

WHISTLER

AGENDA

**PUBLIC HEARING OF MUNICIPAL COUNCIL
TUESDAY, JULY 18, 2017 STARTING AT 6:00 P.M.**

**In the Franz Wilhelmsen Theatre at Maury Young Arts Centre - Formerly
Millennium Place
4335 Blackcomb Way, Whistler, BC V0N 1B4**

This Public Hearing is convened pursuant to Section 464 of the *Local Government Act R.S.B.C. 2015, c.1* to allow the public to make representations to Council respecting matters contained in “Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017” (the “proposed Bylaw”).

Everyone present shall be given a reasonable opportunity to be heard or to present written submissions respecting matters contained in the proposed bylaw. No one will be discouraged or prevented from making their views known. However, it is important that remarks be restricted to matters contained in the proposed Bylaw.

When speaking, please commence your remarks by clearly stating your name and address.

Members of Council may, ask questions following presentations however, the function of Council at a Public Hearing is to listen rather than to debate the merits of the proposed Bylaw.

As stated in the Notice of Public Hearing,

Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017 **PURPOSE OF “Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017”:**

In general terms, the purpose of the proposed Bylaw is to apply a new site specific LR10 Zone to the Whistler Golf Course, replacing the RR1 zoning, allowing for existing uses that are permitted under the golf course lease agreement to continue, and permitting expansion of a maintenance building.

Submissions Submissions by any persons concerning the proposed Bylaw.

Correspondence Receipt of correspondence or items concerning the proposed Bylaw.

ADJOURNMENT

PUBLIC HEARING DOCUMENT INDEX

[illegible]



THE RESORT MUNICIPALITY OF WHISTLER
4325 Blackcomb Way TEL 604 932 5535
Whistler, BC Canada V0N 1B4 TF 1 866 932 5535
www.whistler.ca FAX 604 932 8109

NOTICE OF PUBLIC HEARING

TUESDAY, JULY 18, 2017 – 6:00 P.M.

MAURY YOUNG ARTS CENTRE (formerly MILLENNIUM PLACE)
Franz Wilhelmsen Theatre, 4335 Blackcomb Way, Whistler BC

ZONING AMENDMENT BYLAW (WHISTLER GOLF COURSE) NO. 2157, 2017

SUBJECT LANDS: 4001 Whistler Way

More specifically these lands are described as: PID 007-195-770; GROUP 1 LT B DL 1755 PL 16516; BLK A DL 3877; BLK P DL 4750 PL 18266 EXC PL 21220 BLK A DL 4751 PL 17369 EXC PL 21220; BLK E DL 4752, GOLF COURSE SRW LMP16695, NWD, and 003-025-136; LOT 62 DL 3020 PL 20689, NWD, as shown on the map attached to this notice.

PURPOSE:

In general terms, the purpose of the proposed Bylaw is to apply a new site specific LR10 Zone to the Whistler Golf Course, replacing the RR1 zoning, allowing for existing uses that are permitted under the golf course lease agreement to continue, and permitting expansion of a maintenance building.

INSPECTION OF DOCUMENTS:

A copy of the proposed Bylaw and relevant background documentation may be inspected at the Reception Desk of Municipal Hall at 4325 Blackcomb Way, Whistler, BC, during regular office hours of 8:00 a.m. to 4:30 p.m., from Monday to Friday (statutory holidays excluded).

PUBLIC PARTICIPATION:

All persons, who believe their interest in the property is affected by the proposed Bylaw, will be afforded a reasonable opportunity to be heard by Council at the Public Hearing.

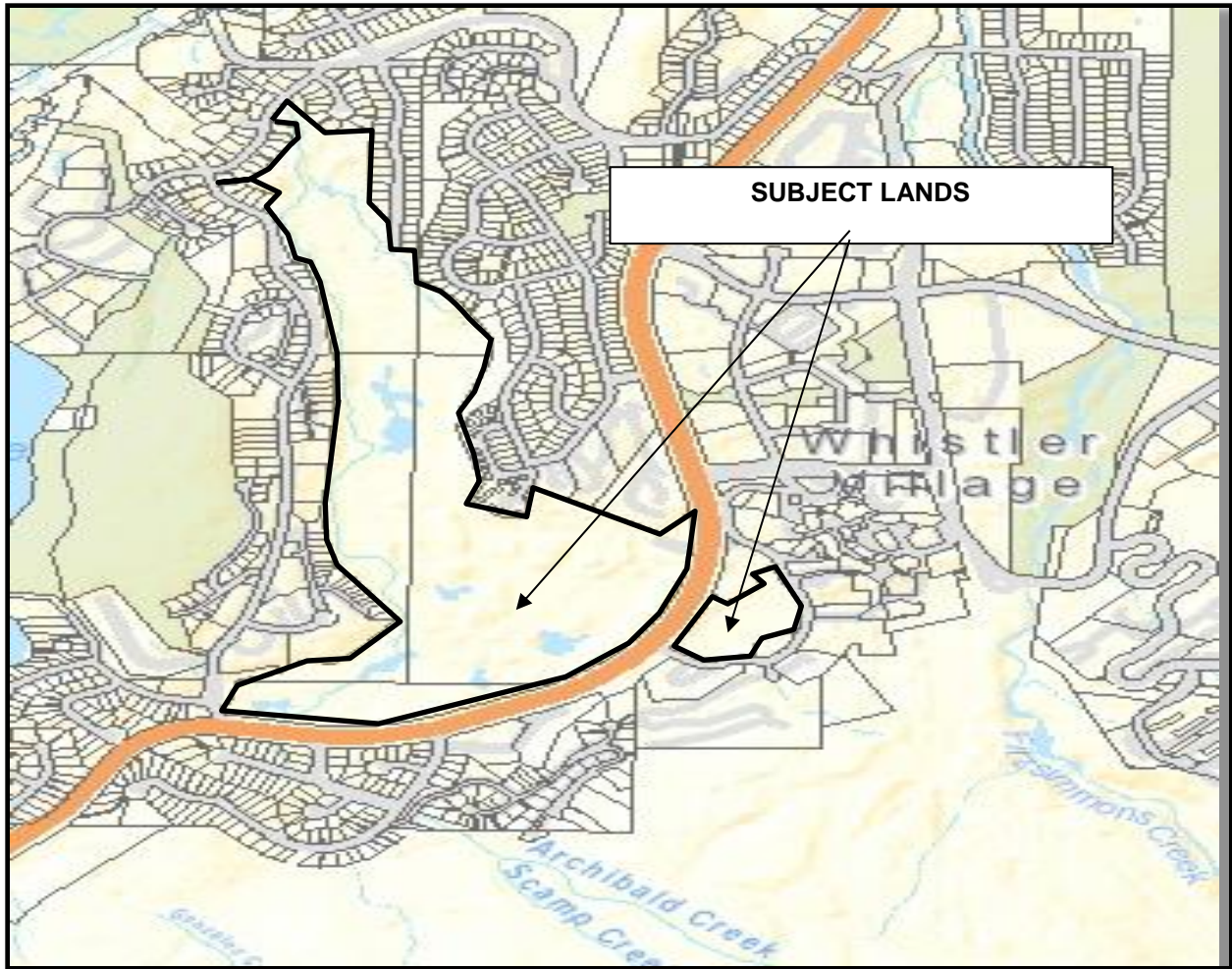
Written comments must be addressed to "Mayor and Council", and may be submitted prior to the public hearing (by 4:30 p.m. on July 18, 2017):

Email: corporate@whistler.ca
Fax: 604-935-8109
Hard Copy: Legislative Services Department
4325 Blackcomb Way
Whistler BC V0N 1B4

Submissions received for the proposed Bylaw will be included in the information package for Council's consideration, which will also be available on our website at www.whistler.ca with other associated information.

At the conclusion of this Public Hearing, no further information on this topic can be considered by Council.

ZONING AMENDMENT BYLAW (WHISTLER GOLF COURSE) NO. 2157, 2017
SUBJECT LANDS – 4001 WHISTLER WAY



**RESORT MUNICIPALITY OF WHISTLER
ZONING AND PARKING AMENDMENT BYLAW (WHISTLER GOLF COURSE) NO. 2157, 2017**

A BYLAW TO AMEND THE WHISTLER ZONING AND PARKING BYLAW NO. 303, 2015

WHEREAS Council may, in a zoning bylaw pursuant to Section 479 of the *Local Government Act*, divide all or part of the area of the Municipality into zones, name each zone and establish the boundaries of the zones, regulate the use of land, buildings and structures within the zones, and require the provision of parking spaces for uses, buildings and structures;

NOW THEREFORE the Council of the Resort Municipality of Whistler, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as “Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017”.
2. Zoning and Parking Bylaw No. 303, 1983 is amended as follows:
 - (a) Part 7 “Creation and Definition of Zones”, Section 1(1) table is amended by:
 - (i) Adding “LR10 – Leisure Recreation Ten” in alphanumerical order;
 - (b) Part 11 is amended by inserting as Section 19 the LR10 (Leisure Recreation Ten) Zone, attached as Schedule “1” to this Bylaw;
 - (c) Part 24 Schedule “A” Zoning Map is amended by changing the zoning of the subject lands (PID 007-195-770; GROUP 1 LT B DL 1755 PL 16516; BLK A DL 3877; BLK P DL 4750 PL 18266 EXC PL 21220 BLK A DL 4751 PL 17369 EXC PL 21220; BLK E DL 4752, GOLF COURSE SRW LMP16695, NWD; and 003-025-136; LOT 62 DL 3020 PL 20689, NWD) from RR1 (Rural Resource One) to LR10 (Leisure Recreation Ten) Zone, as shown with the heavy black outline and identified on the plan annexed to this Bylaw as Schedule “2”; and,
 - (d) Part 24 Schedule “A” Schedule of Zones is amended by
 - (i) adding “Recreation 10 – LR10” in alphanumerical order under the “Leisure Zone” Heading.
3. If any section or phrase of this bylaw is for any reason held to be invalid by a decision of any court of competent jurisdiction, the decision shall not affect the validity of the remaining portions of this Bylaw.

GIVEN FIRST READING this 4 day of July, 2017.

GIVEN SECOND READING this 4th day of July, 2017.

Pursuant to Sections 464 to 466 of the *Local Government Act*, a Public Hearing was held this ____ day of ____, 2017.

GIVEN THIRD READING this ____ day of ____, 2017.

Approved by the Minister of Transportation and Infrastructure this ____ day of ____, 2017.

ADOPTED by the Council this ____ day of _____, 2017.

Nancy Wilhelm-Morden,
Mayor

Nikki Best,
Acting Municipal Clerk

I HEREBY CERTIFY that this is a true
copy of "Zoning Amendment Bylaw
(Whistler Golf Course) No. 2157, 2017."

Nikki Best,
Acting Municipal Clerk

Schedule “1”

LR10 Zone (Leisure Recreation Ten)

Intent

- 1) The intent of this zone is to provide for a golf course and related uses.

Permitted Uses

- 2) The following uses are permitted, and all other uses are prohibited:
 - a. auxiliary buildings and auxiliary uses associated with the operation of a golf course, including club house, maintenance facility and workshop, restaurant, retail sales, and rental of outdoor recreation equipment and supplies;
 - b. driving range;
 - c. golf course;
 - d. outdoor assembly;
 - e. outdoor recreation, including Nordic skiing, snow shoeing, and geocaching.

