

OCP GUIDELINE EVALUATION – DP1820

WHISTLER VILLAGE

- designated for revitalization of an area in which a commercial use is permitted; and
- designated for the establishment of objectives for the form and character of commercial or multi-family residential *development*

(a) The Whistler Village Design Guidelines attached as Schedule T.	See review of Whistler Village Design Guidelines below.
(b) <i>Development</i> , including construction and alterations that will inconvenience or jeopardize the use of public areas in Whistler Village by creating construction noise or the placement of construction materials or barriers in public areas, is not to be carried out between July 1 of any year and September 5 of the same year, except as may be specified in the development permit.	It is recommended that a condition is included on the permits to require that construction undertaken in accordance with a Construction management plan that demonstrates minimal interference with the operation of the area. Can be conditioned.

WILDFIRE PROTECTION

designated for the protection of *development* from hazardous conditions; specifically protection from wildfire

ALL AREAS
The following guidelines apply to all areas shown on Schedule S:

(a) Where a distance is specified by these guidelines for the purpose of establishing an area that should be cleared or remain free of vegetation, the distance should be measured from the outermost part of the building to: <div> (i) the distance specified in the guideline; (ii) the property line, unless permission has been granted by the adjacent property owner; or (iii) the boundary of an <i>environmentally sensitive area</i> unless clearing is carried out in accordance with the recommendations of a <i>QEP</i> and approved in writing by the </div>	Noted.
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<p>municipality's Manager of Environmental Stewardship</p> <p>whichever is closer.</p>	
<p>(b) Where the municipality receives a <i>FireSmart® Assessment</i> in respect of a property which is the subject of an application for a development permit under this section, the municipality may choose to apply, as permit conditions, the recommendations of the report instead of, or in addition to, the guidelines in this section.</p>	<p>Not applicable.</p>
<p>(c) Where these guidelines warrant tree removal preference should be given to:</p> <ul style="list-style-type: none"> (i) retaining the largest and healthiest trees; (ii) removing coniferous vegetation located closest to principal buildings; and (iii) retaining deciduous trees and vegetation. 	<p>Where any tree is required to be removed, it will be replaced with a new deciduous tree.</p>

HIGH RISK AREAS

In areas shown as “High Risk” on Schedule S, the following guidelines apply:

