



REGULAR MEETING OF MUNICIPAL COUNCIL  
AGENDA

Tuesday, April 29, 2025, 5:30 p.m.

Franz Wilhelmsen Theatre at Maury Young Arts Centre  
4335 Blackcomb Way, Whistler, BC V8E 0X5

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1. CALL TO ORDER

2. LAND ACKNOWLEDGEMENT

*The Resort Municipality of Whistler is grateful to be on the shared, unceded territory of the Lílwat People, known in their language as Lilwat7úl, and the Squamish People, known in their language as Skwxwú7mesh. We respect and commit to a deep consideration of their history, culture, stewardship and voice.*

3. ADOPTION OF AGENDA

**That** Council adopt the Regular Council Meeting agenda of April 29, 2025.

4. ADOPTION OF MINUTES

**That** Council adopt the Regular Council Meeting minutes of April 8, 2025 and the Special Regular Meeting minutes of April 22, 2025.

5. PUBLIC COMMENT AND QUESTION PERIOD

6. MAYOR'S REPORT

7. ADMINISTRATIVE REPORTS

7.1 CM000191 – 3339 Nighthawk Lane – Modify Building Envelope Report No. 25-026 File No. 2450-20-0191

*No presentation.*

**That** Council approve a modification to covenant GD46588 to:

- a. modify the building envelope as shown on plan A 0.00 dated March 13, 2025 prepared by Design Ark and attached as Appendix A to Administrative Report No. 25-026; and
- b. specify no burning of fossil fuel to heat the outdoor spaces and hot tub within the proposed building envelope amendment as shown in blue shading on plan A 0.00 dated March 13, 2025 prepared by Design Ark and attached as Appendix A to Administrative Report No. 25-026.

These modifications are to facilitate the proposed development of deck additions, outdoor stairs and a hot tub at 3339 Nighthawk Lane.

7.2 Wastewater Treatment Plant Primary Treatment Building Roof Replacement – Contract Award Report No. 25-027 File No. 5600-E409-08

*A presentation by municipal staff.*

**That** Council award the contract for the Wastewater Treatment Plant Primary Treatment Building Roof Replacement Project in the amount of \$746,326.00 (exclusive of GST) to Langley Roofing Co. Ltd. in accordance the tender recommendation letter, attached as Appendix A to Administrative Report No. 25-027.

**7.3 Electric Assist Public E-Bike Share Program Contract Renewal Report No. 25-028 File No. 6030-20**

*A presentation by municipal staff.*

**That** Council approve a two-year extension to the electric assist bike share program (E-Bike Share) agreement with B.C.A.A. Holdings Ltd., the successful proponent in the 2023 Whistler Public Electric Assist Bike Share Program Request for Proposal and as permitted under the current agreement.

**7.4 Council Policy A-7 Community Enrichment Program Updates Report No. 25-029 File No. 0340-20-A-07**

*A presentation by municipal staff.*

**That** Council adopt *Council Policy A-7: Community Enrichment Program (CEP)*, as amended and attached as Appendix A to Administrative Report No. 25-029.

**7.5 Amalgamation of Whistler.com Systems Inc. and Tourdex.com Systems Inc. Report No. 25-029 File No. 0500-02-0009**

*No presentation.*

**That** Council, in its capacity as shareholder of Whistler.com Systems Inc. and Tourdex.com Systems Inc. (Tourdex.com) (together the Corporations), direct staff to work with the Whistler Resort Association, the other shareholder of the Corporations, to take all necessary steps to amalgamate the Corporations; and

**That** Council direct staff to allocate the “Due to Shareholder” funds listed in the financial statements for Tourdex.com (Funds), that will become available for distribution upon amalgamation of the Corporations in the amount of \$129,082, to the Resort Municipality of Whistler Project A100 included in the “Five-Year Financial Plan 2025-2029 Bylaw No. 2465, 2025” (Bylaw), in support of Whistler’s 50th anniversary celebrations; and further

**That** Council include the allocation of the Funds to Project A100 as part of the next amendment of the Bylaw to be considered by Council later this year.

**8. MINUTES OF COMMITTEES**

**8.1 Emergency Planning Select Committee**

**That** Council receive the Regular Meeting minutes of the Emergency Planning Select Committee of January 28, 2025.

**9. BYLAWS FOR ADOPTION**

**9.1 Property and Parcel Tax Rates Bylaw No. 2474, 2025**

**That** Council adopt “Property and Parcel Tax Rates Bylaw No. 2474, 2025”.

**9.2 Water User Fee and Regulation Amendment Bylaw (2025 Rates) No. 2475, 2025**

**That** Council adopt “Water User Fee and Regulation Amendment Bylaw (2025 Rates) No. 2475, 2025”.

**9.3 Sewer User Fee Amendment Bylaw (2025 Rates) No. 2476, 2025**

**That** Council adopt “Sewer User Fee Amendment Bylaw (2025 Rates) No. 2476, 2025”.

**9.4 Solid Waste Amendment Bylaw (2025 Rates) No. 2470, 2025**

**That** Council adopt “Solid Waste Amendment Bylaw (2025 Rates) No. 2470, 2025”.

**10. OTHER BUSINESS**

**10.1 Parks and Trails Officer Appointment**

**Whereas** the Council of the Resort Municipality of Whistler (RMOW) wishes to appoint Robert Shackell as a Parks and Trails Officer pursuant to section 36 of the *Police Act*, and upon Robert Shackell swearing the oath pursuant to section 1(b) of Police Oath/Solemn Affirmation Regulation, before a Commissioner for taking Affidavits in the Province of British Columbia, the RMOW hereby appoints Robert Shackell as a Parks and Trails Officer to perform the functions and duties specified in the Parks and Trails Officer job description.

**10.2 Emergency Planning Select Committee Council Appointments**

**That** Council appoint Mayor, J. Crompton and Councillor J. Ford to the Resort Municipality of Whistler Emergency Planning Select Committee as Council representatives until October 15, 2026.

**10.3 Fire Service Agreement for Whistler WedgeWoods Estates**

**11. CORRESPONDENCE**

**11.1 Workplace Nasal Naloxone Pilot Initiative Subject File No. 3009**

Correspondence from E. Howatson regarding the Workplace Nasal Naloxone Pilot Initiative.

**11.2 Green Lake Spit Cleanliness File No. 3009**

Correspondence from R. Zisman regarding concerns about cleanliness of the Green Lake Spit.

**11.3 2025 Community Enrichment Program Funds**

**a. Whistler Skating Club File No. 3009**

Correspondence from B. Thomas regarding the 2025 Community Enrichment Program funding for the Whistler Skating Club.

**b. Slope Side Support Society File No. 3009**

Correspondence from K. Scott regarding the 2025 Community Enrichment Program application submitted by the Slope Side Support Society.

**11.4 Increased Funding for Agriculture in British Columbia No. 3009**

Correspondence from Mayor N. MacDonald, City of Pitt Meadows, requesting support for a resolution calling for increased funding for agriculture in British Columbia.

**11.5 Light-up and Proclamation Requests**

**a. National Schizophrenia and Psychosis Awareness Day File No. 3009.1**

Correspondence from M. Gallant, requesting the Fitzsimmons Covered Bridge be lit purple on May 24, 2025, in support of National Schizophrenia and Psychosis Awareness Day.

**b. Food Allergy Awareness Month File No. 3009.1**

Correspondence from K. MacDonald, requesting the Fitzsimmons Covered Bridge be lit teal on [May 26, 2025, in support of Food Allergy Awareness Month.

**c. Brain Tumour Awareness Month File No. 3009.1**

Correspondence from A. Wong, requesting the Fitzsimmons Covered Bridge be lit orange and blue on May 26, in support of Brain Tumour Awareness Month.

**d. National Injury Prevention Day File No. 3009.1**

Correspondence from D. Wilson, requesting the Fitzsimmons Covered Bridge be lit green on July 7, 2025, in support of National Injury Prevention Day.

**e. National Nurses Week File No. 3009.1**

Correspondence from T. Klassen, requesting the Fitzsimmons Covered Bridge be lit pink and white on May 17, 2025, in support of National Nurses Week.

**12. TERMINATION**

**That** Council terminate the Regular Council Meeting of April 29, 2025.





**REGULAR MEETING OF MUNICIPAL COUNCIL  
RESORT MUNICIPALITY OF WHISTLER  
MINUTES**

Tuesday, April 8, 2025, 5:30 p.m.  
Franz Wilhelmsen Theatre at Maury Young Arts Centre  
4335 Blackcomb Way, Whistler, BC V8E 0X5

**PRESENT:** Mayor J. Crompton  
Councillor A. De Jong  
Councillor J. Ford  
Councillor C. Jewett  
Councillor J. Morden  
Councillor J. Murl

**ABSENT:** Councillor R. Forsyth

**STAFF PRESENT:** Chief Administrative Officer, V. Cullen  
General Manager of Climate Action, Planning and Development  
Services, D. Mikkelsen  
General Manager of Community Engagement and Cultural Services,  
K. Elliott  
Acting General Manager of Corporate Services and Public Safety and  
Corporate Officer, P. Lysaght  
Director of Planning, M. Laidlaw  
Manager of Village Events and Animation, B. Andrea  
Manager of Policy Planning, C. Beaubien  
Manager of Projects Planning, J. Chapman  
Manager of Building, M. Hollis  
Deputy Corporate Officer, C. Hodgson  
Special Projects, E. Marriner  
Senior Communications Officer, B. Barrett  
Planner, J. Rees  
Planner, L. Renaud-Tremblay  
Planner, M. Mucignat  
Planning Analyst, E. Clemes

**OTHERS:** Poet, V. Crompton

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**1. CALL TO ORDER**

*Mayor J. Crompton called the Meeting to Order.*

**2. LAND ACKNOWLEDGEMENT**

*Mayor J. Crompton recognized the Resort Municipality of Whistler is grateful to be on the shared, unceded territory of the Lílwat People, known in their language as Liłwat7úl, and the Squamish People, known in their language as Skwxwú7mesh. We respect and commit to a deep consideration of their history, culture, stewardship and voice.*

**3. ADOPTION OF AGENDA**

Moved By Councillor J. Morden

Seconded By Councillor C. Jewett

**That** Council adopt the agenda for the Regular Council Meeting on April 8, 2025, as amended to include the late Council package circulated on April 8, 2025, to add:

- "Zoning Amendment Bylaw (5298 Alta Lake Road) No. 2458, 2024" under Agenda Item 11, and
- The late correspondence under Agenda Item 13.

CARRIED

**4. ADOPTION OF MINUTES**

Moved By Councillor A. De Jong

Seconded By Councillor J. Ford

**That** Council adopt the Regular Council Meeting minutes of March 25, 2025.

CARRIED

**5. PRESENTATIONS**

**5.1 2025 Resort Municipality of Whistler Summer Festivals, Events and Animation Update**

A presentation was given by Manager of Village Events and Animation, B. Andrea regarding the 2025 Resort Municipality of Whistler summer festivals, events and animation programming.

**6. PUBLIC COMMENT AND QUESTION PERIOD**

*There were no questions from the public.*

**7. MAYOR'S REPORT**

*Mayor and Council provided an update on activities happening within the community.*

*Mayor J. Crompton announced the winners of the 2025 Poetry Pause competition. The winner of the Listening category was V. Crompton. V. Crompton recited the poem entitled Lakesounds. The winner of the Togetherness category was R. Evans. Mayor Crompton recited the poem entitled Together.*

*Mayor J. Crompton called for a recess at 6:08 p.m.*

*Mayor J. Crompton called the Meeting back to order at 6:09 p.m.*

## 8. ADMINISTRATIVE REPORTS

### 8.1 Terms of Reference Updates for Select and Standing Committees and Council Policy A-21 Amendment Report No. 25-018 File No. 0540-20

Moved By Councillor C. Jewett

Seconded By Councillor J. Murl

**That** Council approve the Accessibility and Inclusion Select Committee Terms of Reference (TOR), attached as Appendix A to Administrative Report No. 25-018; and

**That** Council approve the Advisory Design Panel TOR, attached as Appendix B to Administrative Report No. 25-018; and

**That** Council approve the Audit and Finance Standing Committee TOR, attached as Appendix C to Administrative Report No. 25-018; and

**That** Council approve the Emergency Planning Committee Select Committee TOR, attached as Appendix D to Administrative Report No. 25-018; and

**That** Council approve the Governance and Ethics Standing Committee TOR, attached as Appendix E to Administrative Report No. 25-018; and

**That** Council approve the Human Resources Standing Committee TOR, attached as Appendix F to Administrative Report No. 25-018; and further

**That** Council adopt *Council Policy A-21: Council Governance Manual* as amended and attached as Appendix G to Administrative Report No. 25-018.

CARRIED

### 8.2 2025 Official Community Plan Amendment - Project and Engagement Approach Report No. 25-019 File No. 6480-20

Moved By Councillor J. Ford

Seconded By Councillor J. Morden

**That** Council endorse the 2025 Official Community Plan (OCP) amendment project (Project) and engagement approach, as outlined in Administrative Report No. 25-019, required to be completed by December 31, 2025 in accordance with the *Local Government Act* (LGA); and

**That** Council has considered sections 475 and 476 of the LGA and endorses the early and ongoing consultation for the 2025 OCP Project as outlined in Administrative Report No. 25-019.

CARRIED

**8.3 Council Policy G-30: Housing Needs Priority Application Review Report No. 25-020 File No. 0340-20-G30**

Moved By Councillor J. Morden

Seconded By Councillor J. Murl

**That** Council adopt *Council Policy G-30: Housing Needs Priority Application Review*, attached as Appendix A to Administrative Report No. 25-020.

CARRIED

**8.4 RZ001194 - Zoning Amendment Bylaw (Cheakamus Crossing Phase 2 RM-CD2 Zone) No. 2462, 2025 Report No. 25-021 File No. 3900-20-2462**

Moved By Councillor A. De Jong

Seconded By Councillor J. Murl

**That** Council consider giving first, second, and third readings to “Zoning Amendment Bylaw (Cheakamus Crossing Phase 2 RM-CD2 Zone) No. 2462, 2025” (Proposed Bylaw); and

**That** Council direct staff to advise the owner that prior to adoption of the Proposed Bylaw the following matters respecting 1600 Mount Fee Road (Lot 3) must be resolved to the satisfaction of the General Manager of Climate Action, Planning and Development Services:

1. Registration of a development covenant in favour of the Resort Municipality of Whistler (RMOW) to:
  - a. ensure development is consistent with the development plans to be finalized prior to adoption;
  - b. establish a parking management plan outlining the use of resident and visitor parking in conjunction with rental tenancy;
  - c. secure registration of a housing agreement in favour of the RMOW to regulate employee occupancy and rental rates;
  - d. require completion of the Cheakamus Crossing Phase 2 neighbourhood park prior to occupancy of Lot 3; and
  - e. ensure the following green building features are delivered:
    - i. Provision of electrical conduit with access to a circuit (i.e., electric vehicle ready) for all residential parking stalls; and
    - ii. Provision of heating, ventilation, and air conditioning systems that achieve the minimum efficiency rating required by *Council Policy G-28: Green Building Policy* (Green Building Policy);
    - iii. Provision of Energy Recovery Ventilators incorporating filters with a Minimum Efficiency Reporting Value of 13 and achieving heat recovery effectiveness consistent with the Green Building Policy; and

- iv. Building energy efficiency and performance to meet or exceed BC Energy Step Code Step 4 with Strong Carbon Performance, as defined through the BC Energy Step Code and Zero Carbon Step Code.

CARRIED

**8.5 Whistler Creek West Neighbourhood Plan - Phase 1 Engagement Summary and Phase 2 Update Report No. 25-022 File No. 6520-20-0020**

Moved By Councillor J. Morden

Seconded By Councillor C. Jewett

**That** Council receive the results of the Whistler Creek West Neighbourhood Plan Phase 1 Community Engagement process presented in Administrative Report No. 25-022 for information; and

**That** Council direct staff to advance the Whistler Creek West Neighbourhood Plan process to Phase 2 with development of a neighbourhood redevelopment concept guided by the Core Values and Big Ideas recommended in the Analysis section of Administrative Report No. 25-022.

CARRIED

**8.6 2025 Community Enrichment Program Funding Recommendations Report No. 25-023 File No. 1850-20-2025**

Moved By Councillor C. Jewett

Seconded By Councillor J. Morden

**That** Council approve the 2025 Community Enrichment Program grants, attached as Appendix A to Administrative Report No. 25-023.

CARRIED

**9. MINUTES OF COMMITTEES**

**9.1 Advisory Design Panel**

Moved By Councillor J. Murl

Seconded By Councillor C. Jewett

**That** Council receive the Regular Meeting minutes of the Advisory Design Panel of January 15, 2025.

CARRIED

**10. BYLAWS FOR FIRST, SECOND AND THIRD READINGS**

**10.1 Zoning Amendment Bylaw (Cheakamus Crossing Phase 2 RM-CD2 Zone) No. 2462, 2025**

Moved By Councillor C. Jewett

Seconded By Councillor J. Murl

**That** Council give "Zoning Amendment Bylaw (Cheakamus Crossing Phase 2 RM-CD2 Zone) No. 2462, 2025" first, second and third readings.

CARRIED

## 11. BYLAWS FOR ADOPTION

### 11.1 Five-Year Financial Plan 2025 - 2029 Bylaw No. 2465, 2025

Moved By Councillor J. Morden

Seconded By Councillor J. Murl

**That** Council adopt "Five-Year Financial Plan 2025 - 2029 Bylaw No. 2465, 2025".

CARRIED

### 11.2 Zoning Amendment Bylaw (5298 Alta Lake Road) No. 2458, 2024

Moved By Councillor C. Jewett

Seconded By Councillor J. Murl

**That** Council adopt "Zoning Amendment Bylaw (5298 Alta Lake Road) No. 2458, 2024".

CARRIED

## 12. CORRESPONDENCE

### 12.1 Contracting Practices for New Housing Development in Cheakamus Crossing File No. 3009

Moved By Councillor J. Murl

Seconded By Councillor J. Morden

**That** Council receive correspondence from A. Neilson regarding the contracting practices for new housing development in Cheakamus Crossing and refer it to staff and the Whistler 2020 Development Corp.

CARRIED

### 12.2 Bayshores Park (Millar's Pond)

#### a. Petition for Safety and Cleanliness in Bayshores Park File No. 3009

Moved By Councillor C. Jewett

Seconded By Councillor J. Murl

**That** Council receive the following correspondence and refer it to staff:

- a petition from P. Charman regarding the petition for safety and cleanliness in Bayshores Park; and
- correspondence from A. Marquie regarding concerns about unleashed dogs and dog waste at Bayshores Park.

CARRIED

### **12.3 Municipally Owned Cannabis Retail Stores File No. 3009**

Moved By Councillor C. Jewett

Seconded By Councillor J. Murl

**That** Council receive correspondence from L. Pineault, Mayor of the Village of Daajing Giids, regarding municipally owned cannabis retail stores.

CARRIED

### **12.4 E-Comm 911 Dispatch Services**

Moved By Councillor A. De Jong

Seconded By Councillor J. Murl

**That** Council receive correspondence from P. Perras regarding the update to E-Comm 911 dispatch services.

CARRIED

### **12.5 Light-up and Proclamation Requests**

#### **a. Prostate Cancer Awareness Month File No. 3009.1**

Moved By Councillor C. Jewett

Seconded By Councillor J. Murl

**That** Council receive correspondence from S. Werk, refer it to staff and that the Fitzsimmons Covered Bridge be lit blue on September 6, 2025, in support of Prostate Cancer Awareness Month.

CARRIED

#### **b. Menstrual Health Day File No. 3009.1**

Moved By Councillor C. Jewett

Seconded By Councillor J. Morden

**That** Council receive correspondence from L. Sinclair, refer it to staff and that the Fitzsimmons Covered Bridge be lit red on May 28, 2025, and that

May 28, 2025, be proclaimed Menstrual Health Day in Whistler, in support of Menstrual Health Day.

CARRIED

**c. Human Values Day File No. 3009.1**

Moved By Councillor J. Murl

Seconded By Councillor C. Jewett

**That** Council receive correspondence from M. Rughani, refer it to staff and that April 24, 2025, be proclaimed Human Values Day in Whistler.

CARRIED

**d. Melanoma and Skin Cancer Awareness Month File No. 3009.1**

Moved By Councillor C. Jewett

Seconded By Councillor J. Morden

**That** Council receive correspondence from T. Tomko, refer it to staff and that May 2025 be proclaimed Melanoma and Skin Cancer Awareness Month in Whistler.

CARRIED

**13. LATE CORRESPONDENCE**

**13.1 Bayshores Park (Millar's Pond)**

Moved By Councillor A. De Jong

Seconded By Councillor C. Jewett

**That** Council receive correspondence from E. Jedrasiak regarding concerns about unleashed dogs at Bayshores Park and refer it to staff.

CARRIED

**14. TERMINATION**

Moved By Councillor J. Morden

Seconded By Councillor J. Murl

**That** Council terminate the Regular Council Meeting of April 8, 2025, at 7:46 p.m.

CARRIED



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Mayor, J. Crompton

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Corporate Officer, P. Lysaght

DRAFT



## SPECIAL MEETING OF MUNICIPAL COUNCIL MINUTES

Tuesday, April 22, 2025, 9:00 a.m.  
Remote Meeting via Teams

PRESENT: Mayor J. Crompton  
Councillor J. Ford  
Councillor R. Forsyth  
Councillor J. Morden  
Councillor J. Murl

ABSENT Councillor A. De Jong  
Councillor C. Jewett

STAFF PRESENT: Chief Administrative Officer, V. Cullen  
General Manager of Corporate Services and Public Safety, T. Battiston  
General Manager of Infrastructure Services, J. Hallisey  
General Manager of Climate Action, Planning and Development Services, D. Mikkelsen  
General Manager of Community Engagement and Cultural Services, K. Elliott  
Chief Financial Officer, C. Price  
Manager of Legislative Services/ Corporate Officer, P. Lysaght  
Manager of Financial Services, A. Palmer  
Deputy Corporate Officer, C. Hodgson  
Council Coordinator, P. Mendieta

### 1. CALL TO ORDER

*Mayor J. Crompton recognized The Resort Municipality of Whistler is grateful to be on the shared, unceded territory of the Lílwat People, known in their language as Liíwat7úl, and the Squamish People, known in their language as Skwxwú7mesh. We respect and commit to a deep consideration of their history, culture, stewardship and voice.*

### 2. PURPOSE OF THE MEETING

In general terms, the purpose of this Special Council Meeting is for Council to consider the first three readings of the following bylaws:

- “Solid Waste Amendment Bylaw (2025 Rates) No. 2470, 2025”;
- “Property and Parcel Tax Rates Bylaw No. 2474, 2025”;

- “Water User Fee and Regulation Amendment Bylaw (2025 Rates) No. 2475, 2025”; and
- “Sewer User Fee Amendment Bylaw (2025 Rates) No. 2476, 2025”.

### 3. **ADOPTION OF AGENDA**

Moved By Councillor J. Ford

Seconded By Councillor R. Forsyth

**That** Council adopt the Special Council Meeting agenda of April 22, 2025.

CARRIED

### 4. **ADMINISTRATIVE REPORTS**

#### 4.1 **2025 Property and Parcel Tax, and Utility Rate Bylaws Report No. 25-025 File No. 3900-20-2470/74/75/76**

Moved By Councillor R. Forsyth

Seconded By Councillor J. Ford

**That** Council consider giving first, second and third readings to the following bylaws:

- “Solid Waste Amendment Bylaw (2025 Rates) No. 2470, 2025”;
- “Property and Parcel Tax Rates Bylaw No. 2474, 2025”;
- “Water User Fee and Regulation Amendment Bylaw (2025 Rates) No. 2475, 2025”; and
- “Sewer User Fee Amendment Bylaw (2025 Rates) No. 2476, 2025”.

CARRIED

### 5. **BYLAWS FOR FIRST, SECOND AND THIRD READINGS**

#### 5.1 **Solid Waste Amendment Bylaw (2025 Rates) No. 2470, 2025**

Moved By Councillor J. Ford

Seconded By Councillor J. Morden

**That** Council give "Solid Waste Amendment Bylaw (2025 Rates) No. 2470, 2025" first, second and third readings.

CARRIED

**5.2 Property and Parcel Tax Rates Bylaw No. 2474, 2025**

Moved By Councillor J. Morden

Seconded By Councillor J. Murl

**That** Council give "Property and Parcel Tax Rates Bylaw No. 2474, 2025" first, second and third readings.

CARRIED

**5.3 Water User Fee and Regulation Amendment Bylaw (2025 Rates) No. 2475, 2025**

Moved By Councillor J. Murl

Seconded By Councillor J. Ford

**That** Council give "Water User Fee and Regulation Amendment Bylaw (2025 Rates) No. 2475, 2025" first, second and third readings.