Density

- 3) The maximum permitted aggregate gross floor area of all auxiliary buildings on a parcel shall not exceed 2,200 square metres.

Height

- 4) The maximum permitted height of auxiliary buildings shall not exceed 2 storeys or 12 metres, whichever is less.

Site Area

- 5) Land in the LR10 zone may not be subdivided.

Site Coverage

- 6) No regulations.

Setbacks

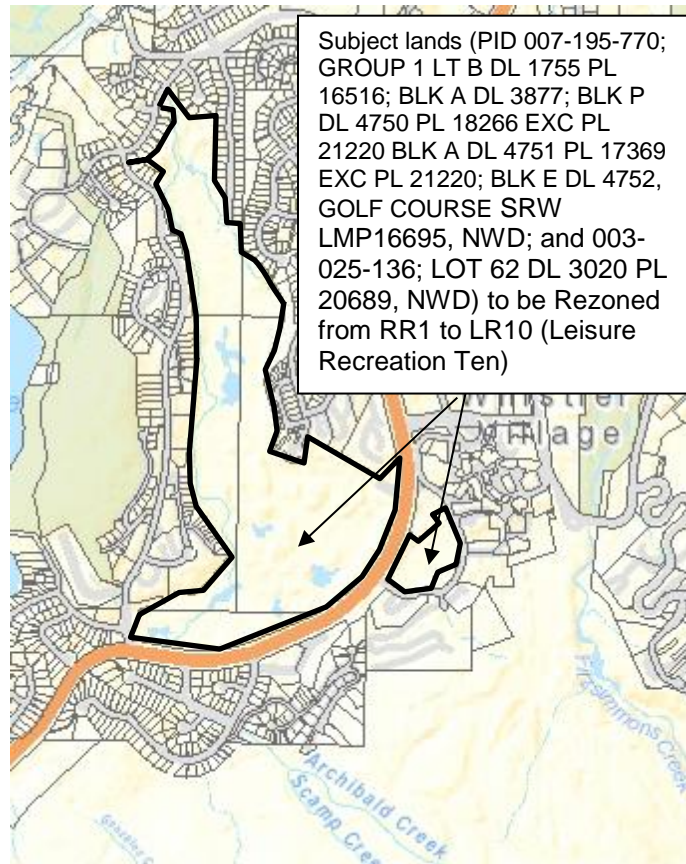
- 7) The minimum permitted building setback is 7.6 metres from all exterior parcel boundaries.

Off-Street Parking and Loading

- 8) Off-street parking and loading shall be provided and maintained in accordance with the regulations contained in Part 6 of this Bylaw.

Schedule "2"

Lands to be Rezoned from RR1 to LR10 (Leisure Recreation Ten)





REPORT | ADMINISTRATIVE REPORT TO COUNCIL

PRESENTED: July 4, 2017
FROM: Resort Experience
SUBJECT: BYLAW 2157 - WHISTLER GOLF COURSE ZONING AMENDMENT

REPORT: 17- 078
FILE: RZ1138

COMMENT/RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Resort Experience be endorsed.

RECOMMENDATION

That Council consider giving first and second readings to “Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017”; and further,

That Council authorize staff to schedule a public hearing for “Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017”, and to advertise for same in the local newspaper.

REFERENCES

Owners: Resort Municipality of Whistler

Location: 4001 Whistler Way, Whistler, BC

Legal Description: **PID 007-195-770;** GROUP 1 LT B DL 1755 PL 16516; BLK A DL 3877; BLK P DL 4750 PL 18266 EXC PL 21220 BLK A DL 4751 PL 17369 EXC PL 21220; BLK E DL 4752, GOLF COURSE SRW LMP16695, NWD.
003-025-136; LOT 62 DL 3020 PL 20689, NWD.

Current Zoning: RR1

Appendix A - Location map

Appendix B - “Whistler Golf Course, 4001 Whistler Way, Industrial Building”, BPA001BPA501, prepared by Derek Venter Architectural Design, dated April 11, 2017.

PURPOSE OF REPORT

This report recommends that Council give first and second readings to Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017. Bylaw 2157 amends Zoning and Parking Bylaw 303, 2015 to apply a new site specific LR10 Zone to the Whistler Golf Course, replacing the outdated RR1 zoning, allowing for existing uses that are permitted under the golf course lease agreement to continue, and permitting expansion of a maintenance building. This is a municipally initiated rezoning.

DISCUSSION

Background

In May 2017 staff of the Whistler Golf Course submitted a building permit application for expansion of an existing maintenance building on the golf course. The building currently houses the mechanic shop and staff areas (lunch room, dressing room, washrooms, etc.) The building addition would be used for a new staff area, separating mechanical and maintenance functions from the staff, thereby increasing the safety of the building. The proposed addition is 179.3 m². This would bring the total size of the maintenance building to 993 m².

The Whistler Golf Course is currently zoned RR1. The RR1 zone permits outdoor recreation, and it was under this use that the existing buildings were permitted. Zoning Bylaw 303 also states that "the maximum permitted floor area for an auxiliary building is 56 square metres in ...Rural Resource zones." As the maintenance building is currently 813.7 m² in size, expansion of the building is not permitted under the RR1 zone, and a zoning amendment was recommended to allow for the renovations. As the property is owned by the RMOW and under a 99-year lease to Whistler Golf Course, this is a municipally initiated rezoning.

Updating Zoning Bylaw 303 to replace the RR1 zone with more effective site-specific zoning in a number locations throughout the municipality is a work plan objective for the RMOW planning department.

Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017

A new site-specific zone for the property is proposed, LR10 (Leisure Recreation 10), allowing for existing structures and uses, and modest future expansion comparable to other golf course zoning in the municipality.

Zoning Amendment Bylaw 2157 permits golf course, driving range, and accessory buildings and uses on the subject property. All existing buildings are permitted. The maximum permitted building height (2 storeys, or 12 meters, whichever is less) and setbacks from property lines (7.6 metres from all exterior parcel boundaries) are the same as the other golf course zone in Zoning Bylaw 303, LR3. Parking requirements will remain the same: four parking spaces are required per hole and for every two linear metres of tee-off space in the driving range. The golf course has 18 holes and 22 metres of tee-off space. There are 88 parking stalls available, which is five more than the zoning requirement.

Under the RR1 zone a 2,000 square meter club house is permitted. The LR10 zone limits the size of the clubhouse to 500 square meters and allows for modest expansion of the existing buildings. In the TA11 zone (Nicklaus North Golf Course) clubhouse, retail, restaurant, personal service and office uses together with auxiliary uses may not exceed an aggregate floor area of 1,700 square metres.

Whistler Golf Course Existing Auxiliary Buildings	GFA Permitted Under RR1 Zone (m ²)	Existing GFA (m ²)	LR10 Zone Maximum Permitted GFA (m ²)
Clubhouse	2000	378.0	500
Maintenance shop + proposed addition	56	992.9	1000
Range golf shop		75.6	100
Other auxiliary buildings		487.6	600
• Gas shed (14.6 m ²)			
• Cart shed (388.8 m ²)			
• On course washrooms x 2 (7.3 m ²)			
• Half way hut (29.2 m ²)			
• Range storage (6.5 m ²)			
• Pump Station (29.2 m ²)			
• Starter hut (12.2 m ²)			
Total GFA	2056	1934.1	2200

WHISTLER 2020 ANALYSIS

W2020 Strategy	TOWARD Descriptions of success that resolution moves us toward	Comments
Built Environment	The built environment is safe and accessible for people of all abilities, anticipating and accommodating wellbeing needs and satisfying visitor expectations.	The building expansion will improve staff safety.
	Continuous encroachment on nature is avoided.	The footprint of the addition is on previously disturbed ground.
	Building design, construction and operation is characterized by efficiency, durability and flexibility for changing and long-term uses.	
Health and Social Strategy	Whistler organizations and stakeholders work together to meet the health and social needs of community members and visitors.	The building expansion will improve staff safety.
Recreation and Leisure Strategy	Quality recreation and leisure activities are delivered with exceptional service	
W2020 Strategy	AWAY FROM Descriptions of success that resolution moves away from	Mitigation Strategies and Comments
	n/a	

The proposed Bylaw 2157 is consistent with the RMOW Official Community Plan, as follows:

Policy No.	OCP Policy	Comments
4.13.6	In addition to meeting other requirements, proposals for campground and recreational development will only be approved if: <ul style="list-style-type: none">- all sewage and waste water is discharged either into the Municipal sewer system, or a private sewage disposal system is approved;- access is not provided from an internal subdivision road to an internal roadway system;- the terrain is suitable for the development of campsites and roadways; and;- soil stability, ground water levels, and flooding lands are satisfactory for campground use.	The zoning amendment is consistent with the OCP requirements.

Legal Encumbrances

The proposed zoning amendment is consistent with the terms of the 99-year lease to Whistler Golf Course.

Green Building Policy

The renovations proposed are consistent with the energy efficiency regulations of the BC Building Code.

BUDGET CONSIDERATIONS

Staff time and costs arising from this project are accounted for in the department budget.

COMMUNITY ENGAGEMENT AND CONSULTATION

An information sign is posted on the property. A public hearing, which is subject to public notice requirements, will take place.

SUMMARY

This report recommends that Council give first and second readings to Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017. Bylaw 2157 amends Zoning and Parking Bylaw 303, 2015 to apply a new site specific LR10 Zone to the Whistler Golf Course, replacing the outdated RR1 zoning, allowing for existing uses that are permitted under the golf course lease agreement to continue, and permitting expansion of a maintenance building. This is a municipally initiated rezoning.