<p>(a) New and existing coniferous vegetation within 10 metres and where practical 20 metres of principal buildings should maintain a typical spacing between tree canopies and between tree canopies and principal buildings of at least 3 metres. This can be achieved by:</p> <ul style="list-style-type: none"> (i) planting/removing conifers to achieve a trunk to trunk or trunk to building spacing of 6 metres or more; or (ii) limbing mature trees, selecting species with narrow canopies or applying similar landscaping techniques to obtain a minimum 3 metre vertical and horizontal separation between tree canopies and between tree canopies and principal buildings. 	<p>The existing coniferous vegetation adjacent to the proposed waste and storage area does not meet the required ‘High Risk’ separation between the tree canopies and proposed ground floor extension. It is proposed that the site is more similar to ‘moderate risk’ as it is surrounded by road, and does not adjoin any coniferous forest. The only native trees nearby are <i>Populus trichocarpa</i> (cottonwood).</p> <p>No new coniferous vegetation is proposed within 6 metres of the building. The Landscape Plan identifies that trees will be pruned in accordance with the OCP guidelines.</p> <p>As the site is located in the Whistler Village, the spacing of existing coniferous vegetation is further discussed in item (d) below.</p>
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<p>(b) Dead branches and twigs should be cleared within 20 metres of principal buildings. Standing dead trees with a caliper of 17 centimetres or more should be topped at 3 metres and cleared of all branches. Where dead branches are attached to logs greater than 17 centimetres wide or trees they should be trimmed to the trunk of the tree or log and in the case of trees, to a height of 2 metres.</p>	<p>The Landscape Plan identifies that trees will be pruned and dead debris removed from existing trees in accordance with the guidelines.</p>
<p>(c) Planting native deciduous trees and shrubs is encouraged especially in cases where coniferous vegetation has been removed.</p>	<p>The proposal includes primarily maple varieties planted around the building addition.</p>
<p>(d) Notwithstanding guideline (a) in areas shown as “High Risk” within Whistler Village, as indicated on Schedule S, the following guidelines will also apply:</p> <ul style="list-style-type: none"> (i) Individual coniferous trees may be located within 3 metres of a building, provided: <ul style="list-style-type: none"> 1. no other conifers are within 6 metres (measured from trunk to trunk) of the conifer; 2. exterior portions of the building fronting the tree's existing and eventual canopy are clad in non-flammable materials such as stone, metal, concrete, masonry or fiber-cement; and 3. building roofing is comprised of metal, clay tile, fibre-cement, asphalt shingle or similar material; wood shakes of any kind are not acceptable. (ii) To preserve coniferous landscaping in Whistler Village, as indicated on Schedule S, landscaped areas, especially landscaped areas beyond 3 metres from a building, should incorporate coniferous trees and 	<p>No new conifers are proposed within 3 metres of the buildings.</p> <p>Some existing conifers are located alongside the proposed ground floor extensions, which includes wooden siding for the waste and storage area, and within 6 metres of other conifers. As identified in item (a) above, the site is more similar to a ‘moderate risk’ environment due to the separation from forested areas and surrounding roads.</p> <p>The existing conifers adjacent to the proposed ground floor extension serve as an important visual treatment to the proposed extension. New deciduous varieties are proposed to be planted in between the existing conifers to ensure an overall mix in vegetation to suit the character of the village.</p>

vegetation so as to achieve an overall mix of coniferous to deciduous trees. Clusters of mature coniferous trees should be <i>spiral pruned</i> .	
(e) The use of bark mulch and similar organic ground cover in landscaped areas within 10 metres of buildings is discouraged.	No bark mulch is proposed within 10 metres of the building.
(f) Exterior building surfaces, including deck surfacing, roofing and cladding, that is situated under, or within 6 metres of, coniferous vegetation should be non-flammable materials such as stone, metal, concrete, masonry or fiber-cement.	<p>The ground floor extension for the waste and storage area is located within 6 metres of existing conifers, and is proposed to be constructed with wood trim and siding to match the existing building.</p> <p>The existing conifers adjacent to the proposed ground floor extension serve as an important visual treatment to the proposed extension.</p> <p>It is proposed that the site is more similar to 'moderate risk' as it is surrounded by road, and does not adjoin any coniferous forest. The only native trees nearby are <i>Populus trichocarpa</i> (cottonwood).</p> <p>The proposed trim for the roof is fiber cement to increase fire resistance. All other materials within proximity to the existing coniferous vegetation are non-flammable or fire resistant.</p>
(g) Fire-resistant or non-flammable cladding that is consistent with mountain character (e.g., fiber-cement siding, stone, logs or heavy timbers) is encouraged. Stucco and vinyl siding are discouraged.	As identified above, the ground floor extension for the waste and storage area is proposed to be constructed with wood trim and siding to match the existing building. All other materials are non-flammable or fire resistant.
(h) Windows and doors should utilize double-paned or triple-paned glass; tempered glass is ideal, and single pane glass is discouraged.	The proposed ground floor extension includes a hollow metal door and metal garage door.
(i) Eaves should be closed and vents screened with 3 millimetre wire mesh.	Can be conditioned.
(j) The undersides of balconies, decks or open foundations should be sheathed with fire-resistant materials.	No above ground balconies or decks are proposed.
(k) Auxiliary buildings and fuel tanks should be located as far away from principal buildings as possible. A distance of 15 metres or more is ideal. Where a distance of 15 metres or more is impractical, guidelines in this section that apply to principal buildings should be applied to accessory buildings.	No auxiliary buildings or fuel tanks are proposed.