CARRIED

**5.4 Sewer User Fee Amendment Bylaw (2025 Rates) No. 2476, 2025**

Moved By Councillor J. Morden

Seconded By Councillor J. Ford

**That** Council give "Sewer User Fee Amendment Bylaw (2025 Rates) No. 2476, 2025" first, second and third readings.

CARRIED

**6. TERMINATION**

Moved By Councillor J. Ford

Seconded By Councillor J. Murl

**That** Council terminate the Special Meeting of Council of April 22, 2025, at 9:15 a.m.

CARRIED

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Mayor, J. Crompton

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Corporate Officer, P. Lysaght

## STAFF REPORT TO COUNCIL

**PRESENTED:** April 29, 2025  
**FROM:** Planning - Development  
**SUBJECT:** CM000191 – 3339 NIGHTHAWK LANE – MODIFY BUILDING ENVELOPE

**REPORT:** 25-026  
**FILE:** 2450-20-0191

### RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

**That** the recommendation of the General Manager of Climate Action, Planning and Development Services be endorsed.

### RECOMMENDATION(S)

**That** Council approve a modification to covenant GD46588 to:

- a) modify the building envelope as shown on plan A 0.00 dated March 13, 2025 prepared by Design Ark and attached as Appendix A to Administrative Report No. 25-026; and
- b) specify no burning of fossil fuel to heat the outdoor spaces and hot tub within the proposed building envelope amendment as shown in blue shading on plan A 0.00 dated March 13, 2025 prepared by Design Ark and attached as Appendix A to Administrative Report No. 25-026.

These modifications are to facilitate the proposed development of deck additions, outdoor stairs and a hot tub at 3339 Nighthawk Lane.

### PURPOSE OF REPORT

This report presents Covenant Modification CM000191 for Council's consideration to modify covenant GD46588 to expand the building envelope to accommodate deck additions, outdoor stairs and a hot tub at 3339 Nighthawk Lane. In addition to the building envelope modification, the staff recommendation requests the covenant modification specify no burning of fossil fuels to heat the outdoor spaces and hot tub within the expanded building envelope.

☐ Information Report ☒ Administrative Report (Decision or Direction)

### DISCUSSION

#### **Background**

The owner of 3339 Nighthawk Lane has applied for a covenant modification to modify the building envelope applicable to their property to support a lower floor deck addition with a hot tub, a main floor deck addition and stair access to the main floor deck.

The property is subject to a lot-specific building envelopment covenant registered on the property title as GD46588. This covenant provides certain parameters for development including specified building envelopes, specific front, side and rear setbacks. The covenant also specifies “all buildings, and structure must be within the established building envelope” as shown on Schedule A of the covenant.

## **Analysis**

### **Site Context**

The property located at 3339 Nighthawk Lane is a developed half-duplex dwelling located within the bare land strata of Blueberry Links (see Appendix B – Location Map). The property is bounded by Nighthawk Lane at the front/west side, the Valley Trail and Whistler Golf Course at the rear/east side, developed lot to the north side and common property of the strata on the south side.

### **Description**

The duplex features main floor and lower floors cantilevered balconies at the rear of the building which were constructed as part of the original development and have associated building records. There is an existing lower floor deck and associated outdoor stairs on the south side of the duplex which are understood to have been built without permits under previous ownership. The current owner proposes to remove the existing unpermitted deck and stairs and construct new decks and stairs on the south side of the duplex.

The proposed scope of work outside of the existing covenanted building envelope is to develop a lower floor deck with hot tub and a main floor deck with stairs, all on the south side of the duplex. The new development requires a modification of the building envelope as the support posts for the structure are outside of the existing covenanted building envelope.

The covenant modification application seeks to amend Covenant GD46588 to extend the building envelope at the southeast corner of the dwelling to accommodate the proposed development. The plans of the proposed development are attached as Appendix A, and the area requested for building envelope expansion are highlighted in blue shading on Plan A 0.00 of Appendix A. A rationale for the proposal is attached as Appendix D. As described, the proposed deck additions will provide secondary emergency egress routes from the main and upper floors.

The proposed development meets all regulations of the RTA 32 Zone and all other applicable regulations of “Zoning and Parking Bylaw No. 303, 2015” (Zoning Bylaw).

As CMs are discretionary approvals, and the requested modification to the building envelope will facilitate development of outdoor spaces with a hot tub, staff recommend the modification to the Covenant GD46588 also specify no burning of fossil fuels to heat the outdoor spaces within the expanded building envelope to further Official Community Plan objectives.

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## **POLICY CONSIDERATIONS**

### **Relevant Council Authority/Previous Decisions**

This application requires Council’s consideration of approval as it is not eligible for delegated approval in the RMOW’s “Land Use Procedures and Fees Bylaw No. 2205, 2022”.

The application is presented for Council consideration relative to the applicable guidelines in the covenant and municipal policies.

## **2023-2026 Strategic Plan**

The 2023-2026 Strategic Plan outlines the high-level direction of the RMOW to help shape community progress during this term of Council. The Strategic Plan contains four priority areas with various associated initiatives that support them. This section identifies how this report links to the Strategic Plan.

### **Strategic Priorities**

- ☐ Housing  
*Expedite the delivery of and longer-term planning for employee housing*
- ☐ Climate Action  
*Mobilize municipal resources toward the implementation of the Big Moves Climate Action Plan*
- ☐ Community Engagement  
*Strive to connect locals to each other and to the RMOW*
- ☐ Smart Tourism  
*Preserve and protect Whistler's unique culture, natural assets and infrastructure*
- ☒ Not Applicable  
*Aligns with core municipal work that falls outside the strategic priorities but improves, maintains, updates and/or protects existing and essential community infrastructure or programs*

## **Community Vision and Official Community Plan**

The Official Community Plan (OCP) is the RMOW's most important guiding document that sets the community vision and long-term community direction. This section identifies how this report applies to the OCP.

The recommended resolution included within this report is consistent with the goals, objectives and policies of the OCP, specifically:

**Policy 4.1.1.3 (i)** – Maintain a high quality of urban design, architecture and landscape architecture that are complementary to the mountain environment.

**Policy 10.1.1.3** – Lead a community-wide effort to derive 100 per cent of the energy used in Whistler from renewable sources by 2060.

**Policy 10.3.1.3** – Advance regulatory approaches that reduce or prohibit the negative climate impacts associated with direct heating and cooling of outdoor areas, such as gas fire pits, patio heaters, heated residential driveways and open shop doors, during the heating or cooling seasons.

The proposal is well integrated with the existing development. The recommendation of this report also specifies no burning of fossil fuels to heat the outdoor spaces and hot tub within the expanded building envelope.

### **Development Permit Areas**

A Development Permit for Protection of Riparian Ecosystems and Wildfire Protection is required. The owner has applied for a development permit (DP002014), that has demonstrated that the proposed development will meet the applicable DPA guidelines.

## BUDGET CONSIDERATIONS

Covenant Modification application fees provide for recovery of costs associated with processing this application.

---

## LÍŁWAT NATION & SQUAMISH NATION CONSIDERATIONS

The RMOW is committed to working with the Líl'wat People, known in their language as *L'il'wat7úl* and the Squamish People, known in their language as the *Skwxwú7mesh Úxwumixw* to create an enduring relationship; establish collaborative processes for planning on unceded territories, as currently managed by the provincial government; achieve mutual objectives and enable participation in Whistler's resort economy.

There are no specific considerations to include in this report.

---

## COMMUNITY ENGAGEMENT

Level of community engagement commitment for this project:

☒ Inform    ☐ Consult    ☐ Involve    ☐ Collaborate    ☐ Empower

Comments:

A sign describing CM000191 is posted on the property. No inquiries have been received from neighbours.

There are no consultation requirements with a covenant modification. However, the applicant consulted with the Blueberry Links strata and has received strata authorization and strata's consent letter on using common property for work on the side yard. The letter is attached as Appendix D.

---

## REFERENCES

Location: 3339 Nighthawk Lane  
Legal: Strata Lot 15 District Lot 4751 Strata Plan VR. 2616  
Owners: N. Nastic & M. Radulovic-Nastic  
Zoning: RTA32 (Residential/Tourist Accommodation Thirty-Two)

Appendix A – Architectural Plans  
Appendix B – Location Map  
Appendix C – Owner Rationale  
Appendix D – Strata Letter

---

## SUMMARY

This report presents Covenant Modification CM000191 for Council's consideration to modify covenant GD46588 to amend the building envelope to support deck additions, outdoor stairs and a hot tub at 3339 Nighthawk Lane, and recommends approval.



This report further recommends that Council approve the modification to covenant GD46588 with a condition that no burning of fossil fuels to heat the outdoor spaces and hot tub within the expanded building envelope be included.

---

### **SIGN-OFFS**

#### **Written by:**

Rex Lin,  
Planning Analyst

#### **Reviewed by:**

Melissa Laidlaw,  
Director of Planning

Dale Mikkelsen,  
General Manager of Climate Action, Planning  
and Development Services

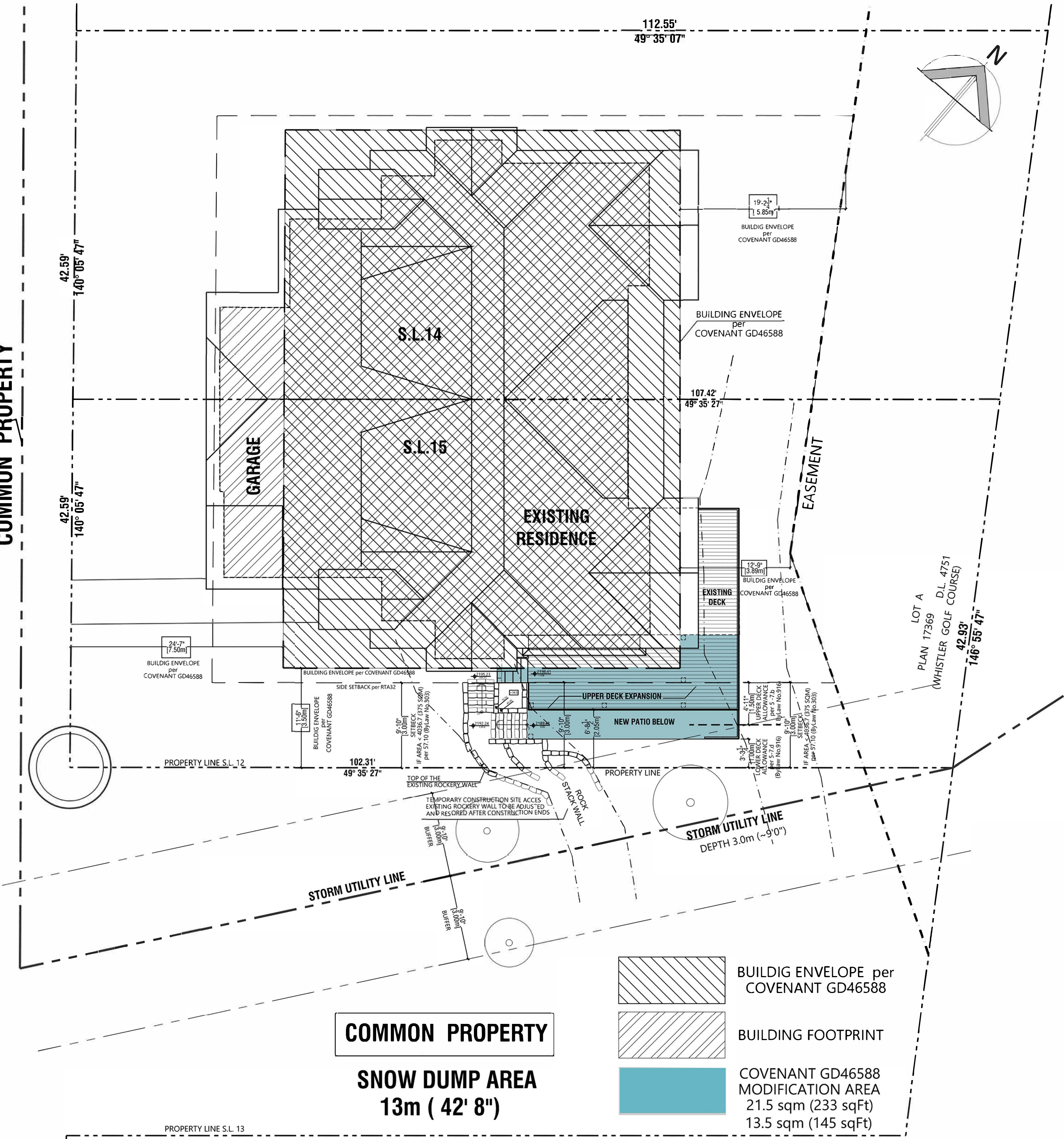
Virginia Cullen,  
Chief Administrative Officer





VICINITY MAP NTS

PROJECT TEAM	
OWNER:	
Nebojsa Nastic	
3339 Nighthawk Lane	
Whistler, BC V0N 1B3	
DESIGNER:	
Design Ark Inc	
Bozurka Morrison	
135 15th Avenue	
Kirkland WA 98033	
T: 425 206 755 0257	
F: 425 822 2683	
STRUCTURAL ENGINEER:	
Twin Peaks Engineering Ltd.	
Benjamin Towsey P.Eng.	
101 - 1080 Millar Creek Road	
Whistler B.C. V8E 0S7	
T: 604 967 1701	
SURVEYOR:	
Doug Bush Survey Services Ltd.	
Unit 18, 1370 Alpha Lake Road	
Whistler, B.C. V8E 0H9	
T: 604-932-3314	
GEO TECHNICAL ENGINEER:	
Steven Fofonoff	
Frontera Geotechnical Inc.	
1 – 38920 Queens Way	
Squamish, BC V8B 0K8	
T: 604-898-1093	
GENERAL CONTRACTOR:	
TBD	



WORK DESCRIPTION
Expanding the lower patio/deck and adding a hot tub. The structural engineer's site inspection has determined the existing footings supporting the lower deck, upper deck and partial upper floor are showing signs of settlement and rotation and need to be rebuilt to prevent further de-stabilisation of the existing structure. For that reason the lower deck and post footings will be rebuilt and the upper floor deck reinforced. With doing so the upper deck will be expanded wile providing the ground access.

CODES
ALL WORK SHALL CONFORM TO APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO:
RM of Whistler Zoning and Parking Bylaw No. 303
BC Building Code - 2024 (Part 9)
ALL RULES, REGULATIONS AND ORDINANCES OF THE GOVERNING JURISDICTION.

DRAWING INDEX
A 1.00 SITE PLAN
A 2.00 BASEMENT FLOOR PLAN
A 2.01 MAIN FLOOR PLAN
A 3.00 ELEVATIONS
A 4.00 SECTIONS
1 of 1 SURVEY

SITE PLAN SCALE 1" - 10'

NASTIC RESIDENCE DECK REPAIR and EXSPANSION

residential • commercial • interiors

135 15th Avenue

Kirkland, WA 98033

T • (425) 739.6761

F • (425) 822.2683

[designark@designarkinc.com](mailto:designark@designarkinc.com)

PROJECT NAME:  
**NASTIC RESIDENCE DECK EXPANSION**

PROJECT ADDRESS:  
**3339 Nighthawk Lane  
Whistler, BC V0N 1B3**

REGISTRATION:

GENERAL NOTES:

NO.	DATE:	ISSUE/REVISION:
1	Nov. 09, 2023	Strata Review
2	January 31, 2024	Schematic 2
3	April 10, 2024	BP application
4	March 13, 2025	BP revisions 1

DESIGNED BY:	BPM
DRAWN BY:	BPM
CHECKED BY:	BPM
PROJECT NO:	A24_01
DATE:	March 13, 2025
SCALE:	1/8" = 1' 0"

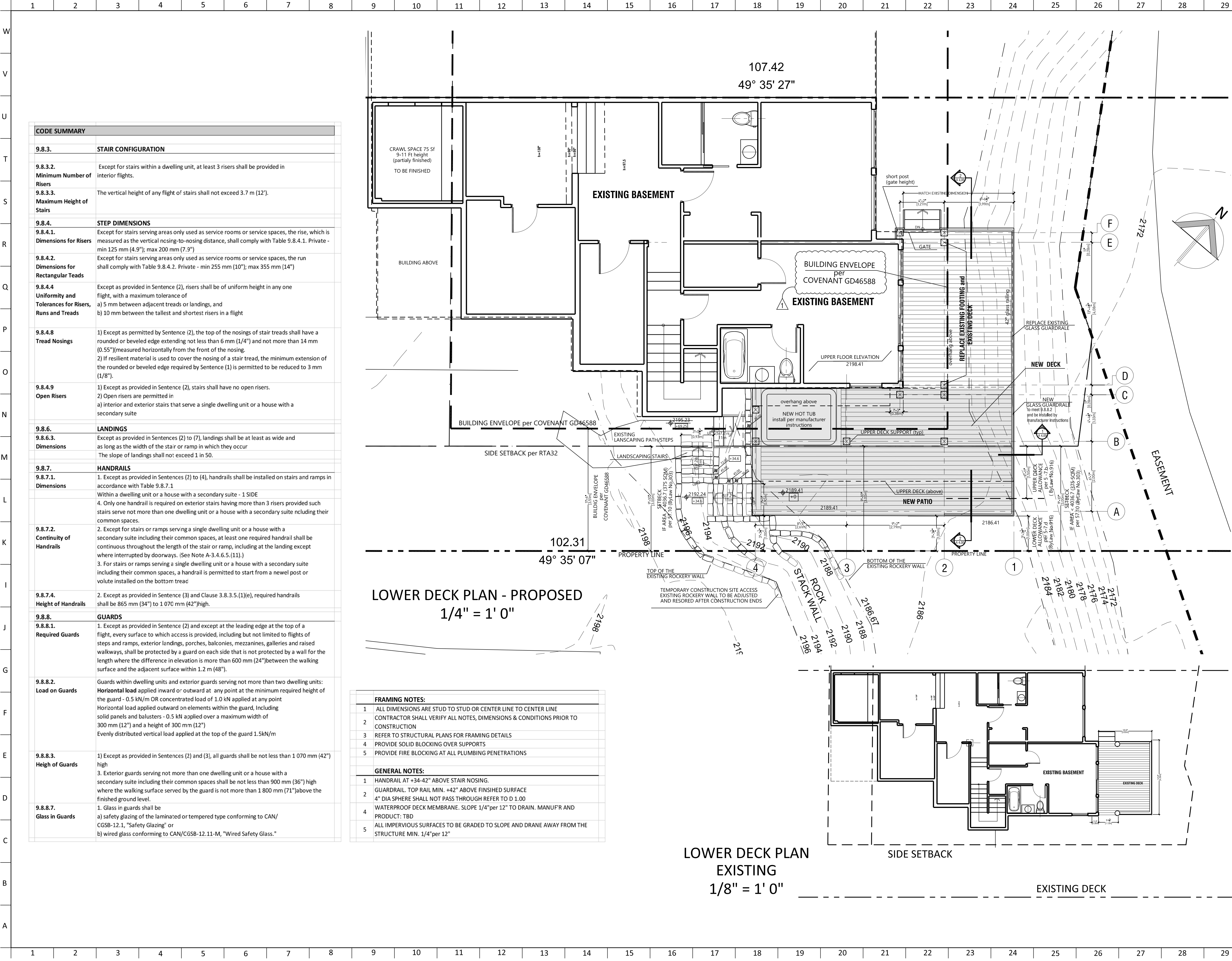
SHEET TITLE:  
**COVENANT MODIFICATION SITE PLAN**

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BUILDING PERMIT

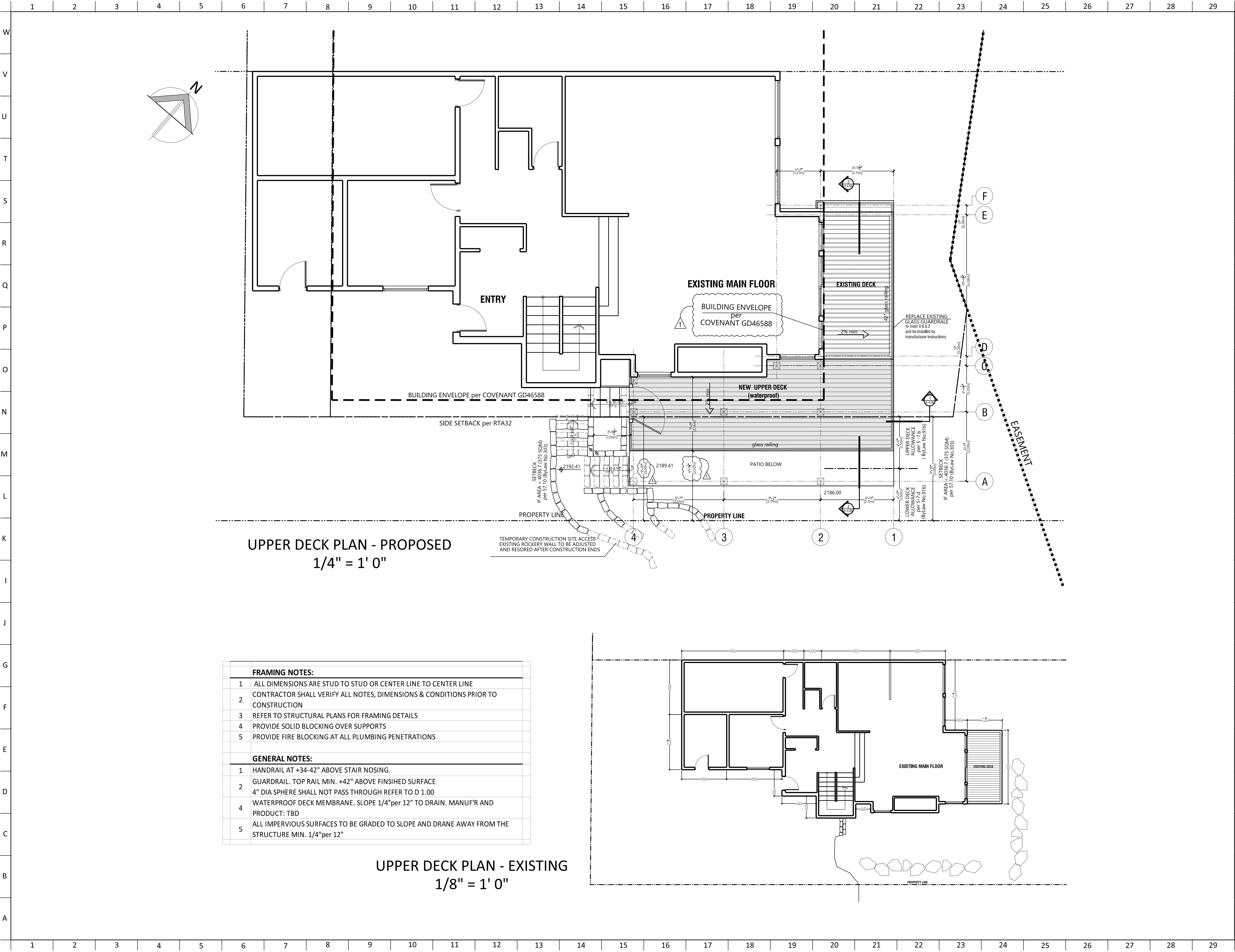
DRAWING NO.  
**A 0.00**





NO.	DATE:	ISSUE/REVISION:
1	Nov. 09, 2023	Strata Review
2	January 31, 2024	Schematic 2
3	April 10, 2024	BP application
4	March 13, 2025	BP revisions 1

DESIGNED BY:	BPM
DRAWN BY:	BPM
CHECKED BY:	BPM
PROJECT NO:	A24_01
DATE:	March 13, 2025
SCALE:	1/4" = 1'0"



PROJECT NAME:  
**NASTIC RESIDENCE  
DECK EXPANSION**

PROJECT ADDRESS:  
**3339 Nighthawk Lane  
Whistler, BC V0N 1B3**

REGISTRATION:

GENERAL NOTES:

NO.	DATE:	ISSUE/REVISION:
1	Nov. 09, 2023	Strata Review
2	January 31, 2024	Schematic 2
3	April 10, 2024	BP application
4	March 13, 2025	BP revisions 1

DESIGNED BY: **BPM**

DRAWN BY: **BPM**

CHECKED BY: **BPM**

PROJECT NO: **A24\_01**

DATE: **March 13, 2025**

SCALE: **1/4" = 1' 0"**

SHEET TITLE:  
**UPPER DECK FLOOR PLAN - PROPOSED  
UPPER DECK FLOOR PLAN - EXISTING**

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**A 2.01**

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135 15th Avenue  
Kirkland, WA 98033  
T • (425) 739.6761  
F • (425) 822.2683

designark@designarkinc.com

PROJECT NAME:

NASTIC RESIDENCE  
DECK EXPANSION

PROJECT ADDRESS:

3339 Nighthawk Lane  
Whistler, BC V0N 1B3

REGISTRATION:

GENERAL NOTES:

REVISIONS:

NO.	DATE:	ISSUE/REVISION:
1	Nov. 09, 2023	Strata Review
2	January 31, 2024	Schematic 2
3	April 10, 2024	BP application
4	March 13, 2025	BP revisions 1

DESIGNED BY:	BPM
DRAWN BY:	BPM
CHECKED BY:	BPM
PROJECT NO:	A24_01
DATE:	March 13, 2025
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SHEET TITLE:

ELEVATIONS

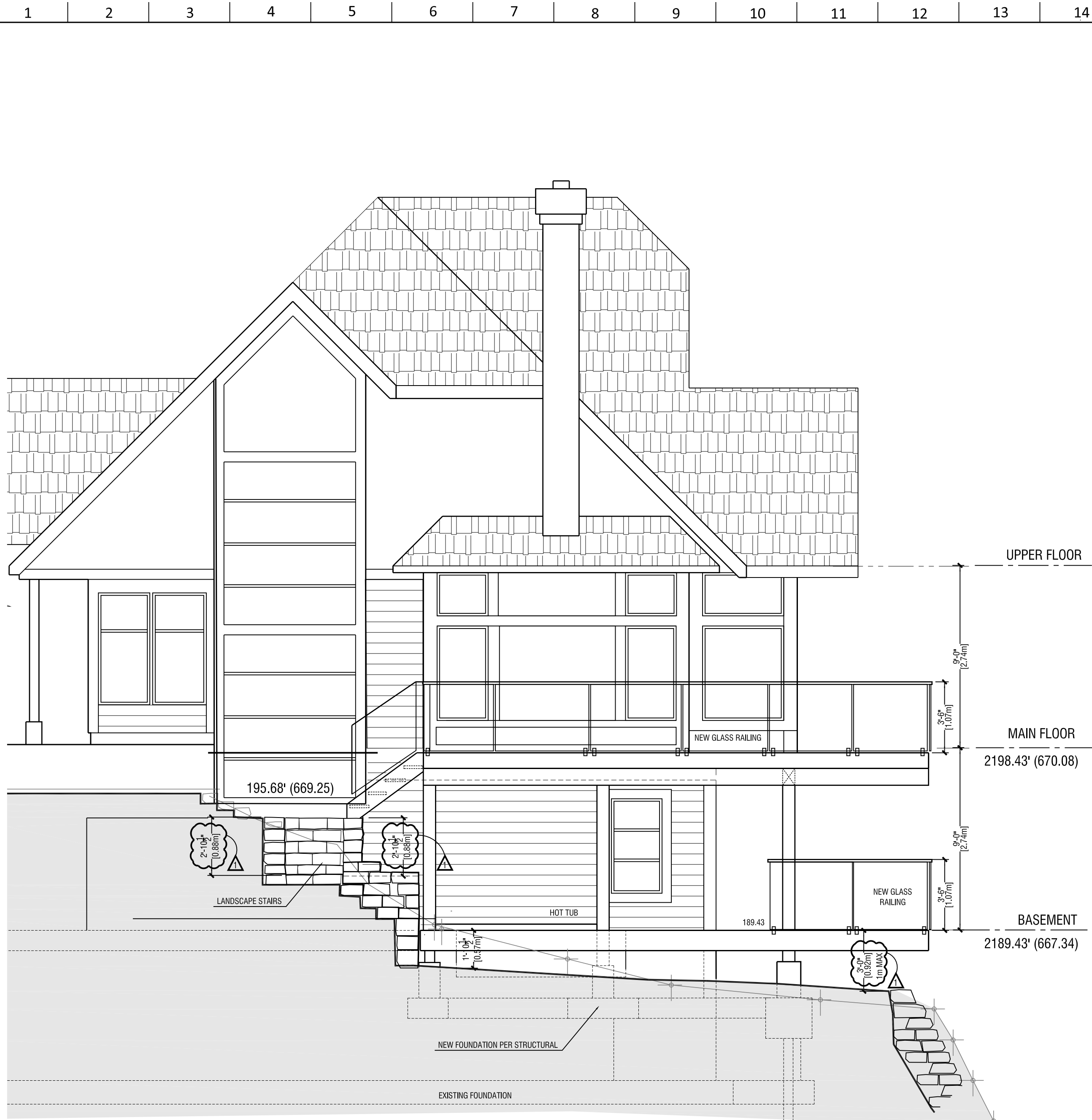
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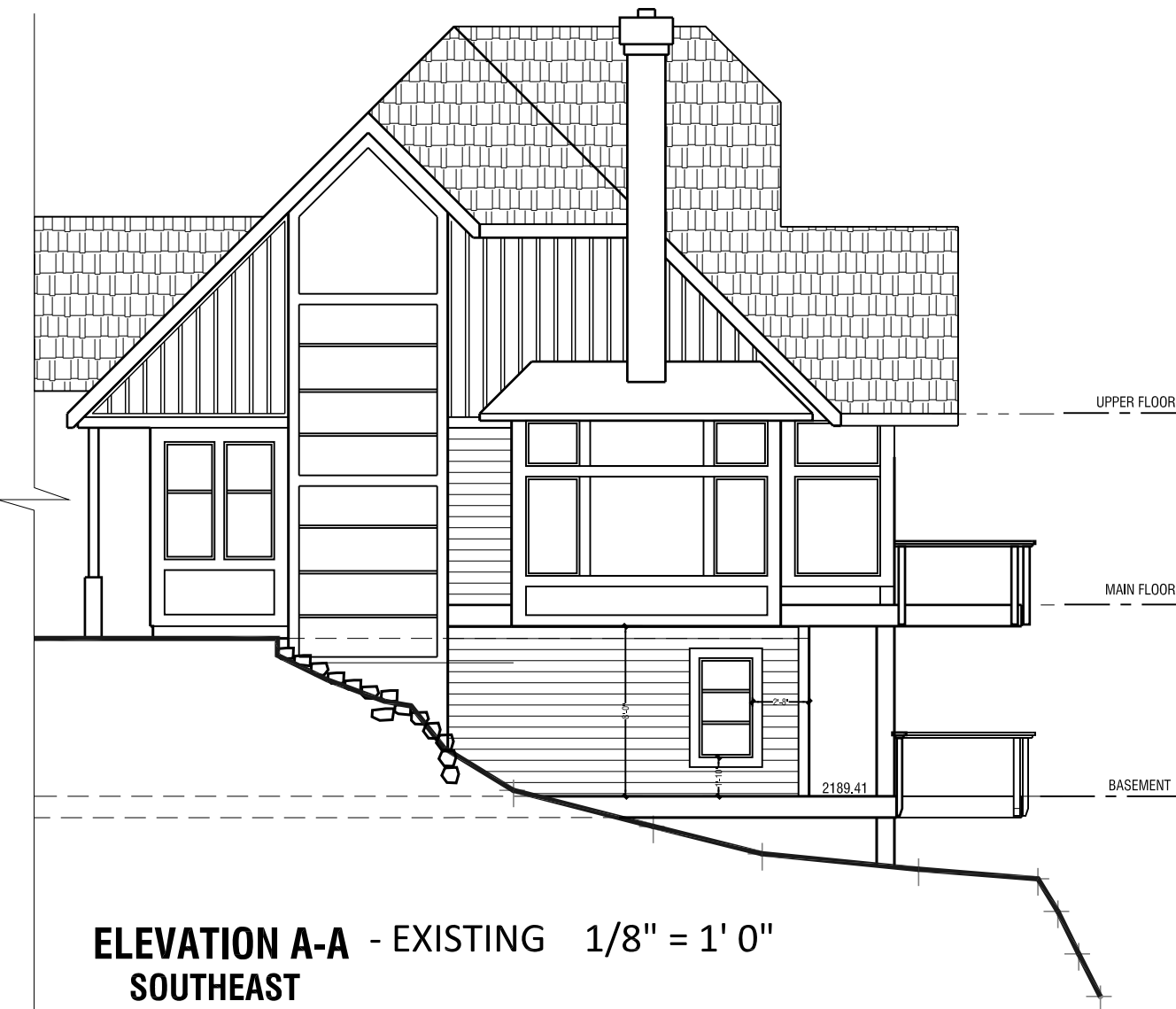
DRAWING NO.

A 3.00

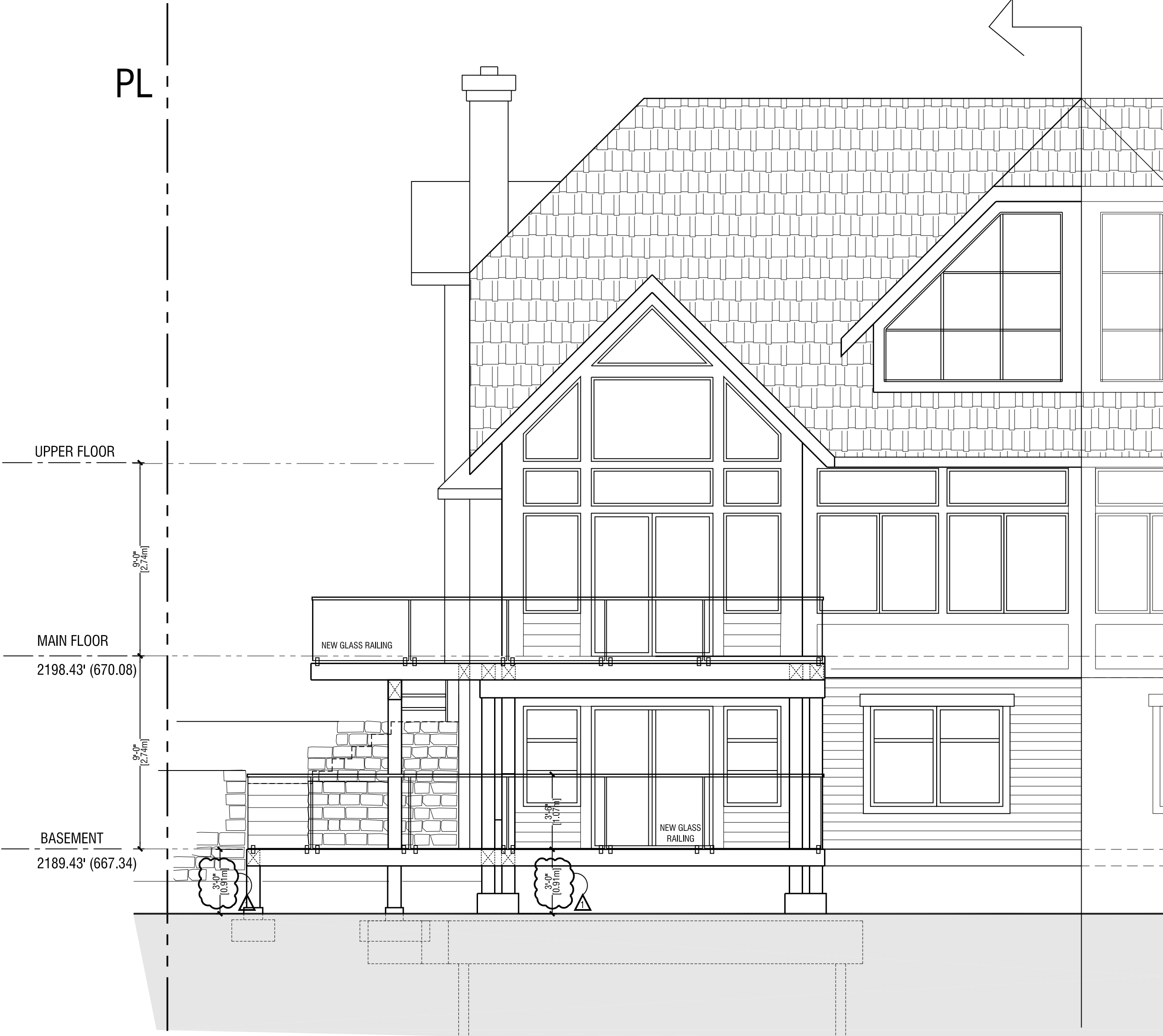
BUILDING  
PERMIT



ELEVATION A-A - PROPOSED 1/4" = 1' 0"  
SOUTHEAST



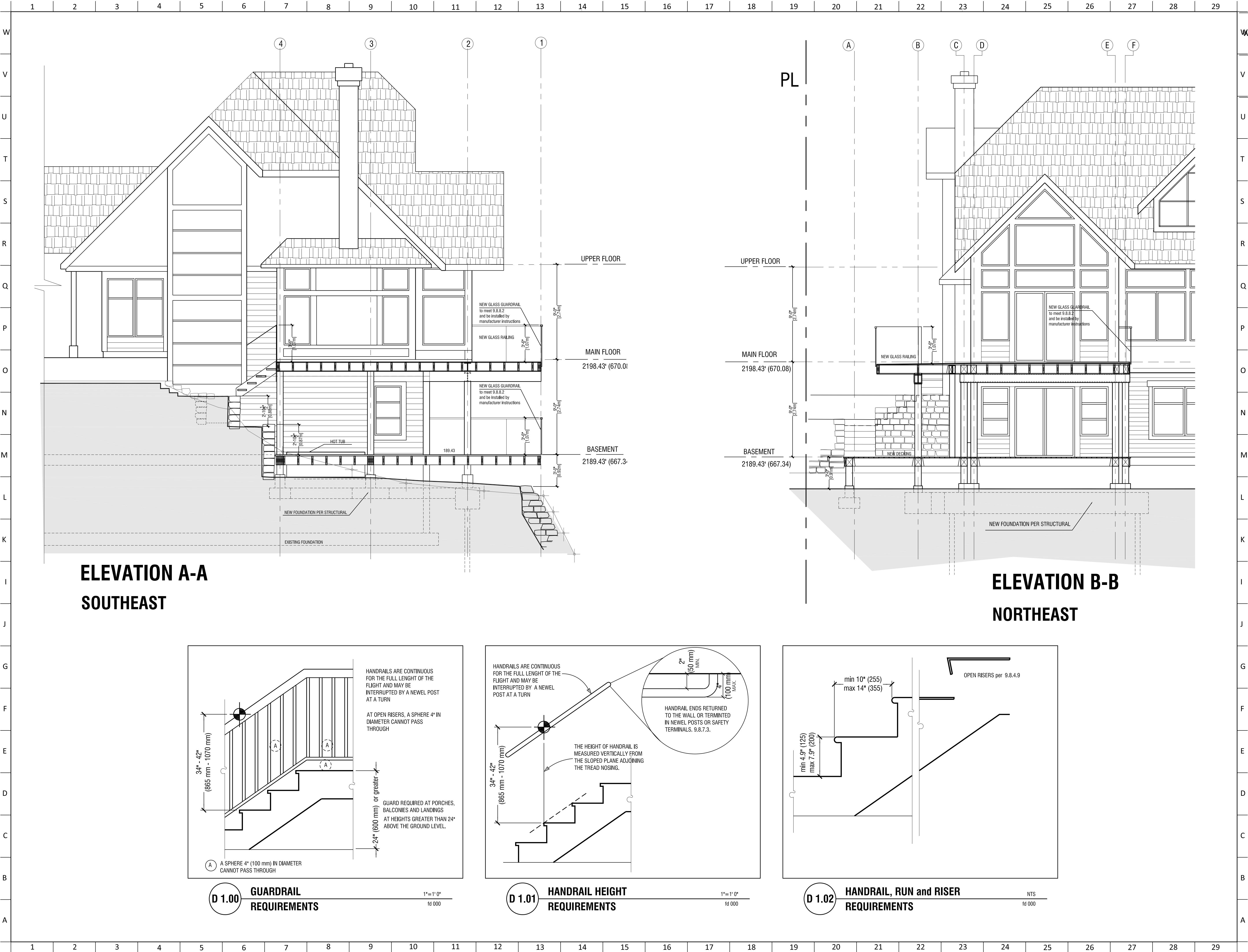
ELEVATION A-A - EXISTING 1/8" = 1' 0"  
SOUTHEAST



ELEVATION B-B - PROPOSED 1/4" = 1' 0"  
NORTHEAST



ELEVATION B-B - EXISTING 1/8" = 1' 0"  
NORTHEAST





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F • (425) 822.2683  
designark@designarkinc.com

PROJECT NAME:  
**NASTIC RESIDENCE  
DECK EXPANSION**

PROJECT ADDRESS:  
**3339 Nighthawk Lane  
Whistler, BC V0N 1B3**

REGISTRATION:

GENERAL  
NOTES:

NO.	DATE:	ISSUE/REVISION:
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4	March 13, 2025	BP revisions 1

DESIGNED BY: BPM  
DRAWN BY: BPM  
CHECKED BY: BPM  
PROJECT NO: A24\_01  
DATE: March 13, 2025  
SCALE: 1/4" = 1'0"

SHEET TITLE:  
**SECTIONS**

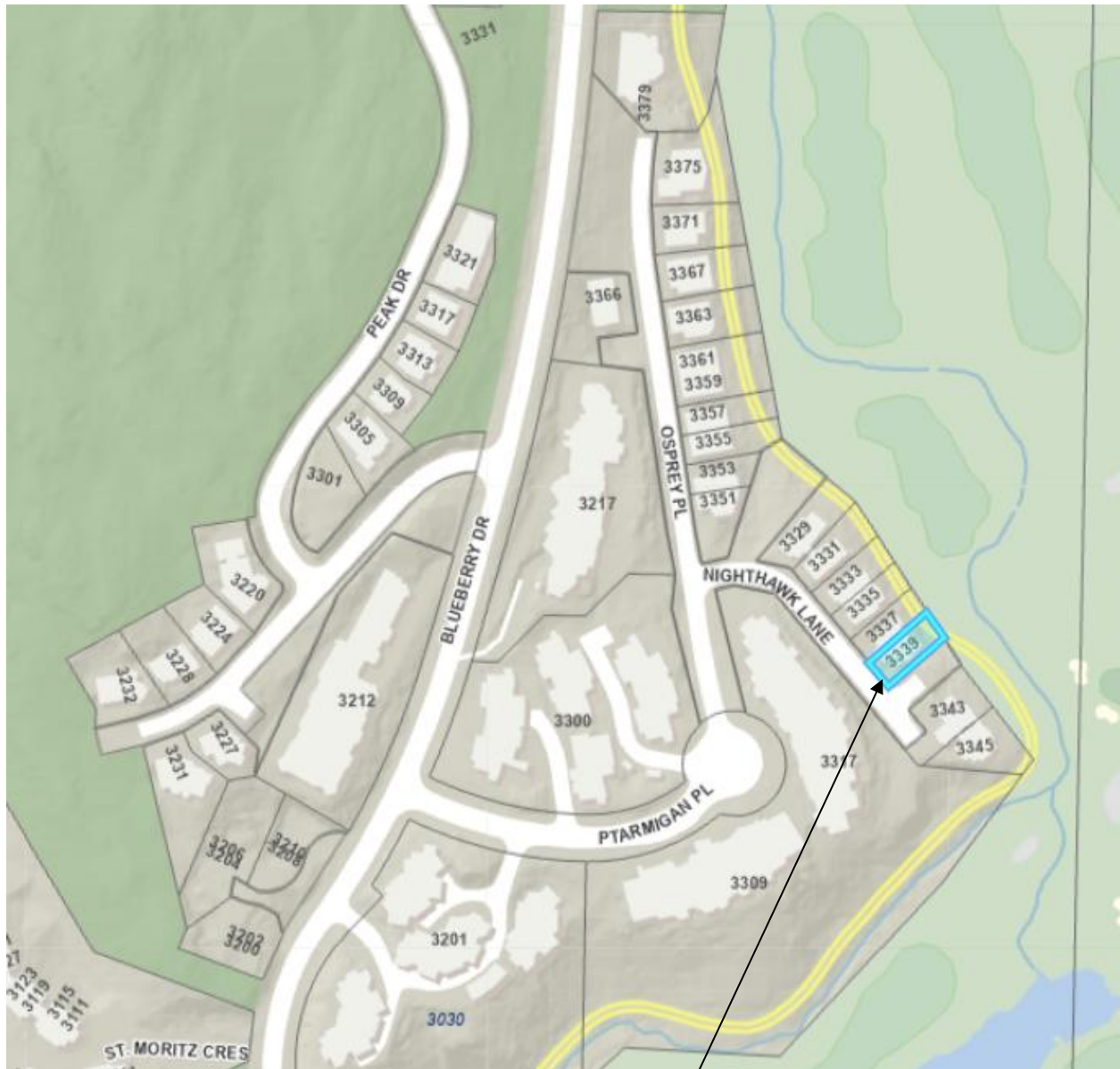
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BUILDING PERMIT

DRAWING NO.  
**A 4.00**



Location Map



Subject property  
3339 Nighthawk Lane

January 29, 2025

**RE: DP002014 - 3339 NIGHTHAWK LANE**

**Nature: COVENANT MODIFICATION**

**Registration Number: GD46588**

**Registration Date and Time: 1990-04-06 10:56**

**Registered Owner: RESORT MUNICIPALITY OF WHISTLER**

**Remarks: INTER ALIA**

**S.215 L.T.A.**

### **ALTERATION REQUEST RATIONAL**

---

#### **SITE IDENTIFICATION**

**Address:** 3339 NIGHTHAWK LANE

**PID:** 017-520-541

**Folio:** 502616.015

**Legal:** PLAN VAS2616 LOT 15 DISTRICT LOT 4751 NEW WESTMINSTER DISTRICT GROUP 1, TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1 OR V, AS APPROPRIATE.

**Zoning Bylaw(s):** RTA32

The existing single-family residence has two decks and a ground floor patio that are objects of this project.



#### **SITE CONFIGURATION**

Lot No.15 is located at the edge of Lot A Plan 17369 D.L. 4751 (Whistler Golf Course) on the north side and abutting the fire truck hammerhead and snow dumping area on the east side. The significant grade difference of 28.48 Ft (8.7m) between the top of the lot (at 2200.36') and the bottom (at 2171.88') has been divided in two steps with the mid-level at average of ~2217.00 elevation. The to the grade stepping and grade difference existing duplex has a daylight basement with the deck over the existing rockery wall to the northeast and an existing patio at the mid-level terrace to the southeast.



## DISCOVERY

As a part of a feasibility study to determine accessibility to the mid-level patio for a hot tub addition, it was determined, the adjacent deck, and partial upper floor supporting footings have been compromised. This is possible due to settlement, most likely caused by inadequate compaction during construction and proximity to the rockery retaining wall. **It was advised to replace/upgrade existing footing within a year to eliminate safety risk caused by potential further settlement and possible collapse.**

## Geotechnical Engineer Site Review

The geotechnical engineer conducted a site reconnaissance on October 13, 2013, and reported that some distress of the existing Sonotube foundation was noted (leaning) and recommend a review by a structural engineer.



Their additional services will be obtained for detailed analyzes to determine the new footing bearing depth and footing type recommendations once the location for test bores is established.

## Structural Engineer Report

Site visit on October 26, 20023

### Existing Footings:

The existing footings under the lower deck are showing signs of settlement and rotation and need to be dealt with in a timely manner to prevent further de-stabilization of the existing structure. They are located too high and too close to the rock stack wall. Only real option here we believe is to demolish the lower deck, temporary support the upper deck and install new footings. Depth of these will need to be coordinated with the geotechnical engineer they will need to be down lower so excavation works will be required. We were able to get into the lower crawl space area when we were onsite after we spoke and the crawl space below the lower level is around 6 or 7 ft deep below that lower deck level.



## PROPOSED ALTERATIONS

Initially the major alteration was not planned. Initially the major alteration was not planned. However, considering the costly effort to make complex foundation replacement and to bring the necessary equipment to the mid-level it was decided to use this opportunity and expand the mid-level patio to accommodate hot tub, as well as to expand the upper deck.

**This was also an opportunity to add an egress path from the main floor by extending the upper deck to provide ground access the house doesn't have right now. Currently the main floor and living room have only one egress path. Having the house over 17' deep bluff makes it very inaccessible in emergency situations. It is even worse for the top floor.**

**The proposed deck and patio expansions meet all RTA32 zoning requirements. Furthermore, the proposed work will not affect the adjacent duplex unit in any way as it does not affect the roof line.**



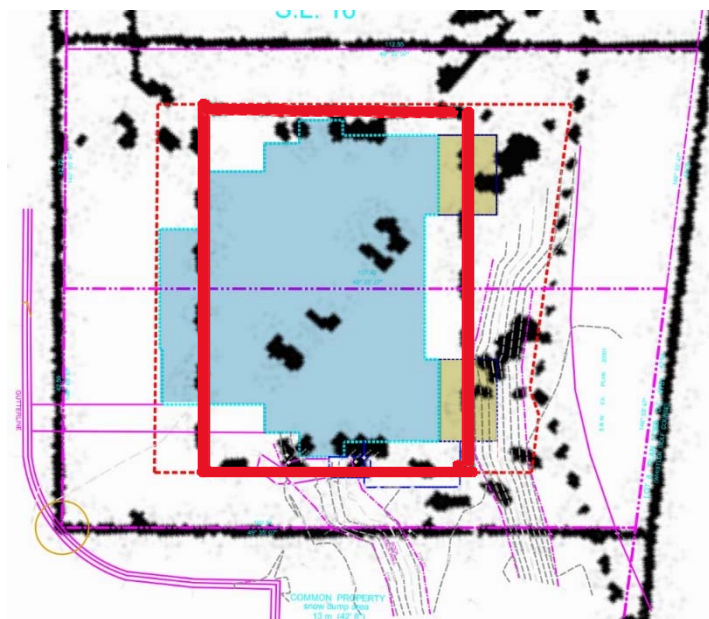
Decks to be rebuilt





The blue arrow shows the footing location. The red arrow shows the future tub location.

**Applicant is looking to modify Covenant GD46588 language in Section C.1. “No building or structures may be constructed on the Lands other than in the building envelope shown on the attached Schedule ‘A’” to allow development beyond the building envelope on the side and the back of the building which is shown in plans submitted for DP002014 and BP006234. The building envelope precisely overlays the current Zoning and Parking Bylaw 303, 2015 setbacks.**



Zoning allows encroachment into setbacks under certain conditions. They are listed in the project site plan (attached here). With that said, those encroachments are outside of the building envelope defined by the covenant GD46588. The encroachment is marked in the site plan drawing in blue.