Respectfully submitted,

Amica Antonelli

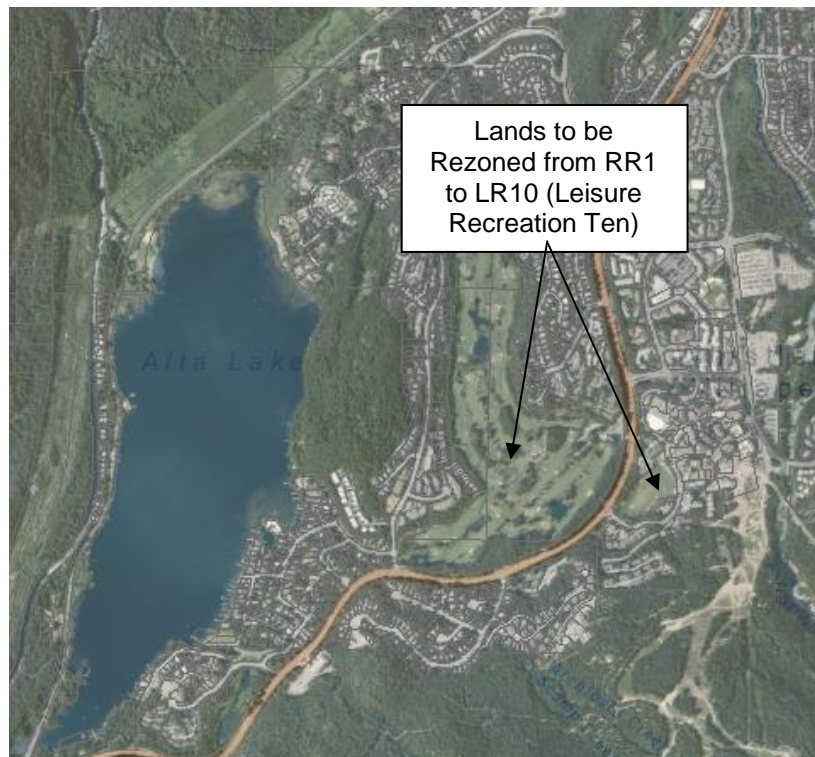
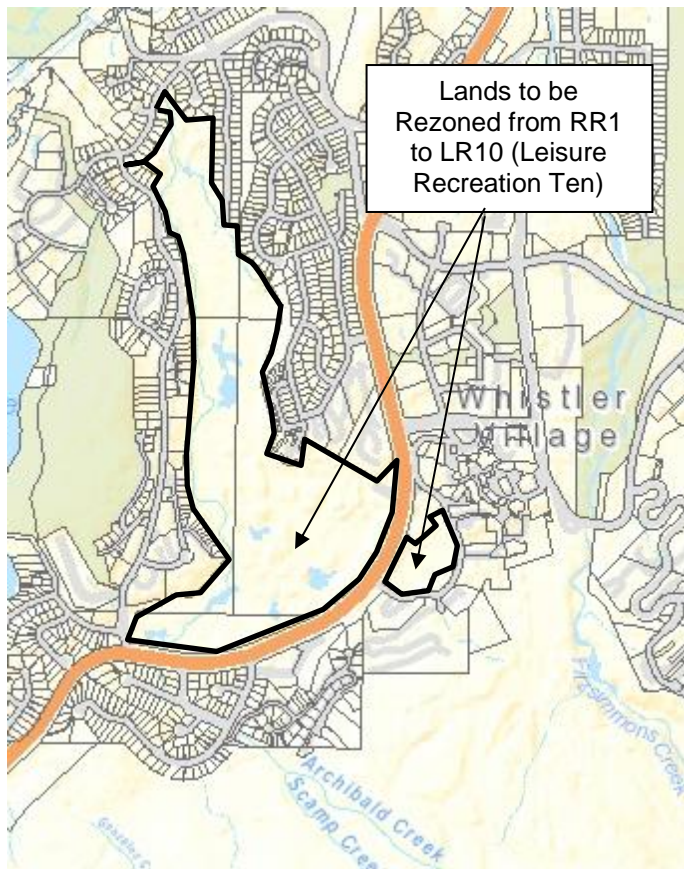
PLANNER

For

Jan Jansen

GENERAL MANAGER OF RESORT EXPERIENCE

Appendix A

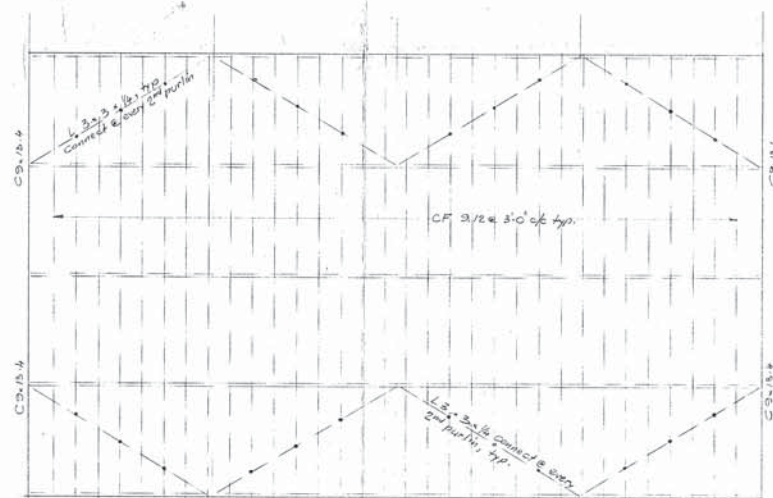




EAST ELEVATION

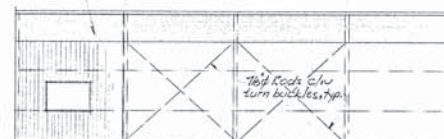


WEST ELEVATION

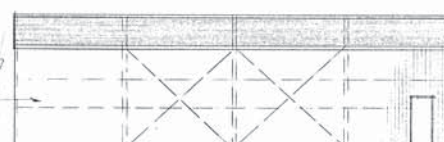


ROOF PLAN

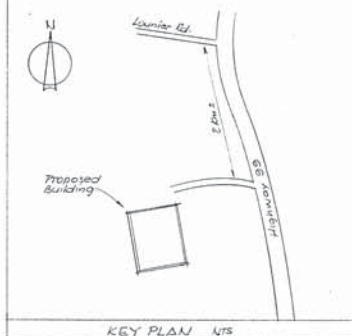
Roof decking 24ga galvanized steel
Span line 36 by Gifford Hill



NORTH ELEVATION



SOUTH ELEVATION



KEY PLAN

GENERAL NOTES:

1. FOR SITE PREPARATION AND ALLOWABLE SOIL BEARING REFER TO SOILS REPORT BY HARDY ASSOCIATES (1979) LTD., DATED DECEMBER 21, 1981.
2. SOIL CONSULTANT TO APPROVE FOUNDATION SURFACES AFTER REMOVAL OF PRELOAD, INCLUDING PLACEMENT AND COMPACTION OF FILL.
3. MODIFIED FOUNDATION RAFT DESIGN AS PER HARDY ASSOCIATES (1979) LTD., MEMO DATED MAY 19, 1982.
4. CONCRETE SHALL BE 4,000 PSI (28 DAY STRENGTH) FLEXURAL MIX. ALL CONCRETE SHALL BE CONSOLIDATED BY MECHANICAL VIBRATORS.
5. ALL REINFORCING STEEL TO BE HIGH STRENGTH DEFORMED BARS (FY=60KSI), ALL TIES MAY BE INTERMEDIATE GRADE DEFORMED STEEL. BOND AND SPLICE LENGTHS FOR HIGH GRADE STEEL TO BE 54 BAR DIAMETER MINIMUM BEFORE PLACING CONCRETE.
6. CONTRACTOR SHALL OBTAIN ENGINEER'S APPROVAL OF FORMWORK AND REINFORCING BEFORE PLACING CONCRETE.
7. CONTRACTOR TO ENGAGE A RECOGNIZED TESTING LABORATORY TO TAKE 3 TEST CYLINDERS PER EACH 100 CU.YD. OF CONCRETE; 1 CYLINDER OF EACH SET TO BE BROKEN AT 7 DAYS, AND 2 CYLINDERS AT 28 DAYS. TEST RESULTS TO BE SUBMITTED TO ENGINEER.
8. ALL STRUCTURAL STEEL TO BE 60,000 PSI = 44 KSI, EXCEPT PURLIN, DECKING AND CLADDING.
9. DESIGN LOADS:
LL FLOOR 250 PSF
SNOW GROUND 165 PSF

PLANS
ACCEPTED

F. A. FORSTER & ASSOCIATES LTD. CONSULTING ENGINEERS - RICHMOND, B.C. CANADA

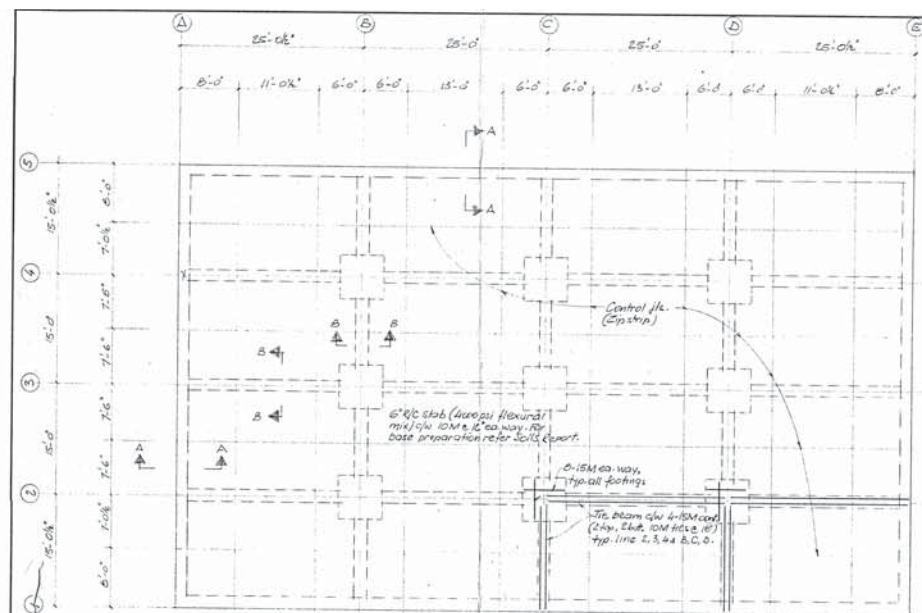
DATE	No.	REMARKS	DATE	No.	REMARKS	DATE	No.	REMARKS