(l) Chimneys for wood burning fireplaces should have spark arrestors.	No new chimneys proposed.
(m) Gutters should be made of metal.	Noted.
(n) Cladding should be free of gaps and holes and separated from the ground with a minimum of 15 centimeters of non-combustible ground to siding clearance.	The proposed cladding does not include any holes or gaps, and the area of siding closest to the ground is a solid wooden construction.

SCHEDULE T

Objectives

To foster Whistler Village’s unique character and sense of place, the following objectives should be considered in all development:

1. Maintain the high standard of urban design, architecture and landscape architecture, which is the trademark of the Village and the basis for its success with visitors.	The proposed ground floor extension will contribute to the high standard of urban design, architecture and landscape architecture of the Village.
2. Consider that Whistler is a year-round destination resort. Respond to the existing and future needs and interests of a broad range of visitors and residents through the four seasons.	The proposed ground floor extension will provide storage and waste management areas indoors that are protected from the climatic elements.
3. Build upon the sense of a small and dynamic town centre that has grown and continues to evolve, while ensuring that all development is planned and designed as an integral part of the Village.	The proposal creates visual interest by screening the existing waste storage in the loading area to from the Whistler Way.
4. Create a street scene with significant texture in building façades. Maintain variety in the size of building sites and developments, and design larger buildings as a series of smaller modules.	The proposed ground floor extensions will add further modulation to the form of the building to ensure variety in the size and form.
5. Create a “user-friendly” atmosphere in the Village: continue the prominent pedestrian orientation and provide <i>open space</i> amenities (e.g., outdoor seating areas, activity areas, site features) that will contribute to its success.	The proposed extension to the ground floor of the restaurant building improves visual interest along the pedestrian pathway adjacent to Whistler Way. This contributes to the success of the outdoor areas as part of Whistler’s user friendly areas.

6. Organize spaces, orient buildings and continue the scale of the Village to maximize mountain views and sunlight in public spaces.	The proposed extension to the ground floor of the restaurant building does not impact the mountain views or access to sunlight in public spaces.
7. Express individuality, yet contribute to the image of a cohesive village. To reinforce mountain village character, some uniformity of form, scale, proportion, texture, materials and colour is necessary.	The colours and materials used for the proposed additions maintain the village character, which differentiating the restaurant building from the existing hotel building on the parcel. The form and scale of the restaurant building remains consistent with the existing character of Whistler Village.
8. Build on the existing character and image (i.e., “mountain village”) built by local craftsmen of local materials, incorporating elements of West Coast architecture.	The materials and architectural design remain consistent with character of the village.
9. Respond to extreme climatic conditions, intensive use and the surrounding mountain environment.	The proposed materials will match the existing building, be of a weather resistant construction, and will not be impacted by the climate conditions in the area.
10. Provide substantial landscape planting throughout the Village that links to the mountain environment and creates seasonal variety in colour and texture. Manage this landscape over time to complement the built environment.	The proposal includes additional landscaping as shown in the Landscape Plan. The proposed landscaping is consistent with the mountain environment and includes deciduous trees to add seasonal varieties to increase interest.
11. Create a fully accessible and inclusive built environment.	The proposed patios do not negatively impact the accessibility or inclusivity of the site. Accessible entrances and parking is provided as part of the existing restaurant building.