The patio and deck expansion meet the current zoning code, the adjacent property line is between the lot and the snow dumping area that will never be developed, the expansion provides the secondary emergency egress route from the main floor which is now non-existent, and the project has STRATA approval.

Thank you for your time and consideration.



## RE: Blueberry Links: 3339 alteration request

**From** Amie Comerford [REDACTED]  
**Date** Tue 2025-04-08 4:40 PM  
**To** nick nastic [REDACTED]

1 attachment (130 KB)  
 AGM Mins 2019-03-05 VR 2616.pdf;

Hi Nic

Council have approved under the one condition I am not sure if you are aware off, please see that attached AGM minutes from 2019 about the rules of using Common Property for access to your Strata Lot

WRM holds as deposit for the Strata unit the work is complete, and the Council are satisfied that there was no damaged caused to Common Property.

If you agree to having WRM old a deposit, I have been given the approval to sign the Authorization form

Mike Shove, who is on council, said to also feel free to give him a call [REDACTED] if you have any questions

Thank you

**Amie Comerford**  
 Strata Agent, WRM Strata Management & Real Estate Services Ltd.  
 Direct: [REDACTED]  
 Whistler | Squamish | Penticton

**From:** nick nastic [REDACTED]  
**Sent:** March 27, 2025 6:18 PM  
**To:** Amie Comerford [REDACTED]; Hayley Cain - WRM Strata Management [REDACTED]  
**Subject:** Fw: Blueberry Links: 3339 alteration request

Hi Amie,

I would like to provide an update on my permitting process for the alteration of 3339 Nighthawk Ln - VR2616. As you can see from the attached email chain, I contacted Strata over a year ago requesting Strata alteration approval. The Strata Council reviewed and approved my request.

I won't go into all the details of what I had to do to get the permit, but I can provide them if the Strata Council requests it. Obtaining the permit for my alteration was costly and unbelievably complicated, but it's almost done. Here are a few outstanding things where I need Strata Council help/approval:

- 1) Attached is the RMOW - Strata Authorization Form that needs to be completed. Could you please complete the attached form and send it back to me?
- 2) I would like to get approval/acknowledgment from the Strata Council that I will need to use common Strata property, as indicated in the attached document (see "Access arrow") , to access my property, including deploying some heavy equipment (mini excavator, etc.) using this access. This is absolutely necessary as it is the only way to bring the required equipment to my property. As part of enabling this access, we would need to temporarily alter the retaining wall (as indicated in the attached document - Common Property Access.pdf ) so that the equipment can be brought to the appropriate level.

Please ask the Strata Council to review and approve my request as soon as possible. I need to submit all my documents to the Council meeting of the Resort Municipality of Whistler, and I need this approval by April 11th, 2025.

Thanks very much for your help. I have attached updated site plan for my alterations.

Sincerely,  
Nick Nastic  
Owner of 3339 Nighthawk Ln

---

**From:** Hayley Nirenberg  
**Sent:** Tuesday, February 06, 2024 7:21 PM  
**To:** nick nastic  
**Subject:** RE: Blueberry Links: 3339 alteration request

Hi Nick,

I have reached out to your strata council again and they have now approved this alteration request.

As the owner you are responsible for determining what permits you will need and applying for them.

Kind regards,

**Hayley Nirenberg**

**Strata Agent** WRM Strata Management & Real Estate Services Ltd.

direct: [REDACTED]

after hours emergencies (fire, flood): [REDACTED]

w: [www.wrm.ca](http://www.wrm.ca) e: [REDACTED]

p: **Whistler:** 604-932-2972 a: **Whistler:** 202-1410 Alpha Lake Rd, Whistler BC V8E 0J3

p: **Squamish:** 604-567-9000 a: **Squamish:** 1-38003 Second Ave, Squamish BC (mail to PO Box 17, Squamish BC V8B 0A1)

---

**From:** nick nastic [REDACTED]  
**Sent:** Tuesday, February 6, 2024 12:03 PM  
**To:** Hayley Nirenberg [REDACTED]  
**Subject:** Re: Blueberry Links: 3339 alteration request

Hi Hayley,

Do you have an update for me regarding strata approval?

# Money Sent

 Print



All done

Here are the transfer details for your records.

Confirmation #

[REDACTED]

## Interac e-Transfer Details

From	Chequing
To	wrm accounting
Notify Recipient By	[REDACTED]
Amount	[REDACTED]
New account balance	
Security Question	[REDACTED]
Date and Time	April 10, 2025 at 3:40 PM ET
Expires	May 10, 2025 at 3:40 PM ET
Message	Deposit for the usage of the common strata property while doing renovation of 3339 Nighthawk Ln

## STAFF REPORT TO COUNCIL

**PRESENTED:** April 29, 2025  
**FROM:** Infrastructure Services  
**SUBJECT:** WASTEWATER TREATMENT PLANT PRIMARY TREATMENT BUILDING ROOF REPLACEMENT – CONTRACT AWARD

**REPORT:** 25-027  
**FILE:** 5600-E409-08

### RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

**That** the recommendation of the General Manager of Infrastructure Services be endorsed.

### RECOMMENDATION(S)

**That** Council award the contract for the Wastewater Treatment Plant Primary Treatment Building Roof Replacement Project in the amount of \$746,326.00 (exclusive of GST) to Langley Roofing Co. Ltd. in accordance the tender recommendation letter, attached as Appendix A to Administrative Report No. 25-027.

### PURPOSE OF REPORT

The purpose of this report is to inform Council of the status of the Wastewater Treatment Plant (WWTP) Primary Treatment Building Roof Replacement Project (WWTP Project) and procurement process and to request approval to proceed with the contract award for the construction work to implement the WWTP Project in the amount of \$746,326.00 (exclusive of GST).

☐ Information Report ☒ Administrative Report (Decision or Direction)

### DISCUSSION

#### Background

The primary treatment building (PT Building), located at 1135 Cheakamus Lake Road within the WWTP property, supports the initial stage of wastewater treatment. It houses essential infrastructure including sedimentation tanks, screening systems, influent pumps, and motor control centers. The PT Building is approximately 6,000 square metres and was constructed in 1986. It has undergone several upgrades, with two major ones taking place in 1989 and 1998. The 1989 upgrade included the addition of electrical and mechanical spaces, as well as the screening area. The 1998 upgrade added Primary Sedimentation Tanks 3 and 4, along with a few other mechanical rooms.

In April 2022, following staff concerns about leaks in the PT Building, RJC Engineers was retained to inspect the roofing system. Their report assessed the roof's current condition, identified issues and defects, and provided recommendations for future improvements. This inspection formed the basis for



APRIL 29, 2025

the Request for Proposals (RFP) for the design and contract administration of the WWTP Project. In March 2024, staff began working with WSP Canada (WSP) on the design and tender package for the roof replacement. The PT Building roof consists of five roof areas, with repairs planned for four of them under this contract. Work on Roof Area five, which consists of large and small precast concrete slabs with joint sealer, will be managed separately, as this type of repair is not typically completed by roofing contractors.

The existing roofs in Areas 1 to 4 vary in construction and materials, but all are nearing the end of their service life and require replacement to protect the PT Building and its equipment. A new roofing system will be installed using a two-ply SBS (Styrene-Butadiene-Styrene) membrane. SBS is a type of rubber-modified asphalt material commonly used in flat roof systems. It is durable, flexible, and performs well in cold weather — making it suitable for local climate conditions.

The Table 1 below outlines the planned roof replacement work for four areas of the PT Building. Each area has a different existing roof assembly, and all will be upgraded with the new 2-ply SBS membrane roofing system, along with insulation and drainage improvements. These upgrades will help protect the PT Building's infrastructure, improve durability, and extend the life of the roof. The expected service life of the new roof assemblies is 20 to 30 years.

Table 1 – Scope of Work

Roof Area	Existing Roof Assembly	Replacement Roof Assembly
1	Exposed two-ply SBS roof membrane, insulation and vapour barrier	New two-ply SBS roof membrane, insulation overboard, insulation and vapour barrier
2	Exposed gravel cover, filter cloth, two-ply roof SBS membrane	New two-ply SBS roof membrane, insulation overboard, insulation and vapour barrier
3	Concrete pavers, filter cloth, two layers of extruded polystyrene insulation, two-ply SBS roof membrane	Re-use existing concrete pavers with new drain mat, insulation, and two-ply SBS roof membrane
4	Exposed concrete	New concrete pavers with new drain mat, insulation, and two-ply SBS roof membrane

Note that, except for Roof Area four, the existing roof assemblies are being removed and replaced. In Roof Area four, the new roof assembly is being placed on top of the exposed concrete.

#### **Additional Work:**

- Roof Area Two – Remove and replace seven skylights.
- Roof Area Three – Install metal cladding on the surrounding concrete block wall.
- Roof Area Four – Remove the existing metal wall cladding on the adjacent wall to allow for the installation of wall flashing and roofing materials to preventing leaks. The wall cladding will then be reinstalled.

APRIL 29, 2025

**Project Schedule:**

The WWTP Project is scheduled to commence in late May 2025 and is expected to be substantially completed by September 30, 2025. Building and Development Permit applications are underway, and no concerns have been identified by either department at this time.

**Analysis****TENDER RESULTS**

The Invitation to Tender for the WWTP Project was publicly advertised on the BC Bid website and the Resort Municipality of Whistler (RMOW) website bid opportunity page from March 6, 2025, to March 27, 2025. A pre-tender site meeting was held on October 9, 2024, to allow contractors to view the roof under good weather conditions, as the tender period was anticipated to extend through the winter months.

The procurement process resulted in four tender submissions; however, two were deemed non-compliant as they were received after the 2:00 p.m. deadline. The tender closing date and time—March 27, 2025, at or before 2:00 p.m.—was specified in Section 00 20 00, Instruction to Bidders, Clause 1.2: Call for Tenders.

Staff recommend awarding the contract to the lowest compliant bidder, Langley Roofing Co. Ltd.

Table 2 – Tender Submissions summarizes the results from all four bidders. Only the two compliant tenders were evaluated; the remaining two are included for information purposes only.

Table 2 – Tenderer's Submissions

TENDERER		TOTAL PRICE (EXCLUDING GST)	VARIANCE TO ENGINEERS ESTIMATE (%)
1	Langley Roofing Co. Ltd.	\$746,326	-7
2	Bollman Roofing & Sheet Metal Ltd.	\$1,209,030	51
	Engineer's Estimate (WSP Canada)	\$799,800	
<i>For Information</i>	Cascade Roofing & Exteriors Inc.	\$667,031	
<i>For Information</i>	Olympic Roofing Ltd.	\$975,000	

APRIL 29, 2025

## POLICY CONSIDERATIONS

*Council Policy F-29: Procurement Policy and Administrative Procedure D-1: Procurement* requires Council approval for any contracts over the value of \$500,000.

### **2023-2026 Strategic Plan**

The 2023-2026 Strategic Plan outlines the high-level direction of the RMOW to help shape community progress during this term of Council. The Strategic Plan contains four priority areas with various associated initiatives that support them. This section identifies how this report links to the Strategic Plan.

#### **Strategic Priorities**

☐ Housing

*Expedite the delivery of and longer-term planning for employee housing.*

☐ Climate Action

*Mobilize municipal resources toward the implementation of the Big Moves Climate Action Plan*

☐ Community Engagement

*Strive to connect locals to each other and to the RMOW.*

☐ Smart Tourism

*Preserve and protect Whistler's unique culture, natural assets, and infrastructure.*

☒ Not Applicable

*Aligns with core municipal work that falls outside the strategic priorities but improves, maintains, updates and/or protects existing and essential community infrastructure or programs*

This project will help extend the useful life of important municipal infrastructure.

### **Community Vision and Official Community Plan**

The Official Community Plan (OCP) is the RMOW's most important guiding document that sets the community vision and long-term community direction. This section identifies how this report applies to the OCP.

#### **Goals, Objectives, and Policies**

Replacement of aging infrastructure at the Wastewater Treatment Plant supports the following goals, objectives, and policies:

**10.3. Goal** Substantially reduce GHG emissions from buildings and infrastructure.

**10.3.1. Objective** Make energy conservation and energy efficiency initiatives the core strategy and highest priority for achieving our GHG emission reduction goals.

**10.3.1.4. Policy** Incorporate leading levels of energy efficiency into all new capital projects, expansions and retrofits related to civic buildings and infrastructure.

APRIL 29, 2025

**12.2. Goal** Whistler's sewer systems meet all applicable standards and are maintained in a manner that is cost-effective, ensures reliability and minimizes or eliminates environmental impacts.

**12.2.1. Objective** Maintain and develop sewer systems to service planned development in a manner that is compatible with environmental sensitivities of Whistler's natural areas, meets regulatory obligations and sets standards consistent with Whistler's move toward sustainability.

**12.2.1.2. Policy** Maintain at least tertiary-level wastewater treatment facilities and a sewage collection system to serve existing and planned development within the sewer system service area with a sewage treatment facility at the location shown in Schedule I.

**12.2.1.3. Policy** Follow the implementation plan set out in the municipality's liquid waste management plan.

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## BUDGET CONSIDERATIONS

The budget for the WWTP Primary Building Roof Replacement Project draws on project code E409-08 WWTP Building Upgrades – Primary Building. The budget is shown below in Table 3 – Total Project Budget.

Table 3 – Total Project Budget

BUDGET CODE NUMBER & NAME	2025 BUDGET
E409-08 WWTP Building Upgrades – Primary Building	\$1,500,000

## TOTAL 2025 PROJECT COST OVERVIEW

Shown below in Table 4 is a summary of the estimated total project cost for the procurement, construction, contract administration, and inspection in 2025. The construction, contract administration, and inspection are within the proposed budget for 2025.

Table 4 – 2025 Project Cost and Total Project Budget

BUDGET CODE NUMBER AND NAME	2025 CONSTRUCTION COST – LANGLEY ROOFNG CO. LTD	2025 CONTRACT ADMINISTRATION AND INSPECTION REVIEW COSTS (WSP CANADA)	TOTAL 2025 PROJECT COST (TENDER PLUS CA AND INSPECTION)	TOTAL 2025 BUDGET
E409-08 WWTP Building Upgrades – Primary Building	\$745,326	\$72,270	\$817,596	\$1,500,000

APRIL 29, 2025

## LÍŁWAT NATION & SQUAMISH NATION CONSIDERATIONS

The RMOW is committed to working with the LÍŁwat People, known in their language as *L'il'wat7úl* and the Squamish People, known in their language as the *Skwxwú7mesh Úxwumixw* to: create an enduring relationship; establish collaborative processes for Crown land planning; achieve mutual objectives; and enable participation in Whistler's resort economy.

There are no specific considerations to include in this report.

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## COMMUNITY ENGAGEMENT

Level of community engagement commitment for this project:

☒ Inform    ☐ Consult    ☐ Involve    ☐ Collaborate    ☐ Empower

Comment(s):

The WWTP Project does not impact the public. The project team will actively engage with the WWTP Operations team to reduce impacts to the WWTP processes.

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## REFERENCES

Appendix A – Tender Award Recommendation

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## SUMMARY

Staff recommend Council award the contract for the Wastewater Treatment Plant Primary Treatment Building Roof Replacement Project in the amount of \$745,326.00 (exclusive of GST) to Langley Roof Co. Ltd. The WWTP Project includes the removal and replacement of the Primary Building Roof in four areas, along with additional works. The WWTP Project is an important upgrade for the WWTP as the building houses and protects multiple pieces of equipment that are vital to the operation of the WWTP.

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## SIGN-OFFS

### Written by:

Michelle Blattner,  
Supervisor - Infrastructure Projects

### Reviewed by:

Chelsey Roberts.  
Manager of Infrastructure Projects

James Hallisey.  
General Manager of Infrastructure Services

Virginia Cullen,  
Chief Administrative Officer

April 7, 2025

The Resort Municipality of Whistler  
4325 Blackcomb Way  
Whistler, BC V8E 0X5

**Attention: Chelsey Roberts and Michelle Blattner**

**Subject: E409-08 Wastewater Treatment Plant Primary Building  
Roof Replacement Tender Award Recommendation**

We completed our review of the competitive bid process for the above referenced project which closed on Thursday March 27, 2025, at 2:00 P.M. Based on the submitted bids, we report on the results as follows:

## SUMMARY OF BIDS

RMOW has received four (4) bids for the Primary Building Roof Repair project. Two (2) bids were received prior to the 2:00 PM deadline as stipulated by the Tender documents. Two (2) bids were non-compliant because they were received after the 2:00 PM deadline, as listed in Specification Section 00 20 00, Instruction to Bidders 1.2, Call for Tenders, which identified the tender closing date as March 27, 2025, on or before 2:00 PM. The two (2) non-compliant bids will not be accepted and are not addressed further in this report.

Langley Roofing Co. Ltd. and Bollman Roofing submitted their bids on time and are addressed below.

## BASE BID

The Base Bid for this project includes the following scope of work items:

- Bonding / Insurance
- Roof Replacement
- Provisional Items

Our table showing a breakdown of the results is attached. The Contractors' Base Bids and comparison Class A Estimate are summarized as follows:

RANK	CONTRACTOR	BASE BID (TAXES EXCLUDED)	ESTIMATED START DATE	ESTIMATED DURATION
1	Langley Roofing Co. Ltd.	\$746,326.00	June 2, 2025	17 .5 weeks
2	Bollman Roofing & Sheet Metal Ltd.	\$1,292,800.00 (as noted on the bid form)	-	- weeks
3	Cost Opinion: Class A Estimate	\$799,800.00	-	-

Langley Roofing was the low bidder with an anticipated start date of June 2, 2025, and completion by September 29, 2025, resulting in an approximately 17 ½ week schedule. Bollman Roofing actual bid equals \$1,209,030 and did not provide a schedule or the “estimated number of weeks” to complete the work.

## OPTIONAL WORK

Based on Tender documents, a Separate Price included the following Optional Item, in addition to the base scope of work, for your consideration:

### SEPARATE PRICE ITEM 1 – FIRE RATED CAP SHEET OVER ROOF AREAS 1 AND 2

Separate Price Item 1 includes the installation of a fire-rated cap sheet over Roof Area 1 and 2. Due to the location of the facility with surrounding forest, a fire-rated cap ply would provide better fire-resistant coverage in the event of a forest fire. It is our understanding Whistler Fire Service does have a hall near the Wastewater Treatment Plant.

Pricing for this Optional Item by Langley Roofing Co. Ltd. is high for the scope of work required. This item was included in the total cost. Not including this item, the contract total would decrease by \$10,269.00

Based on our review, we recommend not including Separate Price Item 1 in the Contract.

## EVALUATION

RMOW received two (2) compliant bids. Langley Roofing Co. Ltd.'s bid of \$746,326.00 is below the Class "A" Estimate of \$799,800.00. Bollman Roofing bid is considered high. WSP found an error in Bollman Roofing's bid price. The Base Items and Provisional Items (bid) were added together for a total of \$1,209,030, which is \$83,770.00 below their listed bid.

Based on our experience, we find the pricing for this project by Langley Roofing Co. Ltd. to be fair and competitive for the scope of work specified.

Langley Roofing Co. Ltd.'s bid price is \$462,704.00 lower than the second low bidder. Langley Roofing Co. Ltd. pricing is low for Provisional Items with the exception of Separate Price 1. Langley Roofing Co. Ltd.'s schedule is also in line with the required Specification Section 00 40 00 Form of Tender 2.2, identifying Substantial Performance of the Work on or before September 30, 2025. Contractors are providing bonding from a licensed Surety company.

## RECOMMENDATION

On the basis of the low bid, we recommend the contract be awarded to Langley Roofing Co. Ltd.. Please note, the tender results are valid for 60 days (until May 26, 2025). If the contract is not awarded by this date, the contractor is no longer obligated to honour the submitted pricing.

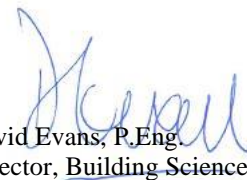
We expect the Contractor's quotation to reflect current costs for labour and materials, based on the tariff and duty structures in effect at the time of bidding. Due to market volatility, if there is any significant increase in these costs, the Contractor may request additional compensation.

Should you have any questions, please do not hesitate to contact our office.

Yours sincerely,



Tim Stubbins  
Senior Project Manager



David Evans, P.Eng.  
Director, Building Science BC



WSP Scope of Services during Construction  
Authorization for Services

Dist: Chelsey Roberts, ASCT: [croberts@whistler.ca](mailto:croberts@whistler.ca)  
Michelle Blattner: [mblattner@whistler.ca](mailto:mblattner@whistler.ca)

WSP Ref.: CA0026842.0166.



## STAFF REPORT TO COUNCIL

**PRESENTED:** April 29, 2025  
**FROM:** Resort Operations  
**SUBJECT:** ELECTRIC ASSIST PUBLIC E-BIKE SHARE PROGRAM CONTRACT RENEWAL

**REPORT:** 25-028  
**FILE:** 6030-20

### RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

**That** the recommendation of the General Manager of Climate Action, Planning, and Development Services be endorsed.

### RECOMMENDATION

**That** Council approve a two-year extension to the electric assist bike share program (E-Bike Share) agreement with B.C.A.A. Holdings Ltd., the successful proponent in the 2023 Whistler Public Electric Assist Bike Share Program Request for Proposal and as permitted under the current agreement.

### PURPOSE OF REPORT

The purpose of this report is to request Council's approval to provide a two-year extension to the electric assist bike share program (E-Bike Share) agreement (Agreement), with B.C.A.A. Holdings Ltd (BCAA) as allowed under the Agreement. The 2023 Whistler Public Electric Assist Bike Share Program Request for Proposal (RFP) included the option to extend the length of the Agreement for a further two years, if the proponent favourably met the conditions of the Agreement.

☐ Information Report ☒ Administrative Report (Decision or Direction)

### DISCUSSION

#### Background

In the summer of 2022, the RMOW allowed for a public e-bike share demonstration program for the purpose of procuring data to inform a future RFP and implementation of a community E-Bike Share program. The purpose of this program was to create greater opportunities for active transportation within Whistler. The objective was to maximise trips ranging from short local trips to purposeful destination trips and aid the Resort Municipality of Whistler (RMOW) in reaching our greenhouse gas (GHG) emissions reduction goals. There was no desire to create a new business model in competition with existing tourism-focused e-bike rental providers.

In the fall of 2022 results of the demonstration program were taken to Council, who approved the request to post an RFP for the implementation of the E-Bike Share Program.

In January 2023 the Whistler Public Electric Assist Bike Share Program RFP was posted with BCAA the successful proponent to provide the services in support of an E-Bike Share Program. The RMOW and BCAA entered into the E-Bike Share Agreement with a term of two years and the potential to renew for a further two years on May 25, 2023.

In May of 2023 BCAA began operations of the E-Bike Share Program with a fleet of 55 bikes stationed at nine locations around the RMOW. The Program operated late May through October 2023.

In 2024, the E-Bike Share Program parking zones expanded to several private property locations such as the Whistler Blackcomb Base Two staff housing, Brio staff housing, Nesters Market, and the Independent Grocery store in the Rainbow subdivision. Location choices such as these continue to further encourage short duration origin and destination commuter style trips. The fleet size was further expanded to 95 bikes to accommodate expanded parking zones and increased uptake in the E-Bike Share Program.

In addition to geo-fencing the Village Stroll and other high congestion areas, in 2024 BCAA added further geo-fencing, including all non-paved surfaces around, in and through Lost Lake Park. This allowed for trips to and from Lost Lake Park but not touring throughout Lost Lake itself. Geofencing is a process whereby the use of GPS or RFID technology creates a virtual geographic boundary, enabling software to disable the use of the e-bike by terminating the electric motor and increasing drag on the pedals when a bike enters or leaves a particular area.

### **Analysis**

Data provided to the RMOW by BCAA showed strong ridership and growth of the E-Bike Share program over the initial two-years. Data further supports high resident use for commuter style one-way trips, as well as other general use of the e-bikes.

BCAA provided data of note:

- Trips originating and terminating at staff housing locations made up 10 per cent of all trips in 2024.
- Median trip durations of 23 minutes and median trip distance of 4.1km.
- 44 per cent of trip duration under 20 minutes and 35 per cent of trip duration 20-60 min, differentiating the product from existing commercial operations.
- 77 per cent of trips were one-way trips, distinct origin to separate destination with no return trip.
- Top reasons for use as per user survey: get to amenity, park or recreational destination and to get to Whistler Village.

Most notably 39 per cent of users indicated that they would have used a vehicle for their trip if the E-Bike Share Program was not available. This resulted in 73,518 km of travel by shared e-bike in 2024 alone. This is strong evidence of the E-Bike Share Program supporting Big Moves goal “moving beyond the car”.

BCAA has met and exceeded all the terms and conditions of the Agreement and has adequately supported the community and its Big Moves goals of moving beyond the car and expanding opportunities for active transportation.