OWNER
WHISTLER CAY ESTATES

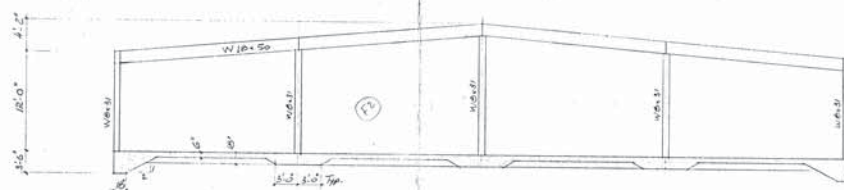
PROJECT
TREND STEEL BUILDING

DRAWING TITLE
ELEVATIONS &
ROOF PLAN

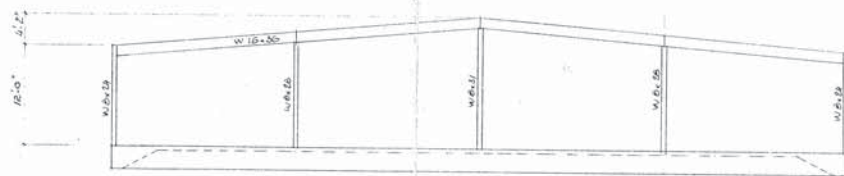
DRAWING NUMBER
813-02
REVISION

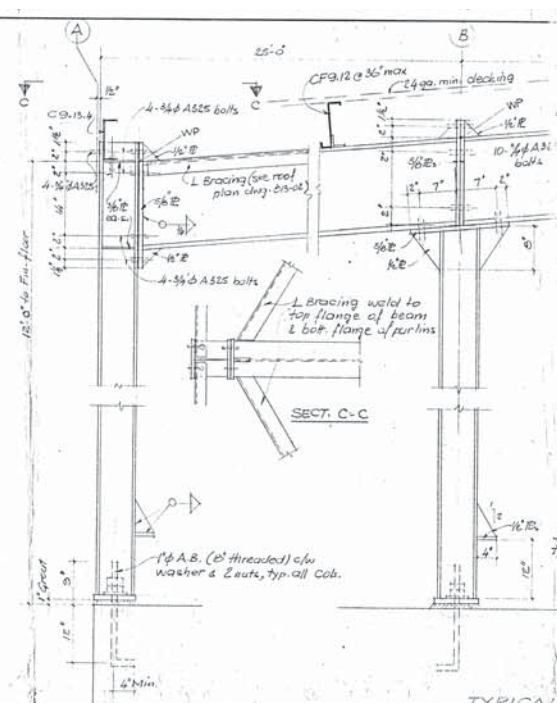
FOUNDATION PLAN



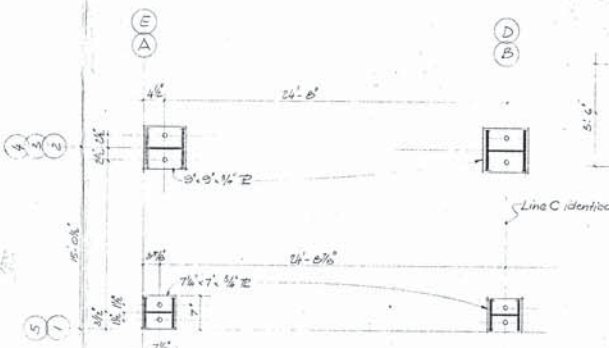
INTERIOR FRAME



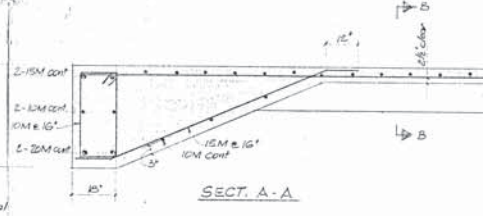
END FRAME



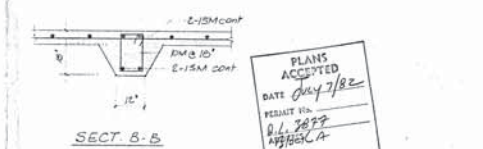
TYPICAL FRAME DETAILS



TYP. BASEPLATE DETAILS



SECT. A-A



SECT. B-B



PLANS ACCEPTED

F. A. FORSTER & ASSOCIATES LTD., CONSULTING ENGINEERS - RICHMOND, B.C., CANADA

DATE	NO.	REMARKS	DATE	NO.	REMARKS	DATE	NO.	REMARKS	OWNER	PROJECT	DRAWING TITLE	DRAWING NUMBER
									WHISTLER GAY ESTATES	TREND STEEL BUILDING	FOUNDATION & FRAMES	013-01
												REVISION



WHISTLER GOLF COURSE

4001 WHISTLER WAY

INDUSTRIAL BUILDING

BCBC 2012 (updated December 2014)
PART 3, OCCUPANCY TYPE F2
Street #: 4001 Whistler Way
PID #: 007-059-770
Legal: GROUP 1 LT B DL 1755 PL 16516; BLK A DL 3877; BLK P DL 4750 PL 18266 EXC PL 21220 BLK A DL 4751 PL 17369 EXC PL 21220; BLK E DL 4752, GOLF COURSE SRW UMP146695

Zoning: RBL
BUILDING IS 1 STOREY NON-SPRINKLERED
SITE AREA = 982.1 sm / 10,571 sf
SITE IS IN USE. THE SITE ACCESS IS FROM A DRIVEWAY AT THE EAST. THE TECHNICAL INFRASTRUCTURE IS PLACED INTO THE DRIVEWAY.
THERE IS NO TREE PRESERVATION ZONE.

ISSUE: BUILDING PERMIT

	MAX. ALLOWED	PROPOSED
T.S.R. *	N/A	N/A
G.F.A. *	2,000.00 sm / 21,527.8 sf	994.19 sm / 10,701.39 sf
BUILDING HEIGHT	14 m	5.7 m

- TO MATCH NEW CODE REQUIREMENT (ZONE 6, WITH HRV)		
	ASHRAE 90.1	PROPOSED
- U-value of WINDOWS AND DOORS	max. T.B.C	max. T.B.C
- Rsi-value of EXTERIOR WALLS	min. T.B.C	T.B.C
- Rsi-value of FOUNDATION WALLS	min. T.B.C	T.B.C
- Rsi-value of HEATED FLOORS ON GRADE	min. T.B.C	T.B.C
- Rsi-value of FLOORS OVER UNHEATED SPACE	min. T.B.C	T.B.C
- Rsi-value of FLOORS BELOW UNHEATED SPACE/ABOVE HEATED SPACE	min. T.B.C	T.B.C
- Rsi-value of ROOFS	min. T.B.C	min. T.B.C

OPENINGS	MAX. ALLOWED	PROPOSED
SOUTH	T.B.C	T.B.C
WEST	T.B.C	T.B.C
NORTH	T.B.C	T.B.C
EAST	T.B.C	T.B.C

DESIGN AND ENGINEERING:

ARCHITECTURAL DRAWINGS
Derek Venter, Architect, ABC
DVAD inc. DEREK VENTER ARCHITECTURAL DESIGN
P: +1.604.962.1177, Email: info@dvad.org
P.O. BOX 794, Whistler, BC, CANADA, V0N 1B0
COMPILED BY: Michaela Balkova, March, P: +1.778.863.6772, Email: mb@dvad.org

STRUCTURAL ENGINEERING DRAWINGS
T.B.C

GEOTECHNICAL REPORT
ESP Services Inc.
P: +1.604.874.1245
275-3001 Wayburne Drive, Burnaby, BC, V5G 4W3

SURVEY
Trevor Burton, McElhanney
McElhanney Associates Land Surveying Ltd.
P: +1.604.966.2000, Email: burton@mcelhanney.com
250-1055 Millar Creek Road, Whistler, BC, V0N 1B1

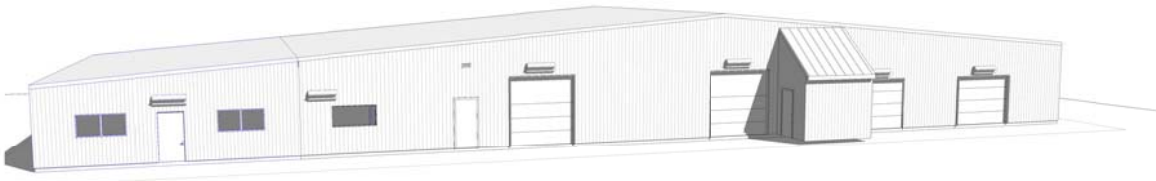
PLUMBING SCHEMES
T.B.C

VENTILATION SCHEMES
T.B.C

Sheet List					
Sheet Number	Sheet Name	Drawn By	Checked By	Sheet Issue Date	Current Revision
BP A001	COVER	AB	DV	2017/04/11	A
BP A101a	SITE PLAN	DV	DV	2017/04/11	A
BP A104	FOUNDATION PLAN	AB	DV	2017/04/11	A
BP A106	MAIN FLOOR PLAN	AB	DV	2017/04/11	A
BP A201	ELEVATIONS - SOUTH + WEST	AB	DV	2017/04/11	A
BP A202	ELEVATIONS - NORTH + EAST	AB	DV	2017/04/11	A
BP A301	CROSS SECTIONS	AB	DV	2017/04/11	A
BP A302	LONG SECTIONS	AB	DV	2017/04/11	A
BP A501	DETAILS	AB	DV	2017/04/11	A



1 3D View 1 - EXSTING



2 3D View 2 - Proposed



3 3D View 3 - Proposed

ISSUED FOR CONSTRUCTION
ALL MEASUREMENTS TO BE VERIFIED ON SITE

REVISION	No.	Issued	Date	Rev.	By	PROGRESS	No.	Description	Date	Rev	By	
	A	ALL	2017 04 11	1	DV							

Designer

Drawn By AB
Checked By DV

COVER

Scale 1/8" = 1'-0"
LOT 40
4001 Whistler Way, Whistler
WHISTLER GOLF COURSE
BP A001
REVISION BP.2
JOB #11729
4 APRIL 2017



CONSTRUCTION
DVAD inc.
DEREK VENTER ARCHITECTURAL DESIGN
P: +1.604.962.1177 e: info@dvad.org
10-1040 Legacy Way, Whistler
BC, CANADA, V0N 1B1

2017-04-11 5:01:14 PM

PROJECT INFORMATION

BCBC 2012
PART 3, OCCUPANCY TYPE F2

Street # : 4001
Street Name : Whistler Way
PID # : 007-195-770
Legal : GROUP 1 LT B DL 1755 PL 16516; BLK A DL 3877; BLK P DL 4750 PL 18266
EXC PL 21220 BLK A DL 4751
Parcel Lot: PL 17369 EXC PL 21220; BLK E DL 4752, GOLF COURSE SRW
LMP16695
Zoning : RR1