SITE PLANNING

Building Siting, Form and Massing

The size and massing of development sites in Whistler Village varies, with each site being unique depending on its location and context. The siting, form and massing of buildings in Whistler Village were established through a master planning process to create a pedestrian-oriented town centre with a “village scale”. All development should consider the original master plan and maintain the scale, structure and organization of buildings, as described in these guidelines. There are limited opportunities for increases in building massing. Building siting, form and massing should be responsive to:

1. the overall Village development context, scale, structure and organization;	The proposed ground floor extension provides further visual interest to the property when viewed by the adjacent streets. The building form
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	is consistent with the overall form of Whistler Village.
2. adjacent development;	The proposed addition to the ground floor is achieved by enclosing part of the loading area. The proposed development is within the already developed areas of the site and does not impact adjacent development.
3. pedestrian and vehicular access and circulation;	The proposed extension does not impact the pedestrian and vehicular access to the site.
4. topography;	The impacted area has already been developed, and the works fit with the existing topography of the site.
5. geology or soil conditions;	The impacted area has already been developed. Geology and soil conditions are not expected to be impacted.
6. hydrology, drainage and floodplain considerations;	The impacted area has already been developed. Hydrology, drainage and floodplain are not expected to be impacted.
7. vegetation;	The proposed development footprint has already been developed and disturbed. Additional vegetation is proposed to screen the new addition.
8. views and view corridors;	The siting, form and massing will not impact significant views within and from the village.
9. solar and micro-climatic considerations; and	The proposed addition will include two windows to allow solar penetration during the day time. The form and scale will not impact the solar and climatic considerations for adjoining buildings or adjacent areas.
10. seasonal response and snow management.	The ground floor extension will not impact snow management for the site or surrounding area.

Encroachments onto public lands beyond the property line should be noted on the drawings and considered by the municipality at an early design stage.

PEDESTRIAN AND OUTDOOR ACTIVITY AREAS

The scale, quality and continuity of the pedestrian spaces are instrumental to the pedestrian experience and are of highest priority.

The unifying element of the Village is the central pedestrian mall, which comprises the pedestrian Stroll and plaza areas. Buildings and landscape forms should create a sequence of stopping and sitting places along this space.

<p>1. Provide inclusivity and choice</p> <p>For ease of pedestrian movement throughout the Village, provide a pedestrian system that offers diversity and choices, and includes accessible routes to a universally acceptable standard.</p> <p>Trail connections should be maintained and strengthened. The municipality may accept or encourage the dedication of public trails to promote pedestrian movement.</p>	<p>The proposed development is not located on the pedestrian mall within the village. The proposed works do not impact the public pedestrian network adjacent to the site.</p> <p>It is noted that a Statutory Right of Way is being required over part of the pedestrian pathway to provide access to Highway 99 as part of the rezoning application for RZ1171.</p>
<p>2. Create outdoor activity areas</p> <p>Provide visible outdoor activity areas accommodating a range of ages and activities to reinforce social activity and interaction.</p> <p>Seating areas and restaurants overlooking pedestrian areas create special comfort areas and are encouraged to contribute to the social life and vitality of the Village. Optimal locations for restaurant patios are adjacent to a plaza, a pedestrian crossroad, or a bend on the central pedestrian mall. These locations should be preserved, as they help to activate the pedestrian mall, leverage views and sun exposure, create view terminuses, and create an active and interesting environment to entice people to walk further along the pedestrian mall.</p> <p>In some instances, there may be overall advantages to the pedestrian experience for an extension of a restaurant patio or other individual property use into the pedestrian mall. Such proposals will be considered on an individual basis by the municipality.</p>	<p>The proposed ground floor addition does not impact the outdoor activity areas. The patio improvements proposed by different DP applications will create additional usable outdoor area associated with the restaurant building. The proposed development improves the outdoor activity areas on the site.</p>
<p>3. Preserve solar access</p> <p>Building volumetrics should preserve and enhance year-round sunlight on pedestrian and outdoor activity areas and neighbouring indoor spaces. To encourage winter use, design building volumetrics to create sheltered sunny pockets in public spaces.</p> <p>Landscape features and plantings should provide for maximum solar access.</p> <p>Detailed solar access guidelines applicable to the original Whistler Village area are provided in the Whistler Village Solar Access Protection Guidelines, attached as Appendix A.</p>	<p>With the exception of the extension to the ground floor, the roof form of the building is not modified as part of this proposal. The proposed extension is single storey only, and features a flat roof. The solar access to pedestrian and outdoor areas is preserved.</p>
<p>4. Preserve and enhance views</p> <p>Preserve and enhance public views to the mountains and the natural landscape beyond the Village precinct. Public views are views from public locations within and adjacent to Whistler Village that contain view characteristics that make a positive contribution to the aesthetics, character, identity or image of Whistler and contain special view features to protect (e.g., ski runs, ski lifts, peaks, ridgelines, mountainsides).</p> <p>Detailed guidelines applicable to the original Whistler Village area are provided in the Whistler Village View Protection Guidelines, attached as Appendix B.</p> <p>Development within the other areas of Whistler Village should meet the same criteria and guidelines established in Appendix B.</p>	<p>The siting and form for the proposed extension will not impact significant views within and from the village.</p>