## POLICY CONSIDERATIONS

### **Relevant Council Authority/Previous Decisions**

Whistler Climate Action Implementation Plan; Big Moves #1 – “Move Beyond the Car”: “By 2030, 50% of all trips in Whistler are by transit and active transportation” [https://www.whistler.ca/wp-content/uploads/2022/12/2022\\_big\\_moves\\_caip.pdf](https://www.whistler.ca/wp-content/uploads/2022/12/2022_big_moves_caip.pdf)

[RMOW Report to Council](#) : Administrative Report No. 22-098; July 5, 2022 – E-BIKE SHARE DEMONSTRATION PROGRAM

[RMOW Report to Council](#) : Administrative Report No. 23-002; January 10, 2023 - E-BIKE SHARE DEMONSTRATION SUMMARY AND REQUEST FOR PROPOSALS

### **2023-2026 Strategic Plan**

The 2023-2026 Strategic Plan outlines the high-level direction of the RMOW to help shape community progress during this term of Council. The Strategic Plan contains four priority areas with various associated initiatives that support them. This section identifies how this report links to the Strategic Plan.

#### **Strategic Priorities**

☐ Housing

*Expedite the delivery of and longer-term planning for employee housing*

☒ Climate Action

*Mobilize municipal resources toward the implementation of the Big Moves Climate Action Plan*

☐ Community Engagement

*Strive to connect locals to each other and to the RMOW*

☐ Smart Tourism

*Preserve and protect Whistler’s unique culture, natural assets and infrastructure*

☐ Not Applicable

*Aligns with core municipal work that falls outside the strategic priorities but improves, maintains, updates and/or protects existing and essential community infrastructure or programs*

This program helped to foster active transportation and move residents and visitors beyond automobile transportation within the Whistler Valley.

### **Community Vision and Official Community Plan**

The Official Community Plan (OCP) is the RMOW's most important guiding document that sets the community vision and long-term community direction.

This initiative supports the following objectives of the OCP:

- 10.2. Goal Substantially reduce GHG emissions from vehicles and transportation.
- 11.1. Goal Provide a quality travel experience for all visitors, *employees* and residents, and promote a culture of safety and accessibility for pedestrians, cyclists and motorists.
- 11.4. Goal Support the increased use of preferred modes of transportation for all travel purposes to reduce dependence on private motor vehicles.

- 11.7. Goal Ensure the transportation system respects Whistler's natural environment, minimizes climate impacts and improves the *livability* of the resort community.

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## BUDGET CONSIDERATIONS

All program costs are borne by BCAA. The RMOW further received \$6,600 in revenue from BCAA for leasing spaces at the following municipal locations for the E-Bike Share Program:

- Alpha Lake
- Bayly Park
- Fitz Connector
- Function Junction
- Lakeside Park
- Lost Lake
- Meadow Park Sports Centre
- Nesters Market
- Niklaus North
- Rainbow Estates
- Spruce Grove Park
- Whistler Community Services Society
- Whistler Convention Centre
- Whistler Howe Sound Women's Centre
- Whistler Museum
- Whistler Olympic Plaza

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## LÍŁWAT NATION & SQUAMISH NATION CONSIDERATIONS

The RMOW is committed to working with the Líl'wat People, known in their language as *L'il'wat7úl* and the Squamish People, known in their language as the *Skwxwú7mesh Úxwumixw* to: create an enduring relationship; establish collaborative processes for planning on unceded territories, as currently managed by the provincial government; achieve mutual objectives and enable participation in Whistler's resort economy.

The E-Bike Share Program, through BCAA, have worked closely with the Squamish Líl'wat Cultural Centre (SLCC) by engaging two Indigenous artists in designing e-bike artwork. This process resulted in 139,000 impressions through artist-boosted posts on social media. If the Agreement is extended, BCAA will continue to work with the SLCC to further share the culture and history of the Líl'wat Nation and Squamish Nation in Whistler with the public and program users.

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## COMMUNITY ENGAGEMENT

Level of community engagement commitment for this project:

☒ Inform    ☐ Consult    ☐ Involve    ☐ Collaborate    ☐ Empower

## SUMMARY

The E-Bike Share Program is proving to be a successful tool to further the RMOW's goals of moving people out of fossil fueled vehicles and increasing use and availability of active transportation options within Whistler. With over 73,000 km's of travel, 39 per cent of trips identified as directly replacing vehicle travel, and year over year increase in ridership, the E-Bike Share Program is clearly moving the Whistler community closer to its climate action goals.

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## SIGN-OFFS

### Written by:

Derek Jazic,  
Manager of Resort Operations

Dale Mikkelsen,  
General Manager, Climate Action, Planning and  
Development Services

### Reviewed by:

Virginia Cullen,  
Chief Administrative Officer

## STAFF REPORT TO COUNCIL

**PRESENTED:** April 29, 2025  
**FROM:** Legislative Services Department  
**SUBJECT:** COUNCIL POLICY A-7 COMMUNITY ENRICHMENT PROGRAM UPDATES REPORT

**REPORT:** 25-029  
**FILE:** 0340-20-A-07

### RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

**That** the recommendation of the General Manager of Corporate Services and Public Safety be endorsed.

### RECOMMENDATION(S)

**That** Council adopt *Council Policy A-7: Community Enrichment Program* (CEP), as amended and attached as Appendix A to Administrative Report No. 25-029.

### PURPOSE OF REPORT

The purpose of this report is to propose amendments to the CEP scholarship program, and to present other minor amendments to Council Policy A-7: *Community Enrichment Program* (CEP Policy) for Council review and approval.

☐ Information Report

☒ Administrative Report (Decision or Direction)

### DISCUSSION

#### Background

Each year, through the CEP, the Resort Municipality of Whistler (RMOW) financially supports local not-for-profit organizations and societies that contribute to the betterment of the Whistler community. The CEP Policy also includes scholarships for local students to pursue post-secondary education.

The CEP policy was adopted on December 6, 2004, and has been amended five times since (2007, 2016, 2018, 2021 and 2024).

At the January 23, 2024 [Regular Council Meeting](#), Council directed staff to explore the potential to include graduating students from the Lílwat Nation and the Squamish Nation, as well as the Whistler Waldorf School.

## **Analysis**

### **Scholarships**

Staff recently reached out to the Lílwat Nation and the Squamish Nation, as well as the Whistler Waldorf School to invite their graduating students to apply for the CEP Scholarships. Staff have confirmed requests to participate from the Whistler Waldorf School and the Lílwat Nation. Staff will continue to work with the Squamish Nation to include their students in future.

The total 2025 CEP allocated budget for scholarship is \$6,000.

Staff reviewed the language in the CEP Policy and have identified some proposed changes to reflect the expanded participation. A redlined copy of the CEP Policy is attached as Appendix A.

A summary of the changes are as follows:

- Section 4.0 – renamed to Scholarships
- Subsections within section 4 have been updated to remove references to Whistler Secondary School and replaced with secondary schools in Whistler, or members of the Lílwat Nation or the Squamish Nation (Schools).

### **Other Updates**

Staff have also made a few minor edits to the CEP Policy to clarify the eligibility requirements for CEP funding including one-time event (s. 1.8) and financial statements (s. 2.9).

Section 3.4.5.2 was deleted, as PowerPoint presentations are no longer requested from the applicants for the report back presentations.

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## **POLICY CONSIDERATIONS**

### **Relevant Council Authority/Previous Decisions**

Council may provide Community Enrichment funding to any not-for-profit organization or society pursuant to section 8(2) of the *Community Charter* – a municipality may provide any service that the council considers necessary or desirable and may do this directly or through another public authority or another person or organization.

### **2023-2026 Strategic Plan**

The 2023-2026 Strategic Plan outlines the high-level direction of the RMOW to help shape community progress during this term of Council. The Strategic Plan contains four priority areas with various associated initiatives that support them. This section identifies how this report links to the Strategic Plan.

#### **Strategic Priorities**

☐ Housing

*Expedite the delivery of and longer-term planning for employee housing*

☐ Climate Action*Mobilize municipal resources toward the implementation of the Big Moves Climate Action Plan*☐ Community Engagement*Strive to connect locals to each other and to the RMOW*☐ Smart Tourism*Preserve and protect Whistler's unique culture, natural assets and infrastructure*☒ Not Applicable*Aligns with core municipal work that falls outside the strategic priorities but improves, maintains, updates and/or protects existing and essential community infrastructure or programs***Community Vision and Official Community Plan**

The Official Community Plan (OCP) is the RMOW's most important guiding document that sets the community vision and long-term community direction. This section identifies how this report applies to the OCP.

The CEP Program offers financial support to a diverse array of community organizations aligned with several objectives outlined in the OCP:

Chapter 8 – Health, Safety and Wellbeing:

- Objective 8.10.1 – promoting initiatives for youth and young adults that support their developmental needs, health, well-being and social connections;

Chapter 9 – Learning, Culture, and Recreation emphasizes both outdoor and indoor recreational activities and programs.

- Objective 9.6 – Continue to work collaboratively with partner organizations to provide quality recreation and leisure amenities and experiences.
  - Policy 9.6.2 – Non-profit third-party recreation service providers thrive, complement resort offerings and contribute to the social well-being of residents and visitors.

Additionally, the following objective, and associated policy, is supported through the provision of funding to arts and culture organizations:

- Objective 9.2.2 – Increase opportunities for education, participation and enjoyment of Arts, Nature and Heritage for residents and visitors.
  - Policy 9.2.2.1 – Support non-profit and private sector efforts to increase opportunities for individuals to learn about and participate in Arts, Nature and Heritage.

**BUDGET CONSIDERATIONS**

Funding for the CEP Program are included in the Five-Year Financial Plan 2025-2029 and include \$6,000 for scholarships.

**LÍL'WAT NATION & SQUAMISH NATION CONSIDERATIONS**

The RMOW is committed to working with the Líl'wat People, known in their language as *L'il'wat7úl* and the Squamish People, known in their language as the *Skwxwú7mesh Úxwumixw* to: create an enduring relationship; establish collaborative processes for planning on unceded territories, as currently



managed by the provincial government; achieve mutual objectives and enable participation in Whistler's resort economy.

During the adoption of the 2024 CEP Policy amendments, Council directed staff to take steps to engage with the Lílwat Nation and the Squamish Nation to be included in the secondary scholarship applicant pool. This year, staff are happy to report that the Lílwat Nation graduating students are included in the pool of scholarship applicants.

Staff will continue working with the Squamish Nation to include their graduating students for next year.

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## COMMUNITY ENGAGEMENT

Level of community engagement commitment for this project:

☒ Inform    ☐ Consult    ☐ Involve    ☐ Collaborate    ☐ Empower

Selection of the scholarship recipients is announced at the Regular Council Meeting following the graduation ceremonies of the Schools.

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## REFERENCES

Appendix A – Council Policy A-7 Community Enrichment Program with proposed amendments

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## SUMMARY

Staff requests that Council adopt *Council Policy A-7: Community Enrichment Program* as amended and attached as Appendix A to Administrative Report No. 25-029.

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## SIGN-OFFS

### Written by:

Pauline Lysaght,  
Corporate Officer/Manager of Legislative  
Services

### Reviewed by:

Ted Battiston,  
General Manager of Corporate Services and  
Public Safety

Virginia Cullen,  
Chief Administrative Officer



## COUNCIL POLICY

**POLICY NUMBER: A-7**

**DATE OF RESOLUTION: DECEMBER 6, 2004**

**AMENDED: JANUARY 22, 2007, JANUARY**

**26, 2016, JANUARY 23, 2018, DECEMBER 7, 2021,**

**January 23, 2024**

### COMMUNITY ENRICHMENT PROGRAM

#### 1.0 General Requirements:

- 1.1 The Community Enrichment Program (CEP) (CEP) will provide funding to non-profit organizations and societies based within, **or providing services to**, the Resort Municipality of Whistler (RMOW) that are considered by Council to be contributing to the general interest and advantage of the Whistler community.
- 1.2 Funding is issued on an annual basis and is subject to the availability of funds in the RMOW's current year's budget.
- 1.3 Approval of a funding application in any given year does not guarantee that funding will be granted in any subsequent year.
- 1.4 To be eligible for CEP funding, the applicant must operate in one of the following categories: Environment, Social Services, Community Service, Recreation and Sport, or Arts and Culture.
- 1.5 Applicants who have entered into fee for service agreements with the RMOW are not eligible for CEP funding in the same year.
- 1.6 Applicants should include in their application form any activities undertaken to engage in Truth and Reconciliation with the Lílwat Nation and/or the Squamish Nation.
- 1.7 Applicants should include in their application form initiatives undertaken to further current Council Priorities.
- 1.8 Funding under the CEP will not be approved for special events, including one-time events **like training camps, concert series, sporting events or festivals**.
- 1.9 For sports-based organizations, the funding will be based on the number of verified Whistler youth participants in the program and will be consistent for all sports organizations. Council will have the discretion to apply additional funding for one-time capital funding requests.

## 2.0 Applying for CEP Funding:

2.1 All applications are to be submitted to:

Legislative Services Department  
(Community Enrichment Program)  
Resort Municipality of Whistler  
4325 Blackcomb Way  
Whistler, BC, V8E 0X5  
corporate@whistler.ca  
Tel: 604-935-8117

2.2 The CEP application period opens January 25 (or the next business day) of each year.

2.3 CEP Grant Application Forms must be received by 4 p.m. on February 15 (or the next business day) of each year. No late submissions will be considered after the deadline.

2.4 Applicants must submit their application on the Grant Application Form. All questions on the application form must be answered or have included a written reason for incomplete answers. Applicants are not to submit any documentation that has not been expressly requested in the application form.

2.5 Applicants must provide a brief verbal presentation (one minute) of their application at a future scheduled Committee of the Whole Council Meeting. Legislative Services Department staff will provide applicants with the date and specifics on the presentation requirements.

2.6 Applicants must be a registered not-for-profit society or charity and must provide evidence of the same by attaching proof of status.

2.7 Applicants must raise a minimum of 50 per cent of the annual **program** budget from other sources beyond CEP funding.

2.8 Applicants must ensure the accuracy of their organization's contact information and update the Legislative Services Department of any changes.

2.9 Applicants must provide their most recent audited or unaudited financial statements **to be eligible for CEP funding**.

2.10 Applicants must provide an itemized budget for their project, or an operating budget, to disclose how the grant will be spent. Salaries, rent, physical assets etc. must be specifically identified.

2.11 CEP Grant funding is not available to rent municipal facilities.

2.12 All approved funding will be issued to successful CEP grant recipients no later than April 30 each year.

2.13 Non-compliance with any part of this CEP Policy may disqualify the applicant from

current or future CEP grant funding.

- 2.14 ~~Under special conditions~~, Council shall have the discretion to exempt any of the above terms.

### 3.0 Reporting to the RMOW:

- 3.1 All grant recipients must complete a Grant Reporting Form and submit it to the Legislative Services Department by 4 p.m., December 1 (or next business day) of the year that the grant was awarded.

- 3.2 Grant Reporting Forms must be completed, and all accompanying documentation must be submitted by the stated due date and time; failure to do so may result in ineligibility for CEP Grant funds for the next granting cycle (one year).

- 3.3 Organizations that received \$10,000 or less in CEP Grant funding must:

3.3.1 Complete the prescribed Grant Reporting Form and send it to the attention of the Legislative Services Department at the contact information set out on the Grant Reporting Form.

3.3.2 Include a financial breakdown of how CEP grant monies were spent.

3.3.3 Include copies of receipts pertaining to how CEP grant monies were spent (not to be included in the final report to Council, for verification purposes only).

- 3.4 Organizations that received \$10,000 or more must:

3.4.1 Complete the prescribed Grant Reporting Form and send it to the attention of the Legislative Services Department.

3.4.2 Write a press release and distribute to local media, post to the organization's website and on their social media platforms (where applicable) that outlines the project supported by the CEP Funding and acknowledge the RMOW's contribution and provide copies of the release to the Legislative Services Department.

3.4.3 Include a financial breakdown of how CEP grant monies were spent.

3.4.4 Include copies of receipts pertaining to how CEP Grant funding was spent (not to be included in the final Council Report, for verification purposes only).

3.4.5 Make a short presentation (up to 5 minutes) to Council at a Regular Council Meeting outlining to Council and senior staff how the CEP Grant funding was utilized. Legislative Services will provide recipients with details on the presentation Requirements:

3.4.5.1 Inform the Legislative Services Department of the name(s) of those presenting **and details of speaking notes** by 4 p.m., December 1, (or the next business day).

~~3.4.5.2 Provide copies of all presentation materials (speeches, speaking notes, PowerPoint presentations) to the Legislative Services Department by 4 p.m., December 1, (or next business day).~~

#### 4.0 Whistler Secondary School Scholarships:

4.1 As part of the yearly CEP Grant Budget, Council will award up to six \$1,000 scholarships to six students who are graduating from ~~a secondary school in Whistler, or who are members of the Lil'wat Nation or the Squamish Nation ("Schools")~~ ~~Whistler Secondary School~~ in the current year. Council may award further scholarships or increase the amount of the scholarships if there is funding available in the CEP budget for the current year.

4.2 The Scholarship ~~Committees from the Schools of Whistler Secondary School~~ will put forward to Council all eligible applications, ~~along with a list of their top ten recommendations~~ with their ~~recommendations-rationale~~, included in confidence, and Council will make the selections based on the following criteria:

4.2.1 Strong academic performance: the student must achieve a "B" average or higher. ~~Whistler Secondary~~ The Schools must attach a confirmation letter that each student applying for the scholarship meets the academic requirements.

4.2.2 Demonstrated school and volunteer or community involvement: students should indicate on their application form any extra-curricular activities and community or volunteer involvement; and

4.2.3 Recommendation letters to demonstrate community or volunteer Involvement.

4.3 Preference will be given to those identifying financial need: if applicable, students should identify financial need on their application form and include any initiatives taken to help offset post-secondary costs (e.g., summer and/or part-time employment, etc.) Any such information will be held in strict confidence.

4.4 Process and timeline:

4.4.1 ~~The Schools~~ ~~Whistler Secondary School~~ will provide the application forms to the students.

4.4.2 ~~The Schools~~ ~~Whistler Secondary School Scholarship Committee~~ will submit their recommendations, including applications, to the Legislative Services Department no later than April 30 (or the next business day) each year.

4.4.3 Council will select the recipients at a Council Meeting in May.

4.4.4 The selected recipients will receive their scholarships in June.

4.4.5 ~~The Schools~~ ~~Whistler Secondary School Scholarship Committee~~ will

provide the Legislative Services Department with confirmation that all scholarship recipients have enrolled in a full-time post-secondary program within two years of being awarded the scholarship.

- 4.5 In the case that a student who was awarded a scholarship does not continue to post-secondary education within two years, the scholarship funds will be returned to the RMOW and added to the available funds for the next scholarship intake period.

Certified Correct:

Pauline Lysaght  
Corporate Officer

**RESORT MUNICIPALITY OF WHISTLER**

4325 Blackcomb Way  
Whistler, BC Canada V8E 0X5  
whistler.ca

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**FAX** 604 935 8109

## STAFF REPORT TO COUNCIL

**PRESENTED:** April 29, 2025

**REPORT:** 25-029

**FROM:** Finance

**FILE:** 0500-02-0009

**SUBJECT:** AMALGAMATION OF WHISTLER.COM AND TOURDEX.COM

### RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

**That** the recommendation of the General Manager of Corporate Services and Public Safety be endorsed.

### RECOMMENDATIONS

**That** Council, in its capacity as shareholder of Whistler.com Systems Inc. and Tourdex.com Systems Inc. (Tourdex.com) (together the Corporations), direct staff to work with the Whistler Resort Association, the other shareholder of the Corporations, to take all necessary steps to amalgamate the Corporations; and

**That** Council direct staff to allocate the “Due to Shareholder” funds listed in the financial statements for Tourdex.com (Funds), that will become available for distribution upon amalgamation of the Corporations in the amount of \$129,082, to the Resort Municipality of Whistler Project A100 included in the “Five-Year Financial Plan 2025-2029 Bylaw No. 2465, 2025” (Bylaw), in support of Whistler’s 50th anniversary celebrations; and further

**That** Council include the allocation of the Funds to Project A100 as part of the next amendment of the Bylaw to be considered by Council later this year.

### PURPOSE OF REPORT

The purpose of this report is to provide Council with the outcomes and implications of amalgamating Whistler.com Systems Inc. (Whistler.com) and Tourdex.com Systems Inc. (Tourdex.com) and request direction to proceed with this work.

☐ Information Report

☒ Administrative Report (Decision or Direction)

### DISCUSSION

#### Background

Whistler.com is in the business of providing an online reservation and event booking system call centre for properties in Whistler, BC. Tourdex.com is the holding company that owns the reservations and event booking URL [www.whistler.com](http://www.whistler.com) and has no other assets. Both companies are co-owned, with 51

per cent of their respective shares owned by the Resort Municipality of Whistler (RMOW) and 49 per cent of their respective shares owned by Whistler Resort Association (doing business as Tourism Whistler). Because it is a holding company, all company business for Tourdex.com is addressed during the Whistler.com meetings. Both companies have the same three directors. Tourdex.com was incorporated on September 17, 1998 and Whistler.com was incorporated on December 8, 2000.

### **Analysis**

A corporate amalgamation is the combination of two or more companies into an entirely new entity. Amalgamations are distinct from acquisitions in that none of the companies involved in the transaction survive as a legal entity. Instead, a completely new entity, with the combined assets and liabilities of the former companies, is created. As Whistler.com and Tourdex.com are engaged in the same line of business and share similarities in their operations, an amalgamation is both simple to execute and offers the following benefits:

- Allows for repayment of 'Due to Shareholder' balances owing by Tourdex.com to the RMOW (\$129,082) and Tourism Whistler (\$129,182) in 2025;
- No revaluation of the primary Tourdex.com asset (Whistler.com website URL), which would need to happen under an acquisition scenario. Valuing intangible assets can be complex and sometimes expensive work;
- Ability to carry-forward Tourdex.com accumulated taxable income losses from prior years into the new legal entity, and in turn reduce its future taxable income, resulting in possible future tax savings estimated at approximately \$8,000;
- Reduce annual professional fees (i.e. audit and legal costs totaling approximately \$2,000/yr) paid by Tourdex.com; and
- Reduce Tourism Whistler and RMOW administration costs for preparing financial records, corporate filings, shareholder resolutions and Council reports.

In initial conversations with BDO Canada LLP (BDO), they have advised that amalgamation is a relatively straight-forward process, and that the transaction is best to occur on June 30, 2025, which aligns with Whistler.com's fiscal year-end. BDO is well positioned to provide tax consulting services to amalgamate Whistler.com and Tourdex.com as they have the expertise and have been involved in the annual Review Engagement and Compilation Engagement for Whistler.com and Tourdex.com since fiscal year 2021. The Engagement Letter from BDO related to the proposed transaction outlines the following services to be provided:

- Prepare a detailed legal instruction letter highlighting specific executive steps and tax issues in connection with the amalgamation;
- Work with legal counsel to develop the legal arrangements and other documentation required to give legal effect to the amalgamation; and
- Review of draft legal documentation.

The estimated professional fee for BDO's services, as described, is \$7,000 - \$9,000.



For legal services, Borden Ladner Gervais LLP will be engaged as they manage the corporate records and annual filings for both Whistler.com and Tourdex.com.

Finally, staff understand that it is Council's desire to allocate the repayment funds due to the RMOW 'as shareholder' to the upcoming Whistler 50th anniversary initiative (Project A100).

## OPTIONS

Amalgamation is the preferred transaction type as compared to acquisition of Tourdex.com by Whistler.com and subsequent wind-up of Tourdex.com. If Whistler.com were to purchase the shares of Tourdex.com, the sale of the Whistler.com URL would trigger a revaluation of this intangible asset and could trigger a taxable gain. Further, in an acquisition transaction, the prior year accumulated tax losses from Tourdex.com would not be transferred to Whistler.com for use against future taxable income. Overall, amalgamation is seen as the simpler and less expensive transaction, and the staff recommended approach.

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## POLICY CONSIDERATIONS

### Relevant Council Authority/Previous Decisions

Section 270 and 271 of the *Business Corporations Act*, provides that for a corporation to amalgamate with one or more other corporations, it must (a) enter into an amalgamation agreement with the other amalgamating corporations, and (b) have the amalgamation agreement adopted by the corporations' shareholders.

### 2023-2026 Strategic Plan

The 2023-2026 Strategic Plan outlines the high-level direction of the RMOW to help shape community progress during this term of Council. The Strategic Plan contains four priority areas with various associated initiatives that support them. This section identifies how this report links to the Strategic Plan.

#### Strategic Priorities

- ☐ Housing
  - Expedite the delivery of and longer-term planning for employee housing*
- ☐ Climate Action
  - Mobilize municipal resources toward the implementation of the Big Moves Climate Action Plan*
- ☐ Community Engagement
  - Strive to connect locals to each other and to the RMOW*
- ☐ Smart Tourism
  - Preserve and protect Whistler's unique culture, natural assets and infrastructure*
- ☒ Not Applicable
  - Aligns with core municipal work that falls outside the strategic priorities but improves, maintains, updates and/or protects existing and essential community infrastructure or programs*

### **Community Vision and Official Community Plan**

The Official Community Plan (OCP) is the RMOW's most important guiding document that sets the community vision and long-term community direction. This section identifies how this report applies to the OCP.

The partnership with Tourism Whistler is supported by the OCP through Economic Viability, including the following Policy statement:

#### **6.5.1.2. Policy**

Work with resort stakeholders to pursue diversification opportunities that are appropriate and complementary to our infrastructure.

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### **BUDGET CONSIDERATIONS**

All costs for the amalgamation will be incurred by Whistler.com. As such, there are no RMOW budget considerations, other than the reduced annual legal and accounting fees.