Parking requirements: OFF STREET PARKING

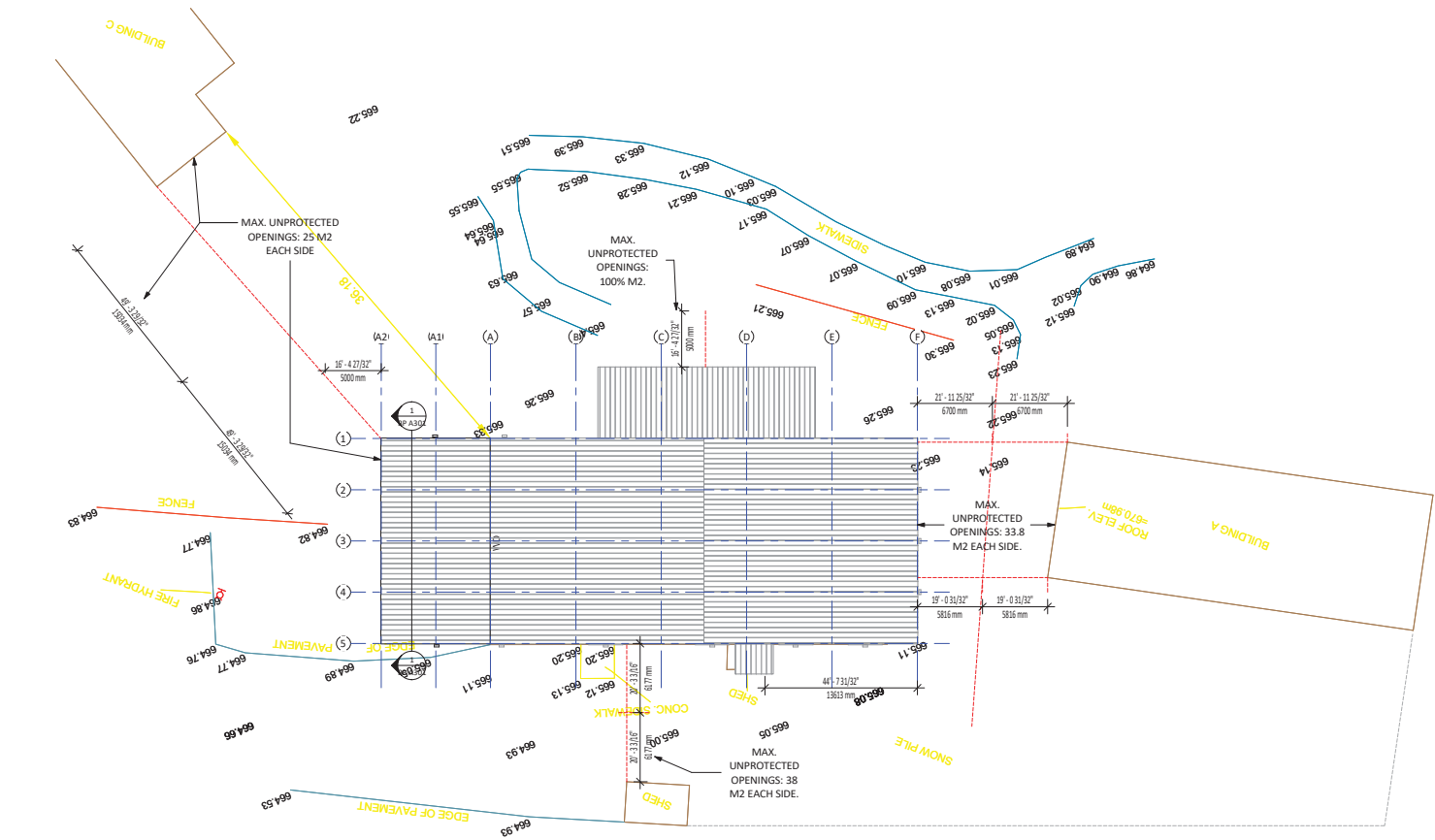
BUILDING IS 1 STOREY NON-SPRINKLERED

SITE AREA = 982.1 sm / 10,571 sf

MAXIMUM F.S.R ALLOWED = N/A
PROPOSED F.S.R = N/A
MAXIMUM G.F.A = 2,000.00sm / 21,527.8sf
PROPOSED G.F.A = 994.19 sm / 10,701.39 sf

MAX BUILDING HEIGHT = 14m
PROPOSED BUILDING HEIGHT = 5.7m

SETBACKS = F/S/R - 60m/60m/60m



1 STREET LEVEL 0' 0" = XXX m a.s.l.
1:200

SITE PLAN BY DOUG BUSH SURVEYORS
ISSUED FOR BUILDING PERMIT APPLICATION ONLY | ALL MEASUREMENTS TO BE VERIFIED ON SITE

REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL DETAILS

PROGRESS	NO.	ISSUED	DATE	REV.	BY.	NO.	ISSUED	DATE	REV.	BY.
	A	CONCEPT DESIGN	2017 04 11	ALL	DV					

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Designer

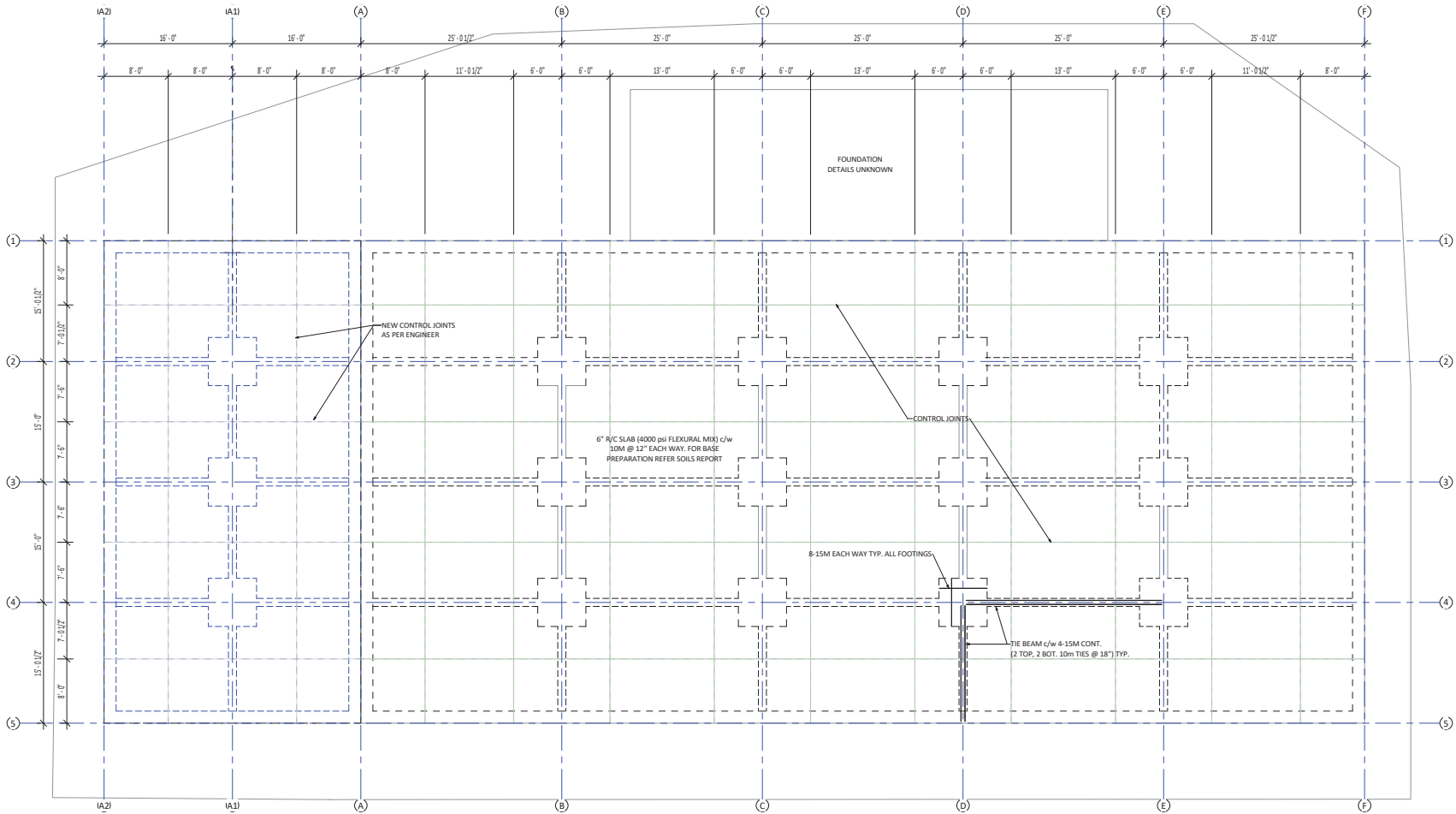
Drawn by DV
Checked by DV

SITE PLAN

Scale: As indicated
LOT 40
4001 Whistler Way, Whistler
WHISTLER GOLF COURSE
BP A101a
REVISION BP 2
JOB #1729
4 APRIL 2017

2017-04-11 5:01:14 PM

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1 FOUNDATION PLAN
1:75

FOUNDATION PLAN LEGEND:



ISSUED FOR BUILDING PERMIT APPLICATION ONLY | ALL MEASUREMENTS TO BE VERIFIED ON SITE

REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL DETAILS

PROGRESS	NO.	ISSUED	DATE	REV.	BY.	NO.	ISSUED	DATE	REV.	BY.
	A	CONCEPT DESIGN	2017 04 11	ALL	DV					

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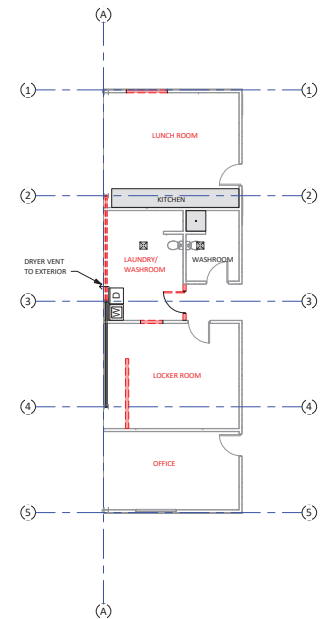
Designer

Drawn By AB
Checked By DV

FOUNDATION PLAN

Scale: As indicated
LOT 40
4001 Whistler Way, Whistler
WHISTLER GOLF COURSE
BP A104
REVISION BP 2
JOB #1729
4 APRIL 2017

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2 EXISTING MAIN FLOOR CALLOUT
1 : 100

*from INTERIOR (warm side) to EXTERIOR (cold side)
*EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS
*ALL STRUCTURAL AS PER ENGINEERING

- (ALL STRUCTURAL AS PER ENGINEERING - BILL UNDER THE SLAB AS PER GEOTECH)

EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS

- W4.6: 2x 4 INTERIOR PARTITION**
- 1/2" GYPSUM BOARD, PAINT FINISH
 - 1 5/8" x 3 1/2" METAL STUDS @ 24" O/C
 - 1/2" GYPSUM BOARD, PAINT FINISH

- 1/2" GYPSUM BOARD, PAINT FINISH
- 1 5/8" x 3 1/2" METAL STUDS @ 24" O/C
- 1/2" GYPSUM BOARD, PAINT FINISH

NOTES:
1. INSULATION VALUES AS PER ASHRE 90.1 - TO BE DETERMINED
2. ALL EXISTING BUILD UPS TO BE VERIFIED ONSITE

1 PROPOSED MAIN FLOOR
1:75

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[illegible]

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Drawn By **AB**
Checked By **DV**

Scale: As indicated	BP A106
LOT 40	REVISION BP.2
01 Whistler Way, Whistler	JOB #1729
WHISTLER GOLF COURSE	4 APRIL 2017

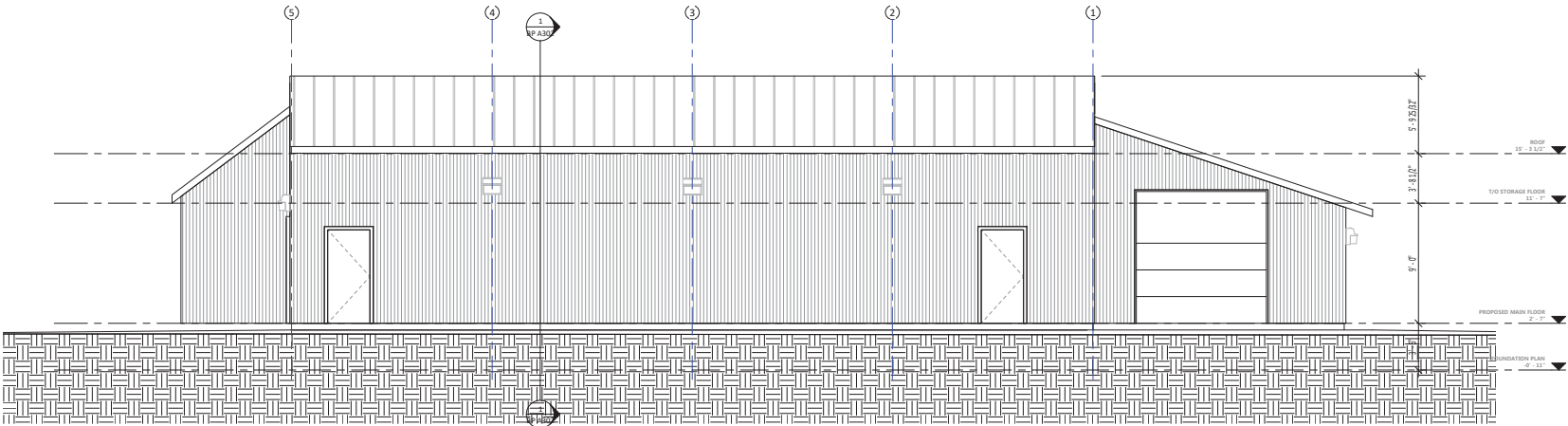
	STUD WALL
	LOCATION OF CARBON MONOXIDE DETECTOR (NOC 2012 8.12)
	EGRESS/EXIT: BATHROOM
	INDICATES HIDDEN OBJECTS ABOVE OR BELOW
	SPOT ELEVATION
	INDICATES BEAMS ABOVE
	INTERCONNECTED SMOKE ALARM

REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL DETAILS

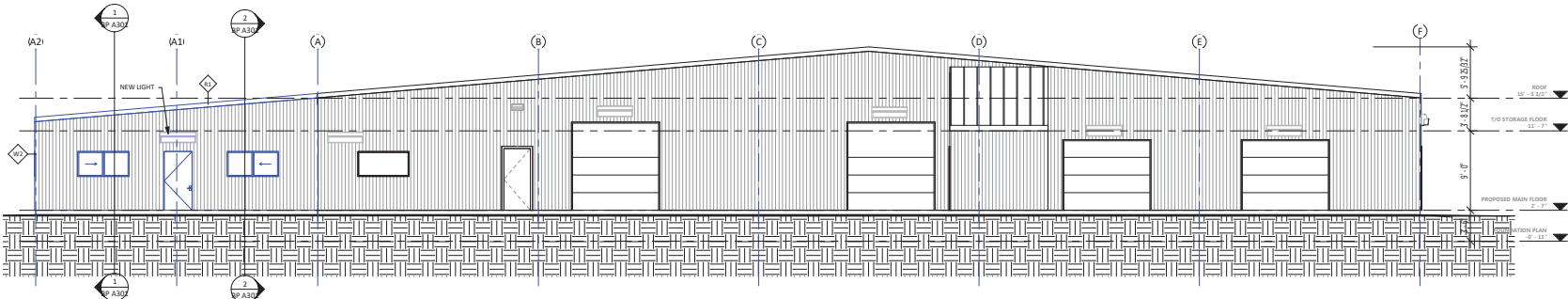
2017-04-11 5:01:17 PM



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1 SOUTH ELEVATION
1:50



2 WEST ELEVATION
1:75

- ROOF ASSEMBLIES:**
*from INTERIOR (warm side) to EXTERIOR (cold side)
EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS
- R1: PROFILED METAL ROOF ON STEEL C CHANNELS [Rsi] = m²*K/W**
 - FOIL FACED 2\"/>
 - R1.1: PROFILED METAL ROOF ON STEEL C CHANNELS (un-insulated)**
 - STEEL C CHANNELS
 - 1 1/2\"/>

- FLOOR ASSEMBLIES:**
*from INTERIOR (warm side) to EXTERIOR (cold side)
*EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS
*ALL STRUCTURAL AS PER ENGINEERING
- F1: CONCRETE SLAB ON GRADE [Rsi] = m²*K/W**
 - FLOOR FINISH (TBC)
 - 6\"/>

- WALL ASSEMBLIES:**
*from INTERIOR (warm side) to EXTERIOR (cold side)
EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS
- W1.6: 2x 4 EXTERIOR STUD WALL [Rsi] = m²*K/W**
 - 1/2\"/>
 - W1.6: 2x 4 INTERIOR PARTITION**
 - 1/2\"/>

NOTES:
1. INSULATION VALUES AS PER ASHRE 90.1 - TO BE DETERMINED
2. ALL EXISTING BUILD UPS TO BE VERIFIED ONSITE

ISSUED FOR BUILDING PERMIT APPLICATION ONLY | ALL MEASUREMENTS TO BE VERIFIED ON SITE

REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL DETAILS

PROGRESS	NO.	ISSUED	DATE	REV.	BY.	NO.	ISSUED	DATE	REV.	BY.
	A	CONCEPT DESIGN	2017 04 11	ALL	DV					

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Designer

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Checked By DV

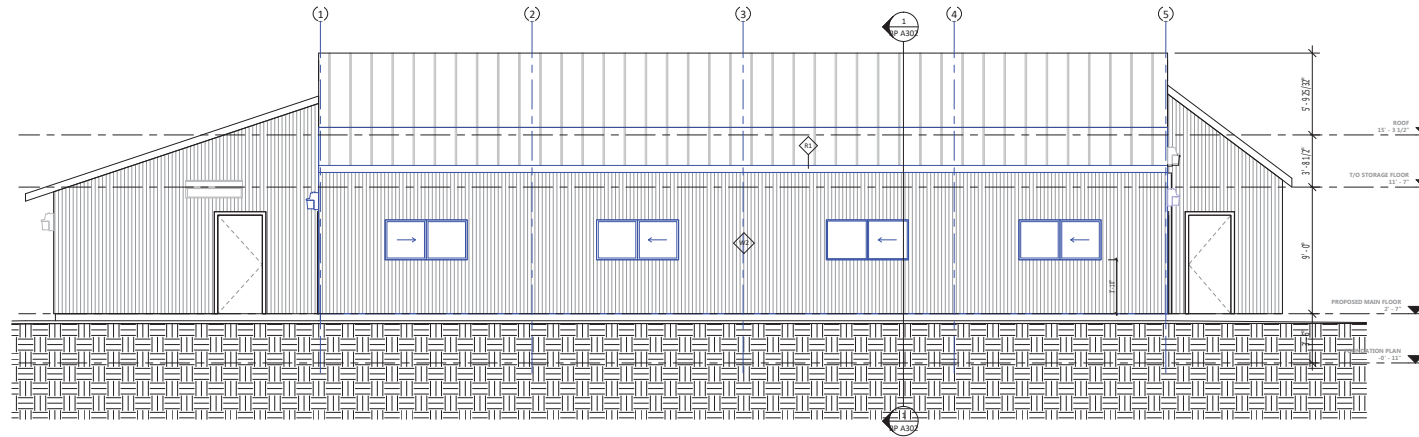
ELEVATIONS - SOUTH + WEST

Scale: As Indicated
LOT 40
4001 Whistler Way, Whistler
WHISTLER GOLF COURSE

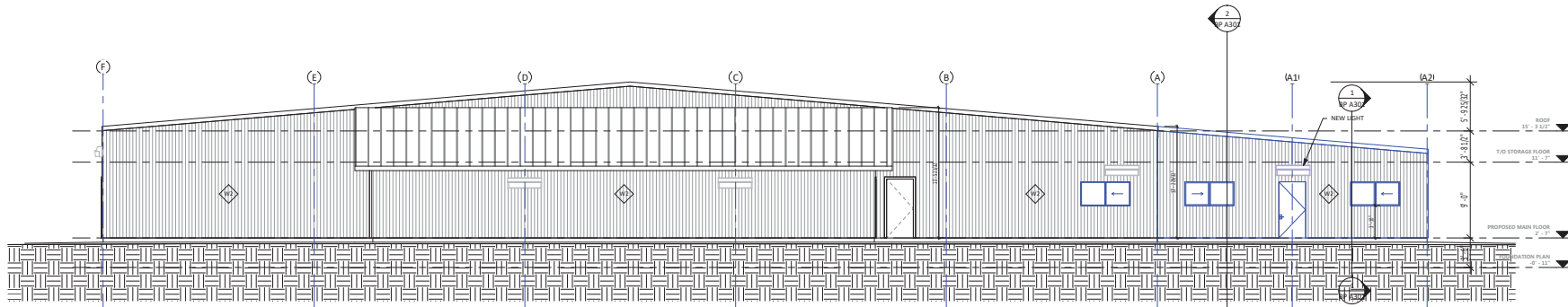
BP A201
REVISION BP 2
JOB #1729
4 APRIL 2017

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APPENDIX B



1 NORTH ELEVATION
1:50



2 EAST ELEVATION
1:75

ROOF ASSEMBLIES:

from INTERIOR (warm side) to EXTERIOR (cold side)
EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS

- R1: PROFILED METAL ROOF ON STEEL C CHANNELS [Rsi = m²*K/W]**
 - FOIL FACED 2" BATT INSULATION
 - STEEL C CHANNELS
 - 1 1/2" PROFILED METAL ROOFING SHEETS (TBC)
- R1.1: PROFILED METAL ROOF ON STEEL C CHANNELS (un-insulated)**
 - STEEL C CHANNELS
 - 1 1/2" PROFILED METAL ROOFING SHEETS

WALL ASSEMBLIES:

from INTERIOR (warm side) to EXTERIOR (cold side)
EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS

- W1.6: 2x4 EXTERIOR STUD WALL [Rsi = m²*K/W]**
 - 1/2" GYPSUM BOARD, PAINT FINISH
 - 1 5/8" x 3 1/2" METAL STUDS @ 24" O/C
 - w/ R22 ROXUL BATT INSULATION
 - 1 1/2" METAL CLADDING
- W1.6: 2x4 INTERIOR PARTITION**
 - 1/2" GYPSUM BOARD, PAINT FINISH
 - 1 5/8" x 3 1/2" METAL STUDS @ 24" O/C
 - 1/2" GYPSUM BOARD, PAINT FINISH

FLOOR ASSEMBLIES:

from INTERIOR (warm side) to EXTERIOR (cold side)
EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS
ALL STRUCTURAL AS PER ENGINEERING

- F1: CONCRETE SLAB ON GRADE [Rsi = m²*K/W]**
 - FLOOR FINISH (TBC)
 - 6" CONCRETE SLAB c/w WIRE MESH REINFORCING
 - 6 mil POLY VAPOUR BARRIER
 - 3" RIGID INSULATION - XPS
 - 2" SAND FILL
 - 8" COMPACT CRASHED STONE

NOTES:
1. INSULATION VALUES AS PER ASHRE 90.1 - TO BE DETERMINED
2. ALL EXISTING BUILD UPS TO BE VERIFIED ONSITE

CLADDING MATERIAL:

- W2.1 FIBRE CEMENT SIDING**
 - 1" BANSKREIN ASSEMBLY (2"x1" TIMBER BATTENS)
 - SMOOTH LAP SIDING BOARDS (6" EXPOSURE), W/
 - THROUGH-COLOURED PIGMENT FINISH

REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL DETAILS

2017-04-11 5:01:18 PM

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A	CONCEPT DESIGN	2017 04 11	ALL	DV					