Drainage

The very heavy snowfalls and precipitation of the Whistler area require special attention to drainage.

1. Site drainage No surface drainage should be directed off the site. Runoff from impervious surfaces such as roofs and pavement areas should be collected and directed to planting areas or drains. Internal storm drainage or stormwater retention may be required.	The proposed development does not direct any additional storm water runoff off the site. The only new roofing proposed is the flat roof of the ground floor extension. Stormwater from the roof is directed to the adjoining garden beds.
2. Area drains Positive drainage of all public and private plaza and walkway areas is required. Drains should be full catch basins or trench drains. Balcony floor type drains are not acceptable.	No changes to drainage are proposed.

Servicing Infrastructure

The predominant pedestrian orientation and compactness of the Village warrants special consideration to servicing infrastructure.

3. Locate and design unobtrusive service bays and loading

Locate service bays within the building or parking structure. If exterior service bays are necessary, avoid locations visible to the central pedestrian mall and main entrances to hotels or commercial businesses and provide permanent visual screening. Organize service vehicle access, circulation, queuing and loading to address functionality and aesthetics, and minimize impacts on the pedestrian experience.	The proposed extension to the ground floor for the waste and storage area encloses part of the existing loading area of the restaurant building. The remaining loading area meets the requirements under the Zoning and Parking Bylaw No. 303, 2015. The proposed extension screens the waste management area from Whistler Way.
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4. Design durable service bays

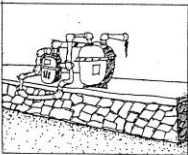
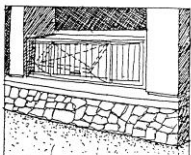
Select materials to withstand wear and tear. Design service bay entries to prevent ice and snow build-up.	The construction material matches the existing building and is capable of withstanding wear and tear.
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5. Provide adequate solid waste storage

Solid waste storage should be integrated with the site and building design, contained within the building or suitably screened, and adequately sized to meet the needs of uses on the site. Ventilation should be provided (i.e., exhaust to roof).	The proposed ground floor extension provides additional solid waste storage areas, and ensures that they are screened from Whistler Way. The solid waste area is suitably sized to meet the Solid Waste Bylaw. No new roof ventilation is proposed for the Solid Waste Storage Area, though the building addition is enclosed with a metal gate at the
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	front which will allow penetration of air through the waste area.
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6. Minimize the visual impact of utilities

<p>Confirm locations at an early stage of the design process and locate utilities such as transformers, condensers and utility meters outside the viewscape of the pedestrian realm, or screen with planting or other landscape features.</p> <p>Incorporate fire hose connections and utility meters directly into exterior building walls to avoid damage from snow clearing.</p> <div>   </div>	<p>No new utilities are proposed in visible locations.</p>
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Site Design