Repayment of 'Due to Shareholder' balances owing by Tourdex.com to the RMOW (\$129,082) was not contemplated in the RMOW's 2025-2029 Five-Year Financial Plan. This report recommends using these funds for Whistler's 50th anniversary celebrations and including that change in a future budget amendment.

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### **LÍ'LAT NATION & SQUAMISH NATION CONSIDERATIONS**

The RMOW is committed to working with the Líl'wat People, known in their language as *L'il'wat7úl* and the Squamish People, known in their language as the *Skwxwú7mesh Úxwumixw* to: create an enduring relationship; establish collaborative processes for planning on unceded territories, as currently managed by the provincial government; achieve mutual objectives and enable participation in Whistler's resort economy.

There are no specific considerations to include in this report.

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### **COMMUNITY ENGAGEMENT**

Level of community engagement commitment for this project:

☒ Inform    ☐ Consult    ☐ Involve    ☐ Collaborate    ☐ Empower

No external engagement is required for this report.

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### **REFERENCES**

Appendix A – Tourdex.com Systems Inc. Financial Information for the Year Ended July 31, 2024  
Appendix B – Whistler.com Systems Inc. Financial Information for the Year Ended June 30, 2024

## SUMMARY

This report provides a summary of the relevant background and associated analysis related to the possible amalgamation of Whistler.com and Tourdex.com. Staff are looking for direction from Council to work with staff at Tourism Whistler, to simplify the administration of the companies and repay the Due to Shareholder balances in Tourdex.com.

---

## SIGN-OFFS

### Written by:

Ashley Palmer,  
Manager, Financial Services

### Reviewed by:

Carlee Price,  
Chief Financial Officer

Ted Battiston,  
General Manager, Corporate Services and  
Public Safety

Virginia Cullen,  
Chief Administrative Officer

Tourdex.com Systems Inc.  
Financial Information  
For the Year Ended July 31, 2024

Tourdex.com Systems Inc.  
Financial Information  
For the Year Ended July 31, 2024

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BDO Canada LLP  
Unit 1100 Royal Centre  
1055 West Georgia Street, P.O. Box  
11101  
Vancouver, British Columbia  
V6E 3P3

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## Compilation Engagement Report

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To Management of Tourdex.com Systems Inc.

On the basis of information provided by management, we have compiled the balance sheet of Tourdex.com Systems Inc. as at July 31, 2024 and the statement of operations and retained earnings for the year then ended, and Note 1, which describes the basis of accounting applied in the preparation of the compiled financial information (the "financial information").

Management is responsible for the accompanying financial information, including the accuracy and completeness of the underlying information used to compile it and the selection of the basis of accounting.

We performed this engagement in accordance with Canadian Standard on Related Services (CSRS) 4200, *Compilation Engagements*, which requires us to comply with relevant ethical requirements. Our responsibility is to assist management in the preparation of the financial information.

We did not perform an audit engagement or a review engagement, nor were we required to perform procedures to verify the accuracy or completeness of the information provided by management. Accordingly, we do not express an audit opinion or a review conclusion, or provide any form of assurance on the financial information.

Readers are cautioned that the financial information may not be appropriate for their purposes.

*BDO Canada LLP*

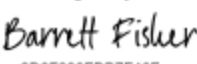
Chartered Professional Accountants

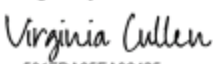
Whistler, British Columbia  
September 19, 2024

Tourdex.com Systems Inc.  
Balance Sheet

July 31	2024	2023
<b>Assets</b>		
Due from Whistler.com Services Inc	\$ 38,680	\$ 40,639
Intangible, at cost	280,375	280,375
	<u>\$ 319,055</u>	<u>\$ 321,014</u>
<b>Liabilities and Shareholders' Equity</b>		
<b>Liabilities</b>		
Due to Shareholder - Tourism Whistler	\$ 129,182	\$ 129,182
Due to Shareholder - Resort Municipality of Whistler	129,082	129,082
Future Income Taxes	16,469	16,469
	<u>274,733</u>	<u>274,733</u>
<b>Shareholders' Equity</b>		
Share capital	200	200
Retained Earnings	44,122	46,081
	<u>44,322</u>	<u>46,281</u>
	<u>\$ 319,055</u>	<u>\$ 321,014</u>

On behalf of the Board:

DocuSigned by:  
  
208F809CF003F148F... Director  
2024-09-26 | 15:06:30 PDT

Signed by:  
  
604FDAB55A9B426... Director  
2024-09-26 | 11:41:35 PDT

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Tourdex.com Systems Inc.  
Statement of Operations and Retained Earnings

For the year ended July 31	2024	2023
<hr/>		
Operating expenses		
Professional Fees	\$ 1,959	\$ 1,696
	<hr/>	
Net loss	(1,959)	(1,696)
Retained earnings, beginning of the year	46,081	47,777
	<hr/>	
Retained earnings, end of the year	\$ 44,122	\$ 46,081
	<hr/>	

The accompanying note is an integral part of these financial information.



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Tourdex.com Systems Inc.  
Note to Financial Information

July 31, 2024

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1. Basis of Accounting

The basis of accounting applied in the preparation of the financial information is on the historical cost basis, reflecting cash transactions with the addition of:

- amounts due from related parties;
- intangible assets recorded at cost; and
- income tax expenses accrued to be paid in the future.

**Whistler.com Systems Inc.**  
**Financial Statements**  
**For the year ended June 30, 2024**  
**(Unaudited)**

**Whistler.com Systems Inc.**  
**Financial Statements**  
**For the year ended June 30, 2024**  
**(Unaudited)**

---

<b>Review Engagement Report</b>	<b>2</b>
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BDO Canada LLP  
202 - 1200 Alpha Lake Road  
Whistler BC V8E 0H6 Canada

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## Review Engagement Report

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### To the Shareholders of Whistler.com Systems Inc.

We have reviewed the accompanying financial statements of Whistler.com Systems Inc. (the "Company") that comprise the Balance Sheet as at June 30, 2024 and the Statements of Operations and Retained Earnings and Cash Flows for the year then ended, and a summary of significant accounting policies and other explanatory information.

#### *Management's Responsibility for the Financial Statements*

Management is responsible for the preparation and fair presentation of these financial statements in accordance with Canadian accounting standards for private enterprises, and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

#### *Practitioner's Responsibility*

Our responsibility is to express a conclusion on the accompanying financial statements based on our review. We conducted our review in accordance with Canadian generally accepted standards for review engagements, which require us to comply with relevant ethical requirements.

A review of financial statements in accordance with Canadian generally accepted standards for review engagements is a limited assurance engagement. The practitioner performs procedures, primarily consisting of making inquiries of management and others within the entity, as appropriate, and applying analytical procedures, and evaluates the evidence obtained.

The procedures performed in a review are substantially less in extent than, and vary in nature from, those performed in an audit conducted in accordance with Canadian generally accepted auditing standards. Accordingly, we do not express an audit opinion on these financial statements.

#### *Conclusion*

Based on our review, nothing has come to our attention that causes us to believe that the financial statements do not present fairly, in all material respects, the financial position of Whistler.com Systems Inc. as at June 30, 2024, and the results of its operations and its cash flows for the year then ended in accordance with Canadian accounting standards for private enterprises.

*BDO Canada LLP*

Chartered Professional Accountants

Whistler, British Columbia  
December 20, 2024

**Whistler.com Systems Inc.**  
**Balance Sheet**  
(Unaudited)

**June 30** **2024** **2023**

**Assets**

**Current**

Cash and cash equivalents (Note 2)	\$ 5,301,013	\$ 5,051,852
Short-term investments (Note 3)	40,562	-
Accounts receivable (Note 7)	182,679	188,713
Prepaid expenses and deposits	34,060	37,031
Income taxes recoverable	94,686	-
	5,653,000	5,277,596

Investments (Note 3)	-	40,562
Property and equipment (Note 4)	17,072	14,692
	\$ 5,670,072	\$ 5,332,850

**Liabilities and Shareholders' Equity**

**Liabilities**

**Current**

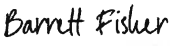
Accounts payable and accrued liabilities (Notes 5 and 7)	\$ 2,947,306	\$ 2,583,079
Current portion of loan payable (Note 9)	-	40,000
Income taxes payable	-	56,839
	2,947,306	2,679,918


Due to related parties (Note 6)	38,680	40,639
	2,985,986	2,720,557

**Shareholders' equity**

Share capital (Note 8)	2,500	2,500
Retained earnings	2,681,586	2,609,793
	2,684,086	2,612,293
	\$ 5,670,072	\$ 5,332,850

On behalf of the Board:

DocuSigned by:  
  
2D6F890FDB7F48F... Director

Signed by:  
  
361FDA03EA90425... Director

The accompanying summary of significant accounting policies and notes are an integral part of these financial statements

**Whistler.com Systems Inc.**  
**Statement of Operations and Retained Earnings**  
(Unaudited)

<b>For the year ended June 30</b>	<b>2024</b>	<b>2023</b>
<b>Revenue</b>		
Commission	\$ 2,099,394	\$ 2,514,503
Interest	270,983	168,887
Other	115,267	207,962
	<u>2,485,644</u>	<u>2,891,352</u>
<b>Expenses</b>		
Advertising and promotion	289,256	223,818
Amortization	7,659	7,990
Commissions	120,101	165,785
Communication	31,954	34,940
Credit card commissions	267,971	242,961
Insurance	30,420	25,925
Interest and bank charges	11,890	12,257
Memberships	1,431	2,237
Office and other general	12,846	7,260
Professional fees	26,645	15,457
PST on commissions	84,278	-
Rental	29,690	28,226
Salaries and wages	1,458,587	1,425,261
Subcontracts	32,549	23,259
	<u>2,405,277</u>	<u>2,215,376</u>
<b>Income before income taxes for the year</b>	<b>80,367</b>	<b>675,976</b>
<b>Income taxes (Note 10)</b>	<b>8,574</b>	<b>103,255</b>
<b>Net income for the year</b>	<b>71,793</b>	<b>572,721</b>
<b>Retained earnings, beginning of year</b>	<b>2,609,793</b>	<b>2,037,072</b>
<b>Retained earnings, end of year</b>	<b>\$ 2,681,586</b>	<b>\$ 2,609,793</b>

The accompanying summary of significant accounting policies and notes are an integral part of these financial statements

**Whistler.com Systems Inc.**  
**Statement of Cash Flows**  
(Unaudited)

For the year ended June 30	2024	2023
<b>Cash (used in) provided by</b>		
<b>Operating activities</b>		
Net income for the year	\$ 71,793	\$ 572,721
Items not requiring cash		
Amortization	7,659	7,990
Accrued interest earned on investments	-	(282)
	<u>79,452</u>	<u>580,429</u>
Changes in non-cash working capital balances		
Accounts receivable	6,034	28,965
Prepaid expenses	2,971	(5,371)
Accounts payable and accrued liabilities	364,227	921,326
Income taxes payable or recoverable	(151,525)	10,433
Deferred revenue	-	(28,058)
	<u>301,159</u>	<u>1,507,724</u>
<b>Financing activities</b>		
Repayments to related parties	(1,959)	(1,696)
Repayment of CEBA loan	(40,000)	-
	<u>(41,959)</u>	<u>(1,696)</u>
<b>Investing activities</b>		
Purchase of property and equipment	(10,039)	(3,580)
<b>Increase in cash during the year</b>	<b>249,161</b>	<b>1,502,448</b>
<b>Cash, beginning of year</b>	<b>5,051,852</b>	<b>3,549,404</b>
<b>Cash, end of year</b>	<b>\$ 5,301,013</b>	<b>\$ 5,051,852</b>

The accompanying summary of significant accounting policies and notes are an integral part of these financial statements

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**Whistler.com Systems Inc.**  
**Notes to the Financial Statements**  
**(Unaudited)**

**June 30, 2024**

---

**1. Significant Accounting Policies**

<b>Nature of Business</b>	The Company is incorporated under the laws of British Columbia, Canada. The Company is in the business of providing an on-line reservation system for the resort of Whistler, BC.								
<b>Basis of Presentation</b>	These financial statements have been prepared in accordance with Canadian accounting standards for private enterprises.								
<b>Investments</b>	Investments consist of term deposits with maturity of greater than 90 days from the date of acquisition.								
<b>Use of Estimates</b>	<p>The preparation of financial statements in accordance with Canadian accounting standards for private enterprises requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements, and the reported amounts of revenue and expenses during the year. Items subject to such estimates and assumptions include the recoverability of accounts receivable, estimated useful lives and impairment of property and equipment, and completeness of accounts payable and accrued liabilities.</p> <p>Actual results could differ from management's best estimates as additional information becomes available and may impact future periods.</p>								
<b>Income Taxes</b>	The Company accounts for income taxes using the taxes payable method. The taxes payable basis is a method of accounting under which the Company reports as an expense (income) of the year only the cost (benefit) of current income taxes determined in accordance with the rules established by taxation authorities.								
<b>Property and Equipment</b>	<p>Property and equipment are recorded at cost less accumulated amortization. Amortization is determined based on an estimated useful life of the assets as follows:</p> <table><tr><td>Equipment</td><td>- 5 year straight line</td></tr><tr><td>Furniture and fixtures</td><td>- 5 year straight line</td></tr><tr><td>Computer equipment</td><td>- 5 year straight line</td></tr><tr><td>Reservation management system</td><td>- 30% declining balance</td></tr></table>	Equipment	- 5 year straight line	Furniture and fixtures	- 5 year straight line	Computer equipment	- 5 year straight line	Reservation management system	- 30% declining balance
Equipment	- 5 year straight line								
Furniture and fixtures	- 5 year straight line								
Computer equipment	- 5 year straight line								
Reservation management system	- 30% declining balance								



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**Whistler.com Systems Inc.**  
**Notes to the Financial Statements**  
**(Unaudited)**

**June 30, 2024**

---

**1. Significant Accounting Policies (continued)**

<b>Revenue Recognition</b>	<p>Revenue received from commissions derived from accommodation, activity and other reservations is recognized when revenue is earned by the seller or all other contractual obligations have been satisfied, and when collection is reasonably assured.</p> <p>Interest income is recognized as it accrues, in accordance with the stated terms of each financial instrument.</p> <p>Other revenue is recognized as any contractual obligations have been met and when collection is reasonably assured.</p>
<b>Impairment of Long-Lived Assets</b>	<p>Property and equipment and other long-lived assets are reviewed for impairment whenever changes in circumstances indicate that the carrying value of an asset may not be recoverable. Impairment is assessed by comparing the carrying amount of an asset with its fair value. If the carrying amount of the assets exceed the expected cash flows, an impairment is recognized for the amount which the carrying value exceeds the assets fair value. Any impairment results in a write-down of the assets and a charge to net income during the year. Whistler.com Systems Inc. considers that no circumstances exist that indicate the Company's long-lived assets may be impaired. Thus no test for recoverability has been performed.</p>
<b>Financial Instruments</b>	<p>The Company's financial instruments consist of cash, accounts receivable, investments, accounts payable and accrued liabilities and due to related parties. The Company initially measures all of its financial instruments at fair value. In subsequent periods, financial instruments are reported at amortized cost using the effective interest rate method.</p>
<b>Foreign Currency Translation</b>	<p>Foreign currency transactions are translated at the rates of exchange in effect at the dates of the transaction. Resulting foreign currency denominated monetary assets and liabilities are translated at the rates of exchange in effect at the balance sheet date. Gains and losses on translation of monetary assets and liabilities are included in net income.</p>

**Whistler.com Systems Inc.**  
**Notes to the Financial Statements**  
(Unaudited)

**June 30, 2024**

**2. Cash and Cash Equivalents**

The Company's bank accounts are held at a Canadian chartered bank. The bank accounts earn interest at the current prevailing rates for business operating accounts.

Included in cash and cash equivalents at year end is \$2,653,631 (2023 - \$2,282,729) in deposits received from customers for future bookings which is used to pay amounts owing to suppliers in relation to these bookings. Amounts owing to suppliers in relation to these future bookings are included in accounts payable and accrued liabilities.

As at June 30, 2024, the Company's US dollar denominated cash totaled \$238,006 USD, \$325,759 converted to Canadian dollars (2023 - \$353,404 USD, \$467,907 converted to Canadian dollars).

**3. Investments**

At June 30, 2024, the Company holds a non-redeemable Guaranteed Investment Certificate ("GIC"), which earns interest at 5.0% (2023 - 5.0%) per annum and matures on June 30, 2025.

**4. Property and Equipment**

	2024			2023
	Cost	Accumulated Amortization	Net Book Value	Net Book Value
Equipment	\$ 137,897	\$ 137,897	\$ -	\$ 322
Furniture and fixtures	40,373	39,757	616	502
Computer equipment	204,158	190,070	14,088	10,486
Reservation management system	164,180	161,812	2,368	3,382
	<u>\$ 546,608</u>	<u>\$ 529,536</u>	<u>\$ 17,072</u>	<u>\$ 14,692</u>

**5. Accounts Payable and Accrued Liabilities**

Included in accounts payable and accrued liabilities are government remittances payable of \$93,899 (2023 - \$6,064).

Effective July 1, 2023, the Company was required to collect and remit PST on all online marketplace services, regardless of the nature of the underlying goods or services. The Company has determined that commissions earned on transactions processed by the Company on behalf of other vendors meet the definition of online marketplace services and has therefore accrued PST of \$72,973 that must be remitted on these transactions.

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**Whistler.com Systems Inc.**  
**Notes to the Financial Statements**  
**(Unaudited)**

**June 30, 2024**

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**6. Due to Related Parties**

Amounts due to Tourdex.com Systems Inc., a company under common control, are non-interest bearing and unsecured. Tourdex.com Systems Inc. has waived the right to demand payment for the next 12 months.

Transactions with related parties are in the normal course of operations and are conducted at arm's length and are recorded at the exchange amount.

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**7. Related Party Transactions**

Tourism Whistler provides employee services to the Company, and invoices for these amounts. During the year, the Company incurred fees of \$228,132 (2023 - \$236,212) for these services. Other expenses paid by Tourism Whistler on behalf of the Company and charged to the Company were \$386,776 (2023 - \$212,427).

The Company receives marketing reinvestment from Tourism Whistler and pays other expenses on behalf of Tourism Whistler. During the year, the total amount charged to Tourism Whistler was \$25,299 (2023 - \$184,428).

As a result of these transactions \$44,581 was due to Tourism Whistler at June 30, 2024 and recorded in accounts payable and accrued liabilities (2023 - \$88,372).

The Company facilitates customer reservations for the Whistler Golf Club, a division of Tourism Whistler, and earns commissions on these services. Commissions of \$13,963 were earned from the Whistler Golf Course during the year (2023 - \$19,611), and \$nil in customer payments was due to the Whistler Golf Club at June 30, 2024 and is recorded in accounts payable and accrued liabilities (2023 - \$23,080).

Transactions with shareholders are in the normal course of operations, are conducted at arm's length and, as a result, are recorded at the exchange amount.

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**8. Share Capital**

	<u>2024</u>	<u>2023</u>
Issued and outstanding		
2,500,000 Voting, Non-Participating shares;		
and 2,500,000 Non-Voting Participating shares	<u>\$ 2,500</u>	<u>\$ 2,500</u>

The Company's two shareholders hold the issued and outstanding share capital as follows:

Whistler Resort Association: 1,225,000 voting, non-participating shares and 1,250,000 non-voting, participating shares.

Resort Municipality of Whistler: 1,275,000 voting, non-participating shares and 1,250,000 non-voting, participating shares.

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**Whistler.com Systems Inc.**  
**Notes to the Financial Statements**  
**(Unaudited)**

**June 30, 2024**

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**9. Loan Payable**

The non-forgivable portion of the emergency COVID-19 relief loan of \$40,000 was interest-free and repaid November 29, 2023 to meet the terms of the forgivable loan portion of \$20,000, which was recognized as grant revenue in a previous year.

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**10. Income Taxes**

The Company accounts for income taxes using the taxes payable method. As a result, the Company's income tax expense varies from the amount that would otherwise result from the application of the statutory income tax rates as set out below:

	2024	2023
Net income before income taxes	\$ 80,367	\$ 675,976
Expected income tax expense	8,840	102,875
Income or expenses claimed in different periods for income tax purposes		
Amortization and gain/loss on disposal of assets (less than) in excess of capital cost allowance (CCA)	(466)	89
Non-deductible items for tax purposes	200	291
Income tax expense	\$ 8,574	\$ 103,255

The Company has available capital losses of \$58,491 (2023 - \$58,491) which can be applied to reduce future capital gains.

**June 30, 2024**

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## **11. Financial Instruments**

The Company through its financial assets and liabilities is exposed to various risks.

The following analysis provides an assessment of those risks as at June 30, 2024. There have been no significant changes in the Company's exposure to these risks from the prior year.

### **(a) Interest rate risk**

Interest rate risk is the risk that the fair value or future cash flows of a financial instrument will fluctuate because of changes in market interest rates. It is management's opinion that the Company is not exposed to significant interest rate risk arising from its financial instruments.

### **(b) Credit risk**

Credit risk is the risk that one party to a financial instrument will cause a financial loss for the other party by failing to discharge an obligation. The Company is potentially exposed to credit risk on its accounts receivables, cash and investments. The Company mitigates its risk on accounts receivables through diversification of its customer base and not limiting its exposure to any one customer. In addition, the Company has deposited its cash and investments with a reputable financial institution.

### **(c) Liquidity risk**

Liquidity risk is the risk that the Company encounters difficulty in meeting its obligations associated with financial liabilities. Liquidity risk includes the risk that, as a result of operational liquidity requirements, the Company will not have sufficient funds to settle a transaction on the due date; will be forced to sell financial assets at a value, which is less than what they are worth; or may be unable to settle or recover a financial asset. Liquidity risk arises primarily from accounts payable, accrued liabilities, and due to related parties. The Company mitigates this risk by maintaining sufficient liquid financial assets while also actively monitoring market conditions and adjusting operations as necessary to meet operational liquidity requirements.



**REGULAR MEETING OF  
EMERGENCY PLANNING COMMITTEE  
MINUTES**

Tuesday, January 28, 2025, 11:00 a.m.

Remote Meeting via Teams

For information on how to participate: <https://www.whistler.ca/municipal-gov/committees/emergency-planning-committee>

- PRESENT:**
- School District #48 Representative, I. Currie
  - Mayor, J. Crompton
  - Whistler Blackcomb Representative, D. McPhee
  - Whistler Transit Ltd. Representative, J. C. Gomez
  - RMOW Emergency Program Coordinator, B. Manson
  - RMOW General Manager Community Engagement and Cultural Services, K. Elliott
  - RMOW General Manager Corporate Services and Public Safety, T. Battiston
  - RMOW Chief Administrative Officer, V. Cullen
  - RMOW Manager Protective Services, L. DeBou
  - RMOW Councilor, J. Ford
  - RMOW Fire Chief, T. Doherty
  - RCMP Sargeant SO, N. Miller
- ABSENT:**
- Whistler Search and Rescue Society Representative, T. DelBosco
  - Vancouver Coastal Health Representative, Dr. M Khaketla
  - RCMP Staff Sergeant, S. Banks
  - RMOW Emergency Social Services Coordinator, K. Hannah
  - RMOW General Manager Infrastructure Services, J. Hallisey
  - Blackcomb Helicopters Representative, A. McDowell
  - BC Ambulance Representative, L. Wu
- STAFF PRESENT:**
- RMOW Bylaw and Licencing Coordinator, C. Burford
  - RMOW Special Projects, E. Marriner
- OTHERS:**
- Vancouver Coastal Health Representative - James Whalen
  - RMOW Representative - Chelsey Roberts
- 

**1. CALL TO ORDER**

*Mayor J. Crompton recognized the Resort Municipality of Whistler is grateful to be on the shared, unceded territory of the Lil'wat People, known in their language as Lil'wat7úl, and the Squamish People, known in their language as Skwxwú7mesh. We respect and commit to a deep consideration of their history, culture, stewardship and voice.*

**2. ADOPTION OF AGENDA**

Moved By RMOW Chief Administrative  
Officer, V. Cullen

Seconded By RMOW Manager Protective  
Services, L. DeBou

**That** Emergency Planning Committee adopt the Regular Committee Meeting agenda of January 28th 2025.

CARRIED

**3. ADOPTION OF MINUTES**

Moved By RMOW Manager Protective  
Services, L. DeBou

Seconded By Mayor, J. Crompton

**That** Emergency Planning Committee adopt the Regular Committee Meeting minutes of October 29th 2024.

CARRIED

**4. PRESENTATIONS AND DELEGATIONS**

**4.1 Review of the 2024 House Fires**

Fire Chief T. Doherty shared a presentation on the 2024 house fires.

Gables Fire:

- The Gables is a 16 unit town home.
- Ariel operations fire truck was used to assist.
- Staging officer present to provide fire fighters with health and safety equipment, rehabilitation and refreshments.
- Traffic was stopped on Blackcomb Way due to hoses put across road.
- Hydro cut off power to the units
- Water run off was managed as catch basins can overflow and can cause water damage if not cleared.
- Building department provided plans of the building.

Crabapple Fire:

- Large single family home.
- Salvage Tarps were used due to size
- Only ground ladders were used to fight the fire.



Eagle Drive Fire:

- Fire was through the roof
- Roof was made of metal cladding, making it dangerous with the snow.
- Adjacent units were affected.
- Had to take into consideration there may be illegal construction which may mean additional occupants.