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Designer

Drawn By AB
Checked By DV

ELEVATIONS - NORTH + EAST

Scale: As indicated

LOT 40
4001 Whistler Way, Whistler
WHISTLER GOLF COURSE

BP A202

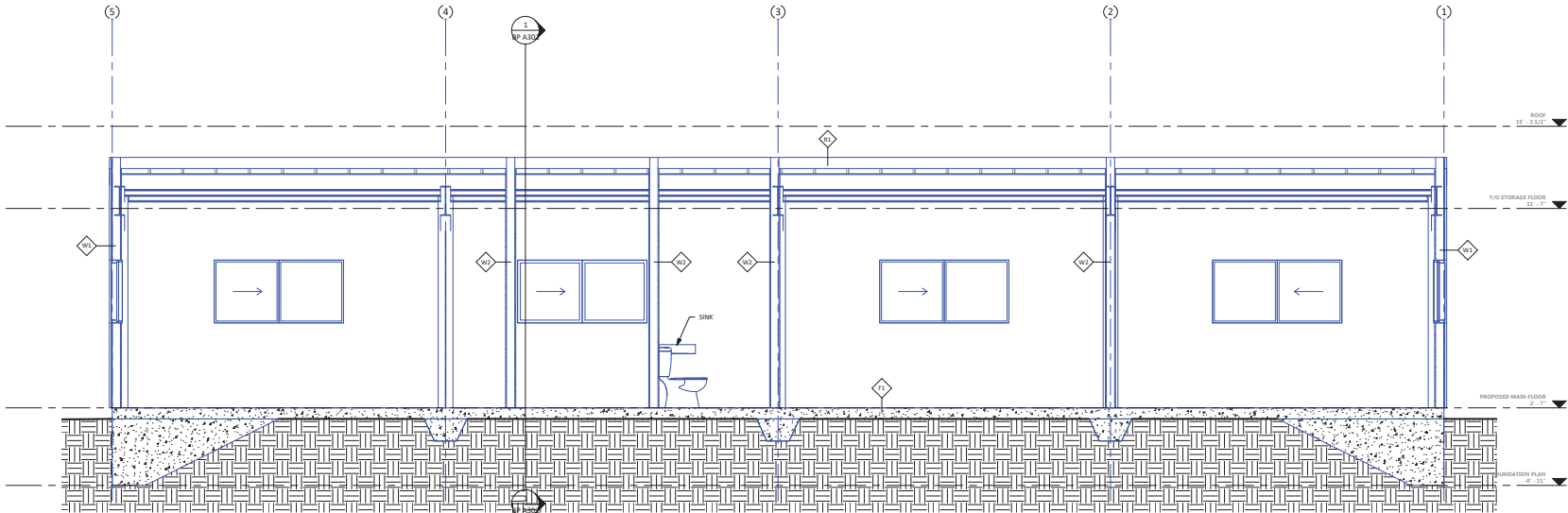
REVISION BP 2

JOB #1729

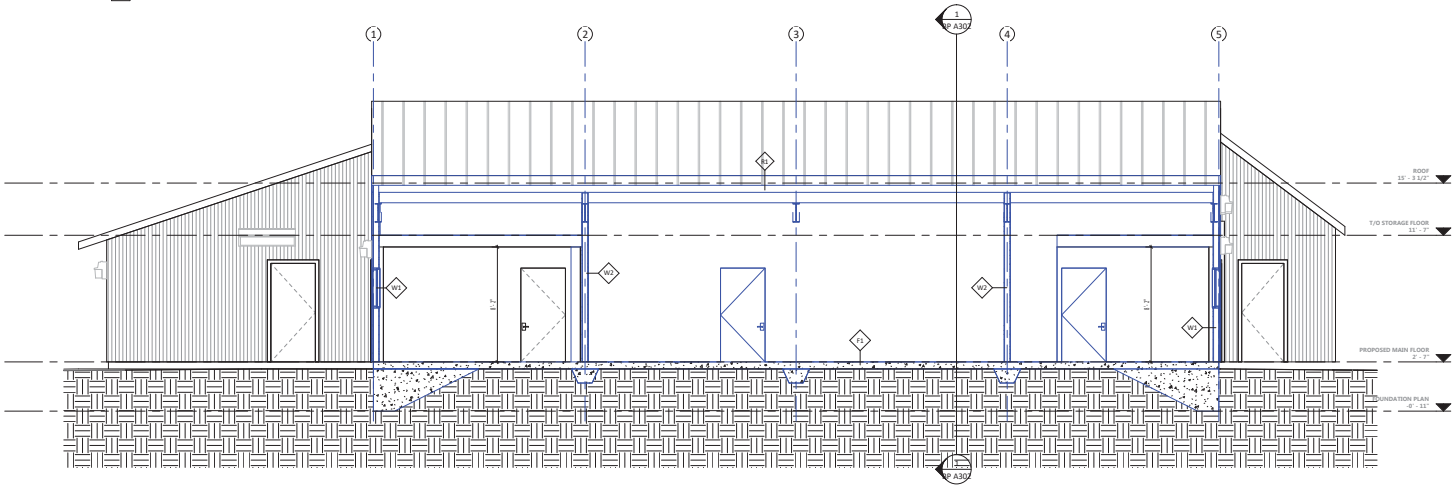
4 APRIL 2017

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P.O. BOX 794, Whistler, V0N 1B0
BC, CANADA



1 CROSS SECTION 1
1:30



2 CROSS SECTION 2
1:30

ROOF ASSEMBLIES:

from INTERIOR (warm side) to EXTERIOR (cold side)
EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS

- R1-1: PROFILED METAL ROOF ON STEEL C CHANNELS (Rin = m²*K/W)**
 - 1/2" RIGID INSULATION
 - STEEL C CHANNELS
 - 1 1/2" PROFILED METAL ROOFING SHEETS (TBC)
- R1-2: PROFILED METAL ROOF ON STEEL C CHANNELS (un-insulated)**
 - STEEL C CHANNELS
 - 1 1/2" PROFILED METAL ROOFING SHEETS

FLOOR ASSEMBLIES:

from INTERIOR (warm side) to EXTERIOR (cold side)
EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS
*ALL STRUCTURAL AS PER ENGINEERING

- F1-1: CONCRETE SLAB ON GRADE (Rin = m²*K/W)**
 - FLOOR FINISH (TBC)
 - 6" CONCRETE SLAB c/w WIRE MESH REINFORCING
 - 6 mil POLY VAPOUR BARRIER
 - 3" RIGID INSULATION - XPS
 - 2" SAND FILL
 - 8" COMPACT CRUSHED STONE

WALL ASSEMBLIES:

from INTERIOR (warm side) to EXTERIOR (cold side)
EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS

- W1-6: 2x4 EXTERIOR STUD WALL (Rin = m²*K/W)**
 - 1/2" GYPSUM BOARD, PAINT FINISH
 - 1 5/8"x3 1/2" METAL STUDS @ 24" O/C
 - w/ R22 ROCK BATT INSULATION
 - 1 1/2" METAL CLADDING
- W1-6: 2x4 INTERIOR PARTITION**
 - 1/2" GYPSUM BOARD, PAINT FINISH
 - 1 5/8"x3 1/2" METAL STUDS @ 24" O/C
 - 1/2" GYPSUM BOARD, PAINT FINISH

NOTES:
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PROGRESS	NO.	ISSUED	DATE	REV.	BY.	NO.	ISSUED	DATE	REV.	BY.
	A	CONCEPT DESIGN	2017 04 11	ALL	DV					

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Designer

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CROSS SECTIONS

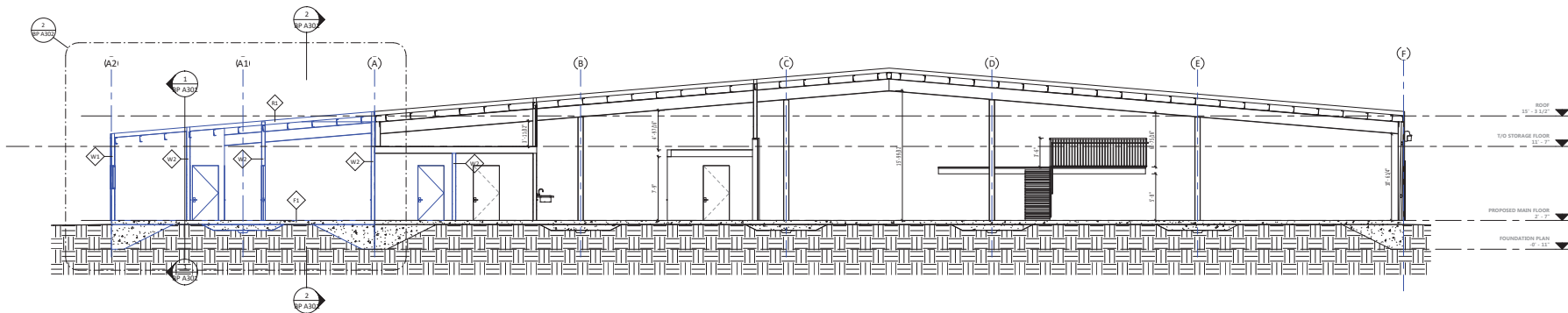
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LOT 40
4001 Whistler Way, Whistler
WHISTLER GOLF COURSE

BP A301
REVISION BP 2
JOB #1729
4 APRIL 2017

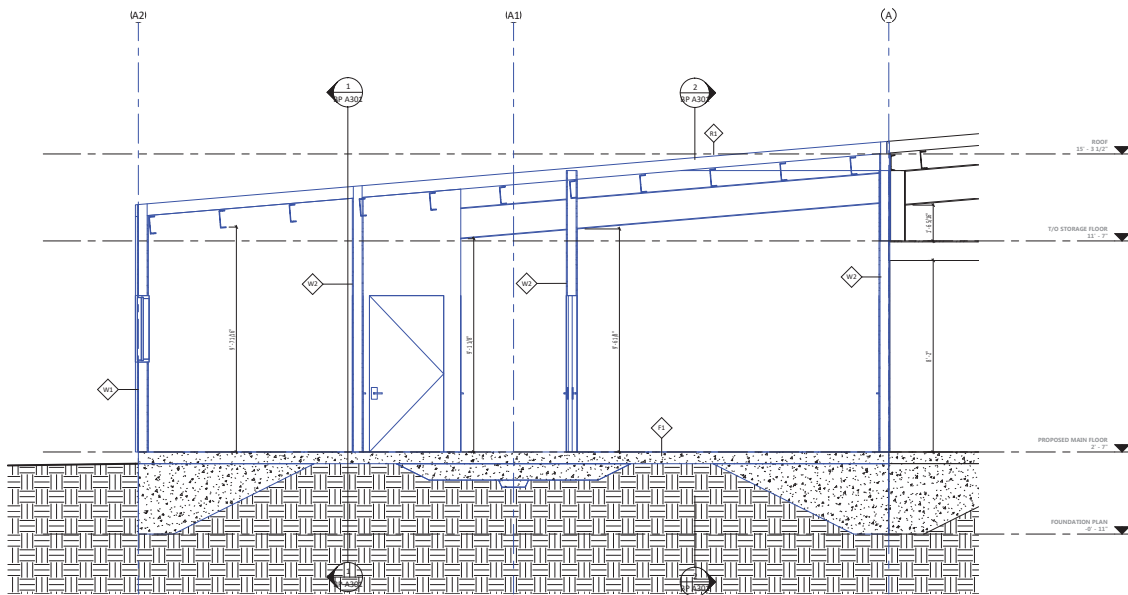
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1 LONG SECTION
1:75