Pedestrian Mall

<p>1. Create variety and continuity of interest at ground level</p> <p>The pedestrian experience includes stopping, sitting, looking, strolling, as well as walking with directness to distant destinations. As such, the pedestrian system should have variation in width and character. There should be small places for sitting, as well as larger gathering places for groups of people with potential to accommodate street entertainers and small events. Pedestrian movement should be able to pass comfortably around entertainment places.</p>	<p>The proposed development is not located on the pedestrian mall within the village. The proposed works contribute to a varied and interesting ground level, and does not inhibit the movement of pedestrians.</p>
<p>2. Consider views</p> <p>Walkways and sitting places should be carefully organized to direct views toward the mountains, as well as specific spaces or objects. The physical layout of buildings and landscape spaces should consider the composition of views within spaces and views to the mountains and the nearby landscape.</p>	<p>The proposed development does not reduce the views from key pedestrian walkways within the village.</p>

<p>3. Year-round seating/social organization</p> <p>Sitting places should be frequent. Benches should be organized in some places to permit and promote talking between people on adjacent benches. In other places, single and private benches are appropriate. Within a given area, at least 50 per cent of the available seating should be on benches with backs and at least one armrest. Other surfaces, such as steps, low walls and lawn areas should be designed to permit casual seating. Increase opportunities for year-round seating.</p>	<p>The proposal does not impact the public seating areas in the village.</p>
<p>4. Other street amenities</p> <p>Garbage and recycling containers should be of the municipal Village standard and be frequently located. Ski and bicycle racks for use by the general public should be provided near entries to commercial spaces (e.g., stores, restaurants). Street amenities should be placed in areas that do not impede pedestrian movement, maintenance, or winter snow clearing.</p>	<p>The proposal does not impact amenities such as waste containers and ski/bicycle racks in the village.</p>
<p>5. Surface treatment</p> <p>Unit paving, to the municipal standard, is the predominant surface treatment on the pedestrian mall. In some places, a mixture of surface types can be interesting and effective in modulating the scale of a space. There should be a course of pavers at the base of walls, stairs and ramps to neatly edge the paver to wall, stair or ramp relationship.</p>	<p>The proposed development is not located on the pedestrian mall within the village.</p>
<p>6. Stairs and ramps</p> <p>All stairs and ramps providing access to buildings should be roofed. Building access ramps with a steeper than five per cent slope should be heat traced, if not roofed. Exterior steps should be wider and shallower than those used within buildings, so the tread can accommodate the size of a ski boot.</p>	<p>No new stairs or ramps are proposed.</p>

Landscaping

<p>1. Landscape standards</p>	<p>The landscape plan identifies that plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standards (CNLA/CSLA).</p>
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<p>All landscaping is to be designed, installed, and continuously maintained and managed to current British Columbia Society of Landscape Architects/British Columbia Landscape & Nursery Association (BCSLA/BCNTA) standards. Landscaping should be replaced when damaged. A landscape security deposit may be required.</p>	
<p>2. Integration and coordination</p> <p>Landscaping is a major, integral part of project design, and planting should be substantial to emphasize the natural setting. Preserve and protect existing vegetation, especially significant trees wherever appropriate. Replant and re-landscape areas that have been cleared.</p> <p>Landscaped areas with the capacity to infiltrate and accommodate stormwater, such as planting beds and grassed areas, are encouraged to reduce stormwater runoff from surface parking lots and rooftops.</p> <p>Coordinate planting to create a pleasing composition and cohesive look, define and enliven public spaces, moderate building massing, maximize views into stores, emphasize and frame important building features and natural focal points, and provide shade for comfort.</p> <p>Incorporate managed “higher impact” planting with texture and bold colour in the central pedestrian mall area.</p> <p>Landscaping along the outer forested edges of the Village, along primary roadways including Highway 99, and around surface parking lots should be clustered to simulate the scale and variety of forest plantings and to integrate with the surrounding trees and natural setting.</p> <p>In a few instances outside of the central pedestrian mall area a more orderly planting is appropriate; in particular, at hotel entrances and along Main Street.</p> <p>Property owners or developers should install parking, curbing, landscaping and lighting to municipal standards beyond the edge of the parcel boundary up to the centreline of any pedestrian system or adjacent street.</p>	<p>A large number of significant trees will be retained. Clustered vegetation will provide a visual barrier between the existing building and Highway 99.</p> <p>The landscape plan identifies that the works will provide automatic irrigation system to conform to current Irrigation Industry Association of BC (IIABC) standards.</p>
<p>3. Planters</p> <p>The pedestrian mall is to have substantial planting in raised beds a minimum of 1.5 metres in width to create transition from the building to the pedestrian mall.</p> <p>Planter walls integral to building designs are encouraged. Walls should be primarily stone, at heights varying from 0.2 metre to 1.0 metre. Higher walls discourage seating and are not in</p>	<p>The proposed development is not located on the pedestrian mall within the village. The existing planters at the front of the building will be retained and maintained.</p>

<p>scale with pedestrian areas, and should be stepped.</p> <p>Where appropriate, visually break up long linear planter beds or walls, and consider alternative plant bed edge treatment to give relief to the rigidity of continuous walls and curbs.</p> <p>Planter beds located over structures should be drained into the storm drainage system and cannot be drained through weep holes in walls creating surface water flow over pedestrian areas.</p>	
<p>4. Plants and planting</p> <p>Use plant species suited to the local climate, which require minimal irrigation and provide dynamic seasonal interest.</p> <p>A mix of evergreen and deciduous trees is required. Planting used for screening must be primarily coniferous. Understory plants are required to add to the seasonal variety of colour and texture. Spring, summer and fall floral displays are encouraged in feature areas. Lawn is acceptable, if it works well in response to social use.</p> <p>Trees should have minimum size for immediate effect. Deciduous trees should be a minimum of 75 millimetres (3 inches) caliper and 3.6 metres (12 feet) height. Conifer trees should be a minimum of 2 metres height. Deciduous trees greater than 100 millimetres (4 inches) caliper and conifer trees greater than 5 metres height are not advised. Trees should have sufficient soil volume and depth for long-term health consistent with BCSLA/BCNTA standards.</p> <p>Plants located in snow dump areas should be sufficiently durable to survive the effects of snow dump.</p>	<p>A suitable variety of plants has been proposed to ensure seasonal interest and reflect the local character. The proposed planting results in a mix of evergreen and deciduous trees in suitable locations. The landscape plan identifies the sizes of the vegetation to be planted.</p>
<p>5. Irrigation</p> <p>Provide programmable automatic irrigation systems to current Irrigation Industry Association of British Columbia (IIABC) and BCSLA/BCNTA standards, except for naturalized landscape that may not require an irrigation system.</p> <p>Provide drip irrigation for hanging planters. Irrigation lines should be concealed.</p>	<p>The landscape plan identifies that the works will provide automatic irrigation system to conform to current Irrigation Industry Association of BC (IIABC) standards.</p>
<p>6. Landscape elements</p> <p>All landscape elements adjacent to areas that require snow clearing by machinery should be designed to resist damage by incorporating durable materials and rounded edges, and eliminating unnecessary protrusions.</p>	<p>No changes are proposed to the planters located by the driveway that requires snow clearing.</p>

Special features such as public art, fountains, water, exterior display kiosks, flags, banners and graphics are encouraged provided they contain no commercial message.	
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Lighting

<p>Outdoor lighting should be used primarily for safe pedestrian passage and property identification. Seasonal festive lighting and limited architectural and landscape feature lighting are also supported.</p> <p>Use the correct amount of light. Illumination levels should be of sufficient intensity to provide safe pedestrian passage and property identification, but not to overpower the nightscape. The overall preference is for a soft, lower illumination level and even lighting experience.</p> <p>Direct light downward by selecting full cut-off and fully shielded fixtures that shield the light source to avoid light pollution and protect dark skies. Limited applications of up lighting may be permitted to