After each fire:

- ESS might be activated for displaced occupants.
- Equipment is checked and serviced for next deployment.
- Fire Hydrants that were used are serviced.
- Cause and Origin report is conducted.

V. Cullen asked how long does it take to set up/stage?

T. Doherty said it depends on the location and time of day. Whistler uses preconnected lines which are quick, and there is 500 gallons of water on the truck, which allows the fire to be suppressed enough for the team to arrive and have equipment set up.

T. Battiston asked if the WorkSafeBC aspect could be shared.

T. Doherty explained during the initial attack stages of an incident at least one firefighter must remain outside. A suitably equipped rescue team of at least 2 firefighters must be established on the scene before sending in a second entry team and not more than 10 minutes after the initial attack fire fighters are not permitted to enter in the building until the two person Rapid Intervention Team (RIT) has arrived. The purpose of a Rapid Intervention Team (RIT) is to locate and rescue lost, trapped, and injured fire fighters at an emergency scene. When a 2 member RIT team is deployed, it should act as a Rescue Stand-By team, and develop a Rescue Action Plan. There is also a staging area required to provide safety equipment such as oxygen tanks.

#### **4.2 Review of the new Terms of Reference**

E. Mariner provided details on the new Terms of Reference for the Emergency Planning committee.

Previously there were 20 committees which were reviewed and this was cut down to 10 committees with 3 of them new committees which council created to align with their priorities.

As each committee was operating differently a review was necessary to make all the committees consistent. An operating guide was established for the recording secretary and a draft Terms of reference was given to each committee to complete.

EPC terms of reference draft was provided to each committee member to review. This includes code of conduct as well as some compensation of members such



as BC ambulance and RCMP who may require more than 1 member to be in attendance.

The expectation for each member to attend 75% of meetings, if a member cannot attend a meeting, then they must notify the recording secretary or chair.

This draft will be going to council to be approved.

#### **4.3 Review of the December 14, 2024 Lions Bay Landslide**

L. DeBou provided a presentation on the Lions Bay Landslide on December 14, 2024.

- ~09:45 HWY 99 at Lions Bay Closed due to landslide.
  - This prompted several internal conversations. between 10:30 and 15:30 as it appeared to be a significant closure.
- ~15:30 EOC activated to provide public messaging and provide ESS support to those stranded.
  - Between 15:30 AND 19:00 there was a lot of activity between many partners including TVW, WB and several hotel providers.
  - A warming shelter was activated at the Fairmont in a conference room.
- ~19:00 Reception Ctr. and group lodging established at Fairmont hotel.
- ~19:00- 08:00: Red Cross, RMOW and Fairmont worked overnight to secure hotel rooms and cots.
- ~05:21am the following morning on December 15th the HWY reopened.

This was a unique EOC as we were not supporting the HWY 99 incident site but we were supporting the ESS branch.

What worked well:

- Fairmont Staff were supportive to get strandeers into all available rooms, provide extra cots, blankets and pillows as well as water, tea, coffee and donuts.
- Use of CRC Remote Surge Team utilized which helped with registration and referrals.
- ESS Trailer worked well to access supplies and stand up the RC & GL centre and tear down quickly
- 13 responders helped support strandeers into the night from RMOW and CRC volunteers

Challenges:

- Unsure of possible numbers of strandeers (normally we have an idea on numbers of residents being evacuated) so it made it difficult to know how many resources & responders to deploy.

- Delayed action due to unclear approval from EMCR regarding hotels and misinformation on HWY reopening.
- Not enough responders to register people that needed support and unable to connect with EOC as stood down by the time this was apparent.
- DOS did not set up an RC or GL, some strandeers mentioned they drove back up from Squamish
- Technology of operating in new environments (Tablets not set up with email/ trouble shooting printing set up)
- Security was not available which made the schools an unviable option
- ESS branch was open and very busy throughout the night and could have used extra support.

Results:

- Total number of strandeers supported: 121 (77 in 31 hotel rooms and 44 in GL) Total number of strandeers registered: 99

**5. OTHER BUSINESS**

*No other business.*

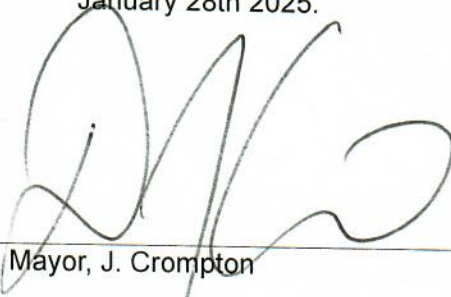
**6. TERMINATION**


Moved By RMOW General Manager  
Corporate Services and Public  
Safety, T. Battiston

Seconded By RMOW Chief Administrative  
Officer, V. Cullen

**That** Emergency Planning Committee terminate the Regular Committee Meeting of January 28th 2025.

CARRIED

  
\_\_\_\_\_  
Mayor, J. Crompton

  
\_\_\_\_\_  
Recording Secretary, C. Burford

## RESORT MUNICIPALITY OF WHISTLER

### PROPERTY AND PARCEL TAX RATES BYLAW NO. 2474, 2025

#### A BYLAW FOR THE LEVYING OF TAX RATES FOR THE YEAR 2025

---

**WHEREAS** pursuant to Section 197 of the *Community Charter*, a council must, by bylaw, impose property value taxes for the year to raise revenue for municipal purposes as outlined in the financial plan and to meet its taxing obligations in relation to another local government or other public body; and

**WHEREAS** pursuant to Section 200 of the *Community Charter*, the Municipality may impose a parcel tax to provide all or part of the funding for the cost of municipal works and services.

**NOW THEREFORE** the Council of the Resort Municipality of Whistler (Municipality), in open meeting assembled, **ENACTS AS FOLLOWS:**

#### CITATION

1. This bylaw may be cited for all purposes as "Property and Parcel Tax Rates Bylaw No. 2474, 2025" (Bylaw).

#### DEFINITIONS

2. In this Bylaw,

**"Parcel"** means a parcel of real property in the Water Benefiting Area and/or Sewer Benefiting Area and includes a strata lot.

**"Sewer Benefitting Area"** means that area of land within the Municipality which benefits or will benefit from the trunk sewer mains and sewage disposal facilities of the Municipality.

**"Water Benefitting Area"** means that area of land within the Municipality which benefits or will benefit from the trunk water mains and water supply systems of the Municipality.

#### PROPERTY TAX RATES

3. The following property tax rates are hereby imposed and levied for the year 2025:
  - a) For all lawful general purposes of the Municipality on the assessed value of land and improvements taxable for general municipal purposes, rates appearing in column A of Schedule A, attached to and forming part of this Bylaw.
  - b) For purposes of the Sea to Sky Regional Hospital District on the assessed value of land and improvements taxable for regional hospital district purposes, rates appearing in column B of Schedule A, attached to and forming part of this Bylaw.

- c) For purposes of the Squamish-Lillooet Regional District on the assessed value of land and improvements taxable for general municipal purposes, rates appearing in column C of Schedule A, attached to and forming part of this Bylaw.

#### **WATER PARCEL TAX**

4. Imposed in the **Water Benefitting Area**, on each **Parcel** with a boundary within one hundred (100) metres of any part of a trunk water main, and for which there is access permitting installation and maintenance of a connecting water line between the **Parcel** and the trunk water main.
5. A charge of three hundred, thirty dollars and nineteen cents (\$330.19) for each **Parcel** is hereby imposed for the year 2025.

#### **SEWER PARCEL TAX**

6. Imposed in the **Sewer Benefitting Area**, on each **Parcel** with a boundary within one hundred (100) metres of any part of a trunk sewer main, and for which there is access permitting installation and maintenance of a connecting sewer line or holding tank between the **Parcel** and the trunk sewer main.
7. A charge of three hundred, fifty-four dollars and twenty cents (\$354.20) for each **Parcel** is hereby imposed for the year 2025.

GIVEN FIRST, SECOND and THIRD READINGS this 22 day of April, 2025.

ADOPTED this \_\_\_\_ day of \_\_\_\_, 2025.

\_\_\_\_\_  
Jack Crompton,  
Mayor

\_\_\_\_\_  
Pauline Lysaght,  
Corporate Officer

I HEREBY CERTIFY that this is a true copy of "Property and Parcel Tax Rates Bylaw No. 2474, 2025".

\_\_\_\_\_

## PROPERTY AND PARCEL TAX RATES BYLAW NO. 2474, 2025

### SCHEDULE A

Property Class		Column A	Column B	Column C
		General Municipal Tax Rate	Hospital District Requisition Rate	Regional District Requisition Rate
01	Residential	1.5083	0.0439	0.0672
02	Utility	35.0000	0.1537	1.5590
05	Industrial	6.7935	0.1493	0.3024
06	Business / Other	6.8511	0.1076	0.3051
08	Recreation	15.0830	0.0439	0.6720

**RESORT MUNICIPALITY OF WHISTLER**

**WATER USER FEE AND REGULATION AMENDMENT BYLAW (2025 RATES) NO.  
2475, 2025**

**A BYLAW TO AMEND THE WATER USER FEE AND REGULATION BYLAW NO.  
1826, 2007**

---

**WHEREAS** the Council has adopted the Resort Municipality of Whistler “Water User Fee and Regulation Bylaw No. 1826, 2007” (Bylaw);

**AND WHEREAS** the Council deems it necessary and expedient to amend the Bylaw.

**NOW THEREFORE** the Council of the Resort Municipality of Whistler in open meeting assembled, **ENACTS AS FOLLOWS:**

**CITATION**

1. This bylaw may be cited for all purposes as the “Water User Fee and Regulation Amendment Bylaw (2025 Rates) No. 2475, 2025” (Amendment Bylaw).

**AMENDMENTS**

2. Effective January 1, 2025, Schedule A of the Bylaw is hereby replaced with the Schedule A, attached to and forming part of this Amendment Bylaw.

GIVEN FIRST, SECOND and THIRD READINGS this 22 day of April, 2025

ADOPTED this \_\_\_\_ day of \_\_\_\_, 2025.

---

Jack Crompton,  
Mayor

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Pauline Lysaght,  
Corporate Officer

I HEREBY CERTIFY that this is a true copy of "Water User Fee and Regulation Amendment Bylaw (2025 Rates) No. 2475, 2025".

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**WATER USER FEE AND REGULATION AMENDMENT BYLAW (2025 RATES) NO. 2475, 2025**

**SCHEDULE A**

**WATER USER FEES**

**FLAT FEE**

1	Single family residential and Bed & Breakfast	138.73
2	Duplex (not strata titled)	
	i) first residential unit	138.73
	ii) each additional unit	467.68
3	Duplex (strata titled), per strata lot	138.73
4	Apartment or Multiple Family Residential parcel (not strata titled)	
	i) first residential unit	138.73
	ii) each additional unit	467.68
5	Dormitory Housing (any housing unit with a gross floor area of 45 square meters or less located within a non-stratified building containing 10 or more such housing units and normally rented for continuous periods of 30 days or more)	
	i) first residential unit	68.74
	ii) each additional unit	235.68
6	Hotel or Motel (not strata titled)	
	i) first residential unit	138.73
	ii) each additional unit	467.68
7	Pension (not strata titled)	
	i) first residential unit	68.74
	ii) each additional unit	235.68
8	Pension - residential portion	138.73
9	Mobile home parks (not strata titled)	
	i) first rental space	138.73
	ii) each additional space	467.68
10	Trailer, Recreational Vehicles, Campgrounds each space	68.74
11	Apartment of Multiple Family Residential Parcel (strata titled), per strata lot	138.73
12	Hotel or Motel (strata titled), per strata lot	138.73
13	Mobile home parks (strata titled), per strata lot	138.73
14	Schools - each classroom	557.28

**PER SQUARE FOOT**

15	Public restrooms, Laundries, Laundromats, Car Washes, & Breweries	1.96
16	Restaurants, Bars, Lounges, Discotheques, Cabarets, Public Houses	1.16
17	Business, Commercial, Industrial, Hostels, Other	0.48
18	Pools, Aquatic Centres, Waterslides	0.74

**PER HECTARE**

19	Golf courses, Parks, Playgrounds, Ski Runs	1,058.09
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**PER CUBIC METRE**

20	Metered rates (based on metered water volumes)	
	First 6,000 cubic metres	1.03
	Next 12,000 cubic metres	0.79
	Next 24,000 cubic metres	0.64
	Greater than 42,000 cubic metres	0.58

**MINIMUM CHARGE**

21	Minimum annual charge for a strata-titled unit, or the first unit in a non-strata building	99.43
22	Minimum annual charge for each additional dwelling unit in a non-strata building	435.76



**RESORT MUNICIPALITY OF WHISTLER**

**SEWER USER FEE AMENDMENT BYLAW (2025 RATES) NO. 2476, 2025**

**A BYLAW TO AMEND THE "SEWER USER FEE BYLAW NO. 1895, 2009"**

---

**WHEREAS** the Council has adopted the Resort Municipality of Whistler "Sewer User Fee Bylaw No. 1895, 2009" (Bylaw);

**AND WHEREAS** the Council deems it necessary and expedient to amend the Bylaw;

**NOW THEREFORE** the Council of the Resort Municipality of Whistler in open meeting assembled, **ENACTS AS FOLLOWS:**

**CITATION**

1. This Bylaw may be cited for all purposes as the "Sewer User Fee Amendment Bylaw (2025 Rates) No. 2476, 2025" (Amendment Bylaw).

**AMENDMENTS**

2. Effective January 1, 2025, Schedule A of the Bylaw is hereby replaced with Schedule A, attached to and forming part of this Amendment Bylaw.

GIVEN FIRST, SECOND and THIRD READINGS this 22 day of April, 2025.

ADOPTED this \_\_\_\_ day of \_\_\_\_, 2025.

---

Jack Crompton,  
Mayor

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Pauline Lysaght,  
Corporate Officer

I HEREBY CERTIFY that this is a true copy of "Sewer User Fee Amendment Bylaw (2025 Rates) No. 2476, 2025".

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**SEWER USER FEE AMENDMENT BYLAW (2025 RATES) NO. 2476, 2025**

**SCHEDULE A**

**SEWER USER FEES**

**FLAT FEE**

1	Single family residential and Bed & Breakfast	225.28
2	Duplex (not strata titled)	
	i) first residential unit	225.28
	ii) each additional unit	502.11
3	Duplex (strata titled), per strata lot	225.28
4	Apartment or Multiple Family Residential parcel (not strata titled)	
	i) first residential unit	225.28
	ii) each additional unit	502.11
5	Dormitory Housing (any housing unit with a gross floor area of 45 square meters or less located within a non-stratified building containing 10 or more such housing units and normally rented for continuous periods of 30 days or more)	
	i) first residential unit	112.63
	ii) each additional unit	249.71
6	Hotel or Motel (not strata titled)	
	i) first residential unit	225.28
	ii) each additional unit	502.11
7	Pension (not strata titled)	
	i) first residential unit	112.63
	ii) each additional unit	249.71
8	Pension - residential portion	225.28
9	Mobile home parks (not strata titled)	
	i) first rental space	225.28
	ii) each additional space	502.11
10	Trailer, Recreational Vehicles, Campgrounds each space	112.63
11	Apartment of Multiple Family Residential Parcel (strata titled), per strata lot	225.28
12	Hotel or Motel (strata titled), per strata lot	225.28
13	Mobile home parks (strata titled), per strata lot	225.28
14	Schools - each classroom	506.20

**PER SQUARE FOOT**

15	Public restrooms, Laundries, Laundromats, Car Washes, & Breweries	2.83
16	Restaurants, Bars, Lounges, Discotheques, Cabarets, Public Houses	1.35
17	Business, Commercial, Industrial, Hostels, Other	0.38
18	Pools, Aquatic Centres, Waterslides	0.38

**PER CUBIC METRE**

19	Metered rates (based on metered water volumes)	
	First 6,000 cubic metres	1.48
	Next 12,000 cubic metres	1.21
	Next 24,000 cubic metres	0.94
	Greater than 42,000 cubic metres	0.73

**MINIMUM CHARGE**

20	Minimum annual charge for a strata-titled unit, or the first unit in a non-strata building	166.92
21	Minimum annual charge for each additional dwelling unit in a non-strata building	445.13

## **RESORT MUNICIPALITY OF WHISTLER**

### **SOLID WASTE AMENDMENT BYLAW (2025 RATES) NO. 2470, 2025**

#### **A BYLAW TO AMEND THE "SOLID WASTE BYLAW NO. 2139, 2017"**

---

**WHEREAS** the Council has adopted the Resort Municipality of Whistler "Solid Waste Bylaw No. 2139, 2017" (Bylaw);

**AND WHEREAS** the Council deems it necessary and expedient to amend the Bylaw;

**NOW THEREFORE** the Council of the Resort Municipality of Whistler in open meeting assembled, **ENACTS AS FOLLOWS:**

#### **CITATION**

1. This bylaw may be cited for all purposes as the "Solid Waste Amendment Bylaw (2025 Rates) No. 2470, 2025" (Amendment Bylaw).

#### **AMENDMENTS**

2. The Bylaw is amended as follows:
  - a) Replacing Schedule C of the Bylaw with the Schedule C, attached to and forming part of this Amendment Bylaw (Updated Schedule C);
  - b) The Updated Schedule C is effective as of January 1, 2025;
  - c) Adding the following definition to section 3 in alphabetical order:

"duplex" means a residential building consisting of two principal dwelling units placed one above the other or attached side by side.
  - d) In section 3, deleting the definition of "multi-family residential complex" and replacing with the following:

"multi-family residential complex" means a residential building or collection of buildings containing more than two principal dwelling units.
  - e) Deleting section 26 in its entirety and replacing with:

Municipal Depots will only accept waste generated in Whistler from a Detached Dwelling, Duplex, or from a Multi-Family Residential Complex with 11 or less Dwelling Units that pays the Solid Waste Depot Operations Fee outlined in Schedule C of this Bylaw.

GIVEN FIRST, SECOND and THIRD READINGS this 22 day of April, 2025.

ADOPTED this \_\_\_\_ day of \_\_\_\_, 2025.

\_\_\_\_\_  
Jack Crompton,  
Mayor

\_\_\_\_\_  
Pauline Lysaght,  
Corporate Officer

I HEREBY CERTIFY that this is a  
true copy of "Solid Waste  
Amendment Bylaw (2025 Rates) No.  
2470, 2025".

\_\_\_\_\_

**SCHEDULE C**

**SOLID WASTE AMENDMENT BYLAW (2025 RATES) NO. 2470, 2025**

**BIOSOLIDS PROCESSING AND SOLID WASTE DEPOT OPERATIONS FEES/PARCEL TAX**

Each of the below listed fees shall be charged on the annual municipal tax notice and shall be paid by the same due date and subject to the same penalty and penalty dates as the property taxes.

1. Each Parcel, with the exception of parcels designated by BC Assessment as class 1818 Float – Light Duty, with an assessed improvement value greater than zero shall be charged a Biosolids Processing Fee of one hundred and thirty-five dollars and twenty-nine cents (\$135.29) per Parcel.
2. Each Detached Dwelling and Duplex shall be charged a Solid Waste Depot Operations Fee of two hundred and fifty-seven dollars and thirty-one cents (\$257.31) per unit.
3. Each Multi-Family Residential Complex that does not possess on its property commercially serviced organics, recyclables and landfill waste containers, shall be charged a Solid Waste Depot Operations Fee of two hundred and fifty-seven dollars and thirty-one cents (\$257.31) per unit.

Attention: Mayor & Council or Board of Directors, and CAO

As the toxic drug crisis persists, the Ministry of Health (the Ministry) continues to work urgently to expand access to naloxone, which reverses the effects of opioid poisoning. Naloxone is available in two formulations: intramuscular (injectable) and intranasal (nasal). Nasal and injectable naloxone are both effective at reversing opioid poisoning. Nasal naloxone may be a preferred choice in some workplace settings given its ease of use.

The Ministry is encouraging publicly funded organizations to make naloxone available and to equip staff with the training to recognize and respond to suspected drug poisoning. To this end, the Ministry is implementing a **one-time** no-cost initiative to distribute nasal naloxone kits to publicly funded organizations where a toxic drug event may occur.

To receive the no-cost nasal naloxone kits, participating organizations will submit an [order and agreement form](#) confirming their commitment to implement naloxone and meet participation requirements. Needs assessment guidance is provided for consideration as appropriate. Most organizations may order up to 10 kits initially while some organizations that routinely use naloxone may order quantities beyond the 10 that they expect to use by the expiry date of February 2026. Participating organizations will be invited to complete an evaluation survey.

As this is a one-time initiative, participating organizations will need to pursue regular avenues for purchasing naloxone in the future.

We invite you to share this opportunity with relevant departments (such as fire services, by-law units, community centers and recreational centers) in your organization. The details are outlined in the attached invitation to participate. For more information, please contact [naloxonesupplies@gov.bc.ca](mailto:naloxonesupplies@gov.bc.ca)

Sincerely,

Evan Howatson

Executive Director

Overdose Emergency Response

Substance Use Policy Division

Ministry of Health



April 2, 2025

Attention: Mayor & Council or Board of Directors, and CAO

As the toxic drug crisis persists, the Ministry of Health (the Ministry) continues to work urgently to expand access to naloxone, which reverses the effects of opioid poisoning. Naloxone is available in two formulations: intramuscular (injectable) and intranasal (nasal). Nasal and injectable naloxone are both effective at reversing opioid poisoning. Nasal naloxone may be a preferred choice in some workplace settings given its ease of use.

The Ministry is encouraging publicly funded organizations to make naloxone available and to equip staff with the training to recognize and respond to suspected drug poisoning. Having naloxone available in the workplace may also create opportunities to foster education and conversations about drug use, while promoting safety, protecting community members and encouraging proactive awareness.

To this end, the Ministry is implementing a **one-time** no-cost initiative to distribute nasal naloxone kits to publicly funded organizations where a toxic drug event may occur. The kits are intended for use by staff in the course of their work duties.

To receive the no-cost nasal naloxone kits, participating organizations will submit an order and agreement form confirming their commitment to implement naloxone and meet participation requirements. Needs assessment guidance is provided for consideration as appropriate. Most organizations may order up to 10 kits initially while some organizations that routinely use naloxone may order quantities beyond the 10 that they expect to use by the expiry date of February 2026. Participating organizations will be invited to complete an evaluation survey.

As this is a one-time initiative, participating organizations will need to pursue regular avenues for purchasing naloxone in the future.

We invite you to share this opportunity with relevant departments (such as fire services, by-law units, community centers and recreational centers) in your organization. The details are outlined in the attached invitation to participate. For more information, please contact [naloxonesupplies@gov.bc.ca](mailto:naloxonesupplies@gov.bc.ca)

Sincerely,

Evan Howatson  
Executive Director



## Invitation to participate in the Workplace Nasal Naloxone Pilot Initiative

We invite your organization to access no-cost nasal naloxone kits through this initiative. To do so, you will need to:

- review the needs assessment guidance (page 3) and complete the **Naloxone Needs Assessment Decision-Making Template** (page 4) to determine whether your workplace needs naloxone, if procuring naloxone for the first time
- commit to naloxone implementation steps including a free online course for staff expected to administer naloxone (such as occupational first aid attendants)
- commit to submitting a report when a kit is used and participating in an evaluation survey at the conclusion of the pilot

Organizations may order up to 10 kits per location or site (as applicable) while those that routinely use naloxone may order quantities they expect to use by February 2026 (expiry date). Allocation will depend on availability.

As this is a **one-time initiative**, participating organizations will need to pursue regular avenues for purchasing naloxone in the future.

Submit your order through this [order and agreement form](#). For more information, please contact [naloxonesupplies@gov.bc.ca](mailto:naloxonesupplies@gov.bc.ca).

## NALOXONE NEEDS ASSESSMENT DECISION-MAKING

### Organizational Drug Poisoning Needs Assessment Considerations

The decision as to whether your organization should obtain naloxone should be based on the likelihood that staff will encounter an individual who is at risk of an opioid poisoning, AND the potential consequence of not having naloxone available should an opioid poisoning occur.

#### ***Likelihood of encountering an individual who has experienced drug poisoning***

- Have staff ever responded to a drug poisoning on site?
- Do staff regularly encounter people who have experienced a drug poisoning somewhere else?
- Do staff regularly encounter people who may use drugs?
- Do staff regularly encounter people in recovery from a substance use disorder?
- Do staff regularly encounter illegal/illicit drugs or unknown substances?