2 ADDITION
1:30

ROOF ASSEMBLIES:

from INTERIOR (warm side) to EXTERIOR (cold side)
EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS

- R1- PROFILED METAL ROOF ON STEEL C CHANNELS** [R₁₀ = m²*K/W]
 - FOIL FACED 2" BATT INSULATION
 - STEEL C CHANNELS
 - 1 1/2" PROFILED METAL ROOFING SHEETS (TBC)
- R1-1: PROFILED METAL ROOF ON STEEL C CHANNELS (un-insulated)**
 - STEEL C CHANNELS
 - 1 1/2" PROFILED METAL ROOFING SHEETS

FLOOR ASSEMBLIES:

*from INTERIOR (warm side) to EXTERIOR (cold side)
*EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS
*ALL STRUCTURAL AS PER ENGINEERING

- F1- CONCRETE SLAB ON GRADE** [R₁₀ = m²*K/W]
 - FLOOR FINISH (TBC)
 - 6" CONCRETE SLAB c/w WIRE MESH REINFORCING
 - 6 mil POLY VAPOUR BARRIER
 - 3" RIGID INSULATION - XPS
 - 2" SAND FILL
 - 8" COMPACT CRASHED STONE

WALL ASSEMBLIES:

from INTERIOR (warm side) to EXTERIOR (cold side)
EXISTING FLOORS BASED ON EXPOSED CONSTRUCTION DETAILS

- W1.6: 2x4 EXTERIOR STUD WALL** [R₁₀ = m²*K/W]
 - 1/2" GYPSUM BOARD, PAINT FINISH
 - 1 5/8" x 3 1/2" METAL STUDS @ 24" O/C
 - w/ R22 ROCKWOL BATT INSULATION
 - 1 1/2" METAL CLADDING
- W1.6: 2x4 INTERIOR PARTITION**
 - 1/2" GYPSUM BOARD, PAINT FINISH
 - 1 5/8" x 3 1/2" METAL STUDS @ 24" O/C
 - 1/2" GYPSUM BOARD, PAINT FINISH

NOTES:
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2. ALL EXISTING BUILD UPS TO BE VERIFIED ONSITE

ISSUED FOR BUILDING PERMIT APPLICATION ONLY | ALL MEASUREMENTS TO BE VERIFIED ON SITE

REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL DETAILS

PROGRESS	NO.	ISSUED	DATE	REV.	BY.	NO.	ISSUED	DATE	REV.	BY.
	A	CONCEPT DESIGN	2017 04 11	ALL	DV					

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Designer

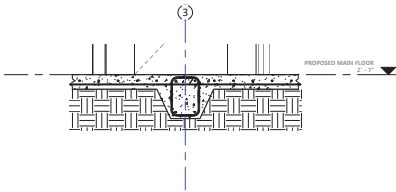
Drawn By AB
Checked By DV

LONG SECTIONS

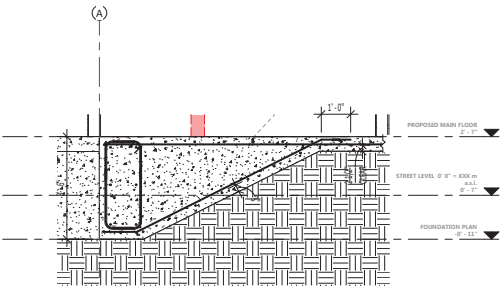
Scale: As indicated
LOT 40
4001 Whistler Way, Whistler
WHISTLER GOLF COURSE

BP A302
REVISION BP 2
JOB #1729
4 APRIL 2017

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BC, CANADA



1 EXISTING TIE BEAM
1/2" = 1'-0"



2 EXISTING SLAB EDGE
1/2" = 1'-0"

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PROGRESS	NO.	ISSUED	DATE	REV.	BY.	NO.	ISSUED	DATE	REV.	BY.
	A	CONCEPT DESIGN	2017 04 11	ALL	DV					

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Designer

Drawn By AB
Checked By DV

DETAILS

Scale: 1/2" = 1'-0"

LOT 40
4001 Whistler Way, Whistler
WHISTLER GOLF COURSE

BP A501
REVISION BP 2
JOB #1729
4 APRIL 2017



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2017-04-11 5:01:20 PM

REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL DETAILS



RZ 1138

4001 Whistler Way

Whistler Golf Course Rezoning

Council presentation

July 4, 2017

RESORT MUNICIPALITY OF WHISTLER

4325 Blackcomb Way
Whistler, British Columbia
Canada V0N 1B4
www.whistler.ca

TEL 604 932 5535
TF 1 866 932 5535
FAX 604 935 8109



Subject Lands



Subject Lands

Background – Whistler Golf Course

- Municipally owned lands under a 20-year lease.
- Zoned RR1
- Proposed addition to maintenance building: 179.3 m²
- Total building size: 993 m²
- Accessory building maximum GFA: 56 m²



Site Photos



Proposed Building Addition



1 3D View 1 - EXISTING



2 3D View 2 - Proposed



3 3D View 3 - Proposed

Bylaw 2157, 2017

- Bylaw 2157 creates new site specific zone – Leisure Recreation 10 (LR10)
- Permits all uses allowed under lease:
 - ✓ auxiliary buildings and uses (club house, maintenance facility, restaurant, retail sales, and rental)
 - ✓ driving range
 - ✓ golf course
 - ✓ outdoor assembly
 - ✓ outdoor recreation
- Increase total permitted GFA from 2056 to 2200 m²
- Similar approach to Nicklaus North and Fairmont Whistler Golf Courses

Bylaw 2157, 2017

Existing Auxiliary Buildings	GFA Permitted Under RR1 Zone (m ²)	Existing GFA (m ²)	LR10 Zone Max. Permitted GFA (m ²)
Clubhouse	2000	378.0	500
Maintenance shop + proposed addition	56	992.9	1000
Range golf shop		75.6	100
Other auxiliary buildings		487.6	600
• Gas shed (14.6 m ²)			
• Cart shed (388.8 m ²)			
• On course washrooms x 2 (7.3 m ²)			
• Half way hut (29.2 m ²)			
• Range storage (6.5 m ²)			
• Pump Station (29.2 m ²)			
• Starter hut (12.2 m ²)			
Total GFA	2056	1934.1	2200

Whistler 2020

- Built Environment

- ✓ The built environment is safe and accessible
- ✓ Continuous encroachment on nature is avoided.
- ✓ Building design, construction and operation is characterized by efficiency, durability and flexibility for changing and long-term uses.

- Health and Social Strategy

- ✓ Whistler organizations and stakeholders work together to meet the health and social needs of community members and visitors.

- Recreation and Leisure Strategy

- ✓ Quality recreation and leisure activities are delivered with exceptional service

- OCP criteria for evaluating proposals for recreational development:
 - ✓ sewage and waste water is discharged into the Municipal system
 - ✓ access is not provided from an internal subdivision road
 - ✓ terrain is suitable
 - ✓ soil stability, ground water levels, and flooding lands are satisfactory for use

Recommendation

- That Council consider giving first and second readings to 'Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017'; and further
- That Council authorize staff to schedule a public hearing for 'Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017', and to advertise for same in the local newspaper.

File No. DVP1132

That Council approve the issuance of Development Variance Permit DVP1132 for the proposed development at 8527 Buckhorn Drive to:

- a) Vary the front setback for one surface parking stall from 1.5 metres to 0.8 metres;
- b) Vary the front setback for a second surface parking stall from 1.5 metres to 0.5 metres;
- c) Allow the one parking stall in the garage to be considered as a tandem stall;

As shown on the plans prepared by Mathies Design, dated May 8, 2017 and attached to Administrative Report 17-076 as Appendix B.

CARRIED

DVP1135 – 9523
Emerald Drive –
Emerald UV Station
Report No.17-077
File No. DVP1135

Moved by Councillor J. Grills
Seconded by Councillor J. Ford

That Council approve the issuance of Development Variance Permit DVP1135 for the proposed water purification station at 9523 Emerald Drive to:

- a) Vary the north side setback from 60 metres to 45 metres;
- b) Vary the south side setback from 60 metres to 43 metres;
- c) Vary the east side setback from 60 metres to 11 metres;

As shown on the site plan prepared by Opus Engineering, dated 20/ 06/ 2017 and attached to Administrative Report 17-077 as Appendix B.

CARRIED

Zoning Amendment
Bylaw (Whistler Golf
Course) No. 2157, 2017
Report No.17-082
File No. RZ1138

Moved by Councillor J. Grills
Seconded by Councillor S. Anderson

That Council consider giving first and second readings to “Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017”; and further,

That Council authorize staff to schedule a public hearing for “Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017”, and to advertise for same in the local newspaper.

CARRIED

Whistler Transit System
Agreements and
Expansion Memorandum
of Understanding (MOU)
Report No.17-078
File No. 534

Moved by Councillor J. Crompton
Seconded by Councillor S. Anderson

That Council authorize the Mayor and Municipal Clerk to execute the “Whistler Transit Service Agreement” between the Resort Municipality of Whistler and British Columbia Transit as attached in Appendix A to Administrative Report No. 17-078; and,

That Council authorize the Mayor and Municipal Clerk to execute the “2017-2018 Whistler Annual Operating Agreement” for the period April 1, 2017 through March 31, 2018; and further,

Shareholder of the Whistler 2020 Development Corp., a copy of which is attached to Administrative Report No.17-081 as Appendix "A", and that the Mayor and Municipal Clerk execute and deliver the resolutions on behalf of the Municipality; and further,

That Council accept the resignation of Jackson Crompton and appoint Steven Bradley Anderson as a director for Whistler 2020 Development Corporation Ltd as of December 6, 2016.

CARRIED

MINUTES OF COMMITTEES AND COMMISSIONS

Transportation Advisory
Group (TAG)

Moved by Councillor J. Crompton
Seconded by Councillor S. Maxwell

That minutes of the Transportation Advisory Group (TAG) meeting of April 4, 2017 be received.

CARRIED

Whistler Bear Advisory
Committee

Moved by Councillor J. Grills
Seconded by Councillor J. Ford

That minutes of the Whistler Bear Advisory Committee meeting of May 10, 2017 be received.

CARRIED

May Long Weekend
Committee

Moved by Councillor J. Grills
Seconded by Councillor J. Crompton

That minutes of the May Long Weekend Committee meeting of May 16, 2017 be received.

CARRIED

BYLAWS FOR FIRST AND SECOND READINGS

Zoning Amendment
Bylaw (Whistler Golf
Course) No. 2157, 2017.

Moved by Councillor J. Crompton
Seconded by Councillor S. Maxwell

That "Zoning Amendment Bylaw (Whistler Golf Course) No. 2157, 2017" receive first and second readings.

CARRIED

BYLAWS FOR THIRD READING

Zoning Amendment
Bylaw (Hotel and
Phase 2 Rental Pool
Accommodations)
No. 2140, 2017

Moved by Councillor J. Ford
Seconded by Councillor J. Grills

That Zoning Amendment Bylaw (Hotel and Phase 2 Rental Pool Accommodations) No. 2140, 2017 receive third reading.

CARRIED

Zoning Amendment
Bylaw (CC1 Zone –

Moved by Councillor J. Crompton
Seconded by Councillor J. Grills