammable fracked gas? Plenty!

These ships are old! Almost 40 years old, they are among the oldest 5 per cent of the world's 400-plus LNG carriers and 3.5 times older than the fleet's average age. In human terms, these ships are nearing 150 years old. If installed for the 25-year life of the plant, by 2045 they would be by far the oldest active LNG vessels ever.

LNG carriers have a 20-year design lifetime which factors the stress, metal fatigue and tank damage these ships endure from pounding waves (100 million of them over 20 years), sloshing cargoes, electrolytic thinning of the hull's steel and rusting of key pumps and valves essential to keeping the vessel operating safely. If a spill were to happen – an accident or a terrorist attack on these "sitting ducks" – these tankers have no secondary containment. Like Chernobyl's reactors and Lac-Mégantic rail cars.

SIGTTO (the LNG industry's association) recommends that LNG facilities have tugs available 24/7 to help LNG tankers maneuver quickly away from the loading jetty (in case of spills, fires, forest fires, winds over 25 knots).

Two engine-less, bolted-together tankers with no crew aboard won't be moved anywhere quickly.

Both vessels have had accidents. The LNG Taurus suffered severe hull damage in a grounding in Japan in 1980, while the LNG Capricorn had a fire in its #5 tank and hard-whacked a pier while docking. Taurus's captain so feared the catastrophic rupture of the ship's LNG tanks that he took his own life on the spot.

Given this approach to cost reduction, it is cold comfort to contemplate the words of Woodfibre LNG's Vice-President Byng Giraud – then (2013) VP of Imperial Metals' Mount Polley Mine – who said, "There needs to be a public realization that the costs imposed on industry to remove extreme risks reducing a risk from one in 1,000 to one in 10,000 – comes with a price." Indeed it does, as victims of disasters in Mount Polley, Lac-Mégantic, Halifax, Westray and Grassy Narrows can attest.

Eoin Finn, Research Director, My Sea to Sky