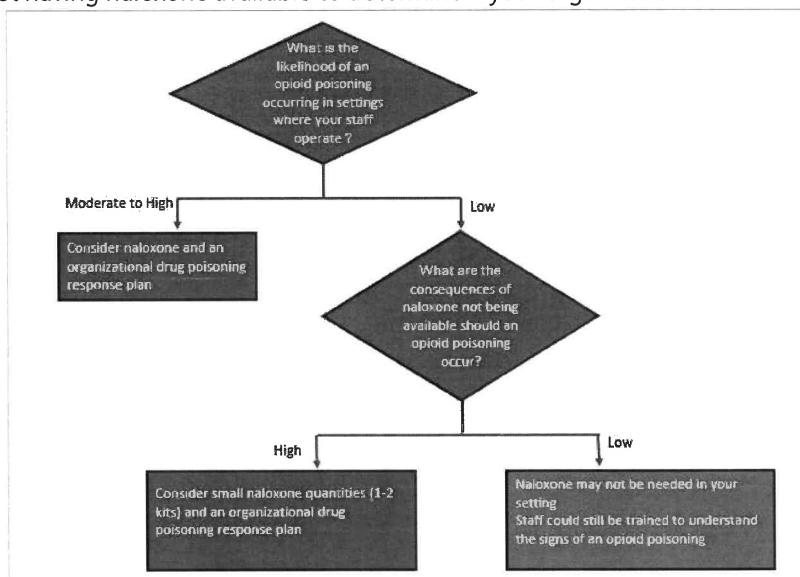
If you determine that the likelihood of encountering someone experiencing a drug poisoning is moderate to high, naloxone should be acquired and protocols should be developed to prepare staff to respond to a drug poisoning. If the likelihood is low, consider the consequences of not having naloxone available in your setting should someone experience a drug poisoning.

#### ***Potential consequences of not having naloxone available***

- How long would it take for emergency medical personnel to arrive and administer naloxone? Every minute in which a person is not breathing increases the likelihood of death or irreversible brain damage. If naloxone were available onsite, could it be retrieved and used faster than emergency medical personnel could arrive?
- Are staff trained, willing, and able to provide breaths while waiting for emergency medical personnel to arrive? Providing breaths can prevent brain damage and death even if there is a delay in administering naloxone. If responders are able and willing to provide breaths, it should be part of every drug poisoning response, even if naloxone is used.
- Does your organization have a mandated duty to provide care for clients?
- Are there public or community expectations with regard to naloxone being available in this setting?

#### ***Weighing likelihood and consequence***

Use your assessment of (i) the likelihood of someone witnessing an opioid poisoning and (ii) the consequence of not having naloxone available to determine if your organization should consider stocking naloxone in your setting.



Use the Naloxone Needs Assessment Decision-Making Template on the next page to detail your decision making on naloxone.

## Naloxone Needs Assessment Decision-Making Template

This template provides a way to assess the need for your organization to stock naloxone and train staff, for your purposes only. Complete and file per your organization's guidelines.

<b>Organization:</b>	<b>Date:</b>
<b>Risk:</b> [list all staff, client groups, and members of the public who may be at risk of drug poisoning]	
<b>Risk Identification and Mitigation Strategies:</b> [provide an overview of risk for staff or clients/members of the public, and risk mitigation strategies as well as gaps that may exist]	
<b>Likelihood of a drug poisoning in this setting: High/Low (circle one) Comments:</b>	
<b>Consequence of a drug poisoning in the absence of naloxone in this setting: High/Low (circle one) Comments:</b>	
<b>Recommendations:</b>	
<b>We recognize that if this assessment identifies we should stock naloxone, all staff expected to use it will be trained on how to safely respond to a drug poisoning and administer naloxone (please check)</b> <input type="checkbox"/>	

Recommended resource when thinking about preparing for overdoses in your organization: [The First Seven Minutes Overdose Prevention](#)

Dear Mayor and Council:

To remind, last December 31 there were a couple hundred persons partying on the spit on Green Lake. They left a huge mess which included, beer bottles, glass, drug paraphernalia, etc.

Now that the snow has melted, there is a a lot of small debris exposed on the ground, centered on the southern part next to the wildlife fence and around the bushes.

I recommend that the city clean up this area and bring a crew with rakes etc. Also, a trash can at the entrance at the Spit would be helpful.

Also for next December 31, I suggest that the city formulate a plan to restrict this area for New Year's and and also **enforce** the closure. The damage and mess left was extensive.

Thank You

Ronald A. Zisman

Whistler, B.C.

Dear Mayor & Council,

I write today on behalf of the Whistler Skating Club with a letter of sincere thanks for the recent grant awarded via the Community Enrichment Program.

The CEP grants may seem like small amounts but sporting clubs and non-profits like ours rely on these grants to stay afloat. We could not operate without them the funding helps us keep our fees affordable for local families while still being able to pay our well deserving coaches a living wage. We really appreciate that the RMOW has identified the need to support organizations of all sizes and from such a diverse range of interests. The CEP grants do indeed enrich our Whistler community and we are all grateful for the support.

Thank you for helping make Whistler such a great place to live.

Ben Thomas  
President

Whistler Skating Club

Dear Council,

I hope this message finds you well.

I am writing to express my sincere gratitude for the opportunity to apply for the CEP grant. I understand that our application was not considered due to the absence of financial statements. As a newly established nonprofit organization, we are still in the early stages of development and do not yet have formal financial statements. However, we do have alternative financial documentation that we would be more than happy to provide for your review.

To clarify, the funding we mentioned in our application is from a successful fundraiser we organized, raising \$2,500, and a personal investment from Krista Scott, our founder, to ensure the trial of our project could proceed. We would be deeply grateful for the opportunity to submit any additional financial details or records that may be required to meet the necessary criteria for reconsideration.

We are committed to being as transparent and thorough as possible in our efforts to comply with the requirements, and we would appreciate any guidance you could provide on how we can move forward.

Thank you again for your time, consideration, and the important work you do in supporting nonprofits like ours. We are hopeful for the chance to move forward and look forward to hearing from you.

Kind Regards,

Krista Scott

Slope Side Support Society



*City of Pitt Meadows*  
OFFICE OF THE MAYOR

April 15, 2025

File No: 01-0400-50/25

To: Elected Officials attending the LMLGA 2025 Conference & AGM.

**City of Pitt Meadows resolution to call on the Government of British Columbia to increase funding for agriculture in the province**

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On behalf of the City of Pitt Meadows' Council, our attending City Councillors are looking forward to the upcoming Lower Mainland Local Government Association's 2025 Conference and AGM with you in April/May.

Aligned with the City of Pitt Meadows' Strategic Plan—and with this year's conference theme, "Building Stronger Communities"—I am writing you to raise awareness of the resolution we are asking for your endorsement. Please help us in calling on the Government of British Columbia to increase funding for agriculture in the province.

The City continues to pursue the priorities outlined in our Agricultural Viability Strategy. According to the B.C. Agricultural Council (BCAC), B.C.'s five-year average of public spending on agriculture, as a portion of agriculture's contribution to GDP, was approximately 2.5 percent—the lowest of all provinces and well below the Canadian historical average of 12 percent. A significant increase in provincial agricultural funding could be invested in much-needed programs and support to make the agricultural sector more viable.

**We are asking that you please endorse the following resolution:**

***R12 – Increased Ministry Funding for Agriculture***

In Pitt Meadows, we are committed to a thriving and resilient agricultural sector. Increasing investment in agriculture is imperative to ensure the long-term sustainability of our farms, food producers and rural communities.

- 2 -

By aligning funding with the national average, the Province can demonstrate its commitment to a resilient, thriving agricultural sector that supports families, businesses and food security for all British Columbians. We hope to receive your endorsement.

For more information, please visit [www.pittmeadows.ca/ubcm-resolution-2025](http://www.pittmeadows.ca/ubcm-resolution-2025).

Thank you in advance for your support,

Yours Truly,

A handwritten signature in black ink, appearing to read 'NM', is positioned above the printed name of the Mayor.

Nicole MacDonald  
Mayor

cc: Pitt Meadows City Council

Attached:     Excerpt from 2025 LMLGA Resolutions Book  
                    Backgrounder - Increased Provincial Funding for Agriculture



## Excerpt from 2025 LMLGA Resolutions Book

*[from p. 14...]*

### **R12- Increased Ministry Funding for Agriculture**

#### **City of Pitt Meadows**

**Whereas** provincial funding for agriculture in British Columbia as a percentage of the sector's contribution to Gross Domestic Product (GDP) is the lowest in Canada;

**And whereas** an increase to the Ministry of Agriculture and Food's budget would demonstrate the province's commitment to food security and the sustainability of agriculture:

**Therefore be it resolved** that UBCM call on the provincial government to raise agriculture funding in BC to the national average to support much-needed investments in the agricultural sector.

#### **Comments:**

*The Resolutions Committee notes that the UBCM membership endorsed resolution 2014-B29 that requested "the provincial government raise(s) agriculture funding in British Columbia to the national average."*

*In addition, the Committee notes that the membership has endorsed several resolutions that seek to support farming and agriculture through a variety of means, including:*

- *2024-NR70 which asked the ALC to update event rules to ensure that farming is the primary use of ALR lands;*
- *2024-NR51 which asked the federal and provincial governments to prioritize funding for regionally tailored agricultural research to develop sustainable solutions for diverse farming challenges across British Columbia;*
- *2018-B105 which sought taxation reform measures to prioritize and promote the use of Agricultural Land Reserve lands for primary 'farm uses'; and*
- *2014-A3 which asked the Province, in part, to identify and implement additional measures that will increase the viability of farming and food production in BC.*

*The Committee also notes that the membership has endorsed several resolutions calling on the Province to ensure food security for British Columbians (2023-NR61, 2022-NR8, 2021-EB70, 2020-EB78, 2019-B66, 2011-B100, 2011-B101).*

#### **Recommendation: Endorse**

## BACKGROUND

### Proposed UBCM Resolution: Increased Ministry Funding for Agriculture

#### Proposed Resolution:

WHEREAS provincial funding for agriculture in British Columbia (BC) as a percentage of the sector's contribution to Gross Domestic Product (GDP) is the lowest in Canada;

AND WHEREAS an increase to the Ministry of Agriculture and Food's budget would demonstrate the province's commitment to food security and the sustainability of agriculture;

THEREFORE BE IT RESOLVED that UBCM call on the Provincial government to raise agriculture funding in BC to the national average to support much-needed investments in the agricultural sector.

The lack of agriculture funding in BC was last raised as an issue at UBCM in 2014 (see Resolution Number B29).

In BC Agricultural Council's (BCAC) BC Agriculture Sector Strategic Priorities (released in 2024), the five year average of public spending as a portion of agriculture's contribution to GDP was reviewed for each province, and BC was last in provincial investment in agriculture, at approximately 2.5% (see Table 1 below):

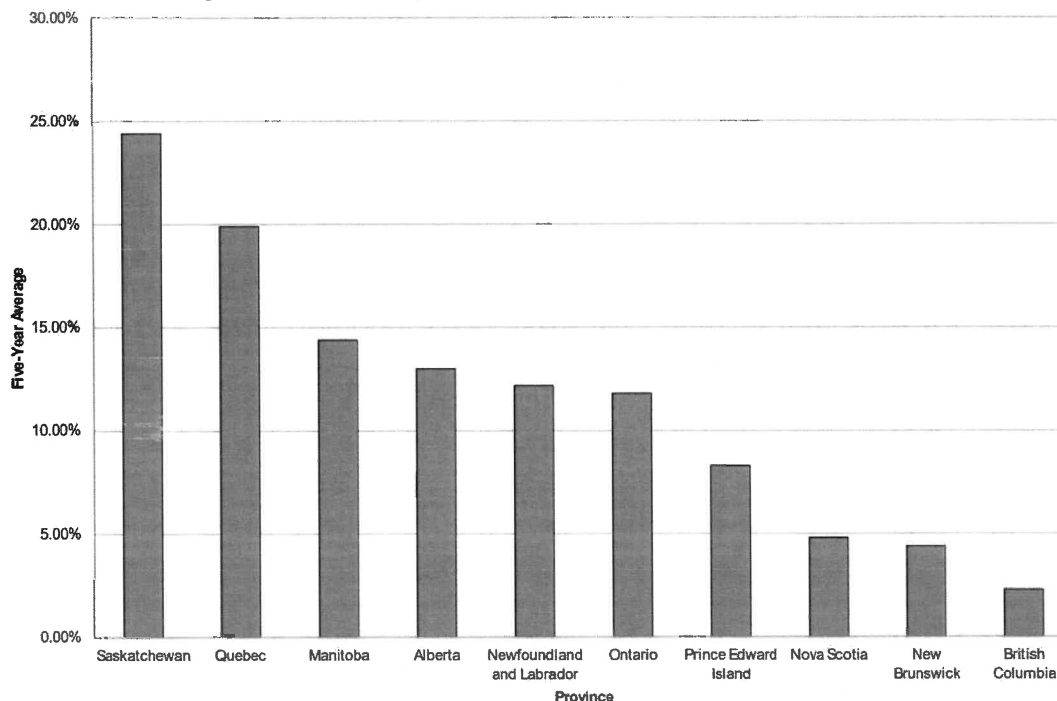


Table 1 – Five-Year Average of Public Spending on Agriculture by Province

The Canada-wide historical average of direct investment in agriculture is approximately 12%. Addressing this investment gap in BC would help level the playing field for BC producers and help to keep them in BC, rather than being attracted to other provinces where agriculture is prioritized.

An increase in provincial agricultural funding could be invested in much needed programs and support for:

- Regional water sustainability plans, agricultural water reserves, and upgrades to water infrastructure storage to help alleviate the increasing water shortages brought on by climate change;
- Emergency management programs and training for agricultural liaisons during emergency events, which are becoming more frequent due to climate change;
- Programs to provide immediate economic relief for producers who have experienced adverse climate and emergency events;
- Incentives, funding programs, and tax exemptions to enhance the viability of the agricultural sector;
- Programs for wage subsidies for farm workers to ensure a stable labour force; and
- Additional Ministry staffing to support the above-mentioned programs and improve much needed regulatory enforcement.

The economic viability of farming is in jeopardy in BC. Increasing the amount of funding invested into supporting agriculture would help keep producers in BC, keep the sector viable, and protect local food security.



### Landmark Lighting Request Form

Please complete the form and scan/email to [corporate@whistler.ca](mailto:corporate@whistler.ca) along with your cover letter addressed "To Mayor and Council" with information regarding your campaign or cause.

We will contact you to confirm the status of your request.

<b>Contact Name</b>	Michelle Gallant
<b>Organization</b>	BC Schizophrenia Society
<b>Business Address</b>	1100 - 1200 West 73rd Ave
<b>City/Province/Postal Code</b>	Vancouver, BC V6P 6G5
<b>Business Phone Number</b>	604-270-7841
<b>Business Email</b>	events@bcss.org
<b>Website Address</b>	www.bcss.org
<b>Brief description of the event associated with your request - 75 words or less</b> <i>(Information here will be used for communications and the sign on the bridge. RMOW will edit copy if necessary.)</i>	On that day we ask people to wear purple to show their support for those living with schizophrenia as a way to increase awareness.
<b>Optional: Social Media Campaign Title (include hashtags)</b>	#LightUpInPurple #PurpleforSZ #BCSS
<b>Landmark Choice</b>	<input type="checkbox"/> Fitzsimmons Covered Bridge
<b>Date of Event</b>	May 24 2025
<b>Colour Request</b>	Purple

Signature:   
 Date: April 3 2025

This application does not guarantee that your event lighting request will be approved or your date is available.



To Mayor and Council,

On Friday, May 24, 2025, BC Schizophrenia Society will be celebrating National Schizophrenia and Psychosis Awareness Day. On that day we ask people to wear purple to show their support for those living with schizophrenia as a way to increase awareness.

We are reaching out to request your support for this important cause. We kindly ask that the Fitzsimmons Creek Bridge lights up in purple on May 24th, 2025; by doing so, you will be joining us in raising awareness and showing support for those who are affected by Schizophrenia Mental Illness.

Schizophrenia affects 1 in 100 people, with the predominant age of onset between 15 and 25 years old. If treated early, schizophrenia can be managed effectively, allowing for a reasonable quality of life. Even though schizophrenia and other mental illnesses are diseases of the brain, people with mental illnesses and the families that support them face stigma. Schizophrenia Awareness Day aims to smash the stigma and make it possible for people to talk about mental illness without shame.

**Name of organization:** BC Schizophrenia Society

**Contact name:** Michelle Gallant

**Date of event:** May 24, 2025

**Address:** 1100 – 1200 W. 73rd Avenue, Vancouver, BC

**Phone number:** 604-270-7841

**Facebook:** British Columbia Schizophrenia Society

**Instagram:** bcschizophrenia

**Twitter:** BCSchizophrenia

**Hashtags:** [#LightUpInPurple](#) [#PurpleforSZ](#) [#BCSS](#)

Thank you for your consideration.

Warm regards,

Michelle Gallant

**Events Coordinator**

To Mayor and Council,

Food Allergy Canada would like to submit an illumination request to light the Fitzsimmons Covered Bridge teal for Food Allergy Awareness Month – a nationally recognized annual event that is recognized by Parliament. Here is a link to a past message from the Minister of Health for National Food Allergy Awareness Month: <https://www.canada.ca/en/health-canada/news/2022/05/message-from-the-minister-of-health--food-allergy-and-celiac-awareness-months.html>

Food allergies directly affect more than 3 million Canadians. Since teal is the colour associated with food allergy, lighting will help to create awareness of food allergies on a national scale. We will use the lighting to draw attention and interest from outside the community.

We will be promoting lightings via email to our members (70k) + through social media (44k) + on our website (65k impressions per month). Our social media handles are @foodallergyca on X, @food\_allergy\_canada on Instagram, and @foodallergycanada on Facebook. Our hashtags for this campaign are #ShineATealLight, #LightlTeal, #FAAM and #AllergyAware.

We are happy to submit any additional information required for this request.

Thanks in advance,

Katherine MacDonald



## Landmark Lighting Request Form

Please complete the form and scan/email to [corporate@whistler.ca](mailto:corporate@whistler.ca) along with your cover letter addressed "To Mayor and Council" with information regarding your campaign or cause.

We will contact you to confirm the status of your request.

<b>Contact Name</b>	Katherine MacDonald
<b>Organization</b>	Food Allergy Canada
<b>Business Address</b>	505 Consumers Road, Suite 507
<b>City/Province/Postal Code</b>	Toronto, Ontario, M2J 4V8
<b>Business Phone Number</b>	647-952-4856
<b>Business Email</b>	kmacdonald@foodallergycanada.ca
<b>Website Address</b>	foodallergycanada.ca
<b>Brief description of the event associated with your request - 75 words or less</b> <i>(Information here will be used for communications and the sign on the bridge. RMOW will edit copy if necessary.)</i>	Food Allergy Awareness Month is a nationally recognized annual event that is recognized by Parliament. Food allergies directly affect more than 3 million Canadians. Since teal is the colour associated with food allergy, lighting will help to create awareness of food allergies on a national scale. We will use the lighting to draw attention and interest from outside the community.
<b>Optional: Social Media Campaign Title (include hashtags)</b>	Food Allergy Awareness Month - #ShineATealLight, #TurnItTeal, #FAAM and #AllergyAware
<b>Landmark Choice</b>	<input checked="" type="checkbox"/> <b>Fitzsimmons Covered Bridge</b>
<b>Date of Event</b>	May 26, 2025
<b>Colour Request</b>	Teal

Signature: K. MacDonald

Date: April 4, 2025

This application does not guarantee that your event lighting request will be approved or your date is available.



## Landmark Lighting Request Form

Please complete the form and scan/email to [corporate@whistler.ca](mailto:corporate@whistler.ca) along with your cover letter addressed "To Mayor and Council" with information regarding your campaign or cause.

We will contact you to confirm the status of your request.

<b>Contact Name</b>	Amanda Wong
<b>Organization</b>	Brain Tumour Foundation of Canada
<b>Business Address</b>	205 Horton St E, Suite 203, London, ON
<b>City/Province/Postal Code</b>	London / Ontario / N6B 1K7
<b>Business Phone Number</b>	
<b>Business Email</b>	awong@braintumour.ca
<b>Website Address</b>	www.braintumour.ca/btam
<b>Brief description of the event associated with your request - 75 words or less</b> <i>(Information here will be used for communications and the sign on the bridge. RMOW will edit copy if necessary.)</i>	May is Brain Tumour Awareness Month in Canada. Brain Tumour Awareness Month is dedicated to increasing awareness, advancing research, and supporting everyone affected by brain tumours. It is an opportunity to unite as a collective force, raise our voices, and create positive change.
<b>Optional: Social Media Campaign Title (include hashtags)</b>	
<b>Landmark Choice</b>	<input checked="" type="checkbox"/> Fitzsimmons Covered Bridge
<b>Date of Event</b>	May 27, 2025
<b>Colour Request</b>	Orange and Blue (if unavailable, just orange)

Signature: Amanda

Digitally signed by Amanda  
Date: 2025.04.10 13:17:51 -04'00'

Date: April 10, 2025

This application does not guarantee that your event lighting request will be approved or your date is available.





## Lighting Request for 2025 National Injury Prevention Day

Fitzsimmons Covered Bridge  
c/o Whistler, BC

April 11, 2025

On behalf of the Parachute team, thank you for your support in lighting up green during last year's National Injury Prevention Day (NIPD) and spreading awareness of injury prevention. NIPD 2024 was a success, with 93 other Canadian landmarks joining you in lighting up Parachute "safety green"!

Last year we also received tremendous support all across Canada, with the event gaining more than 13.8 million impressions **in news outlets and in social media** for our hashtags **#ParachuteNIPD** and **#TurnSafetyOn**, as people shared messages and landmark lightups.

This year, Monday July 7, 2025 will mark the 9<sup>th</sup> annual **National Injury Prevention Day**: a day to raise awareness of preventable injuries and aid Canadians to live long lives to the fullest through education and advocacy. Please note that in the past we have marked NIPD on July 5 but, when this date falls on a weekend, we move to the following Monday. This year, that's July 7.

The Parachute team are hoping that we can count on your support once again to light up Parachute "safety green" in honour of **National Injury Prevention Day** on Monday July 7, 2025.

**Date:** Monday July 7, 2025

**Colour:** Green

**Organization:** Parachute

[National Injury Prevention Day has been recognized by Health Canada as a national health promotion day.](#)

### About Parachute:

Parachute is Canada's national charity dedicated to reducing the devastating impact of preventable injuries. Injury is the No. 1 killer of Canadians aged 1 to 44 and costs the Canadian economy \$29.4 billion annually. Through education and advocacy, Parachute is working to save lives and create a Canada free of serious injuries. For more information, visit us at [parachute.ca](https://parachute.ca) and follow us on [X](#), [Facebook](#), [Instagram](#), [LinkedIn](#) and [Bluesky](#).

Any questions? Contact:

**David Wilson**

Parachute

[dwilson@parachute.ca](mailto:dwilson@parachute.ca)

647-776-5107



## Landmark Lighting Request Form

Please complete the form and scan/email to [corporate@whistler.ca](mailto:corporate@whistler.ca) along with your cover letter addressed "To Mayor and Council" with information regarding your campaign or cause.

We will contact you to confirm the status of your request.

Contact Name	David Wilson
Organization	Parachute Leaders In Injury Prevention
Business Address	300-150 Eglinton Ave East
City/Province/Postal Code	Toronto, ON M4P 1E8
Business Phone Number	674-776-5100
Business Email	dwilson@parachute.ca
Website Address	www.parachute.ca
Brief description of the event associated with your request - 75 words or less <i>(Information here will be used for communications and the sign on the bridge. RMOW will edit copy if necessary.)</i>	This year, Monday July 7, 2025 will mark the 9th annual National Injury Prevention Day: a day to raise awareness of preventable injuries and aid Canadians to live long lives to the fullest through education and advocacy. National Injury Prevention Day has been recognized by Health Canada as a national health promotion day.
Optional: Social Media Campaign Title <i>(include hashtags)</i>	National Injury Prevention Day #ParachuteNIPD #TurnSafetyOn
Landmark Choice	<input checked="" type="checkbox"/> Fitzsimmons Covered Bridge
Date of Event	Monday July 7 2025
Colour Request	Green

Signature: 

Date: Apr. 9 / 25

This application does not guarantee that your event lighting request will be approved or your date is available.



## Landmark Lighting Request Form

Please complete the form and scan/email to [corporate@whistler.ca](mailto:corporate@whistler.ca) along with your cover letter addressed "To Mayor and Council" with information regarding your campaign or cause.

We will contact you to confirm the status of your request.

<b>Contact Name</b>	Teresa Klassen
<b>Organization</b>	VCH - Whistler Health Care Center
<b>Business Address</b>	4380 Lorimer Road
<b>City/Province/Postal Code</b>	Whistler, BC, V8E 1A7
<b>Business Phone Number</b>	(604) 935-5978
<b>Business Email</b>	teresa.klassen@vch.ca
<b>Website Address</b>	
<b>Brief description of the event associated with your request - 75 words or less</b> <i>(Information here will be used for communications and the sign on the bridge. RMOW will edit copy if necessary.)</i>	National Nurses Week is May 12-18th, 2025. The week starts by celebrating International Nurses Day on May 12--the birthday of Florence Nightengale, the pioneer of modern nursing.  "This week highlights the incredible impact nurses have in shaping health care, driving innovation, and advocating for patient-centred care" (Canadian Nurses Association, 2025). Lighting Fitzsimmons bridge in pink and white recognizes the nurses who work at Whistler Health Care Center, caring for those who live and play in our incredible community. Thank you nurses for your dedication to providing best care to all patients; your impact on your patient's lives is everlasting.
<b>Optional: Social Media Campaign Title</b> <i>(include hashtags)</i>	
<b>Landmark Choice</b>	<input type="checkbox"/> <b>Fitzsimmons Covered Bridge</b>
<b>Date of Event</b>	May 17, 2025
<b>Colour Request</b>	Pink and White

**Signature:** Teresa Klassen

**Date:** April 15, 2025

This application does not guarantee that your event lighting request will be approved or your date is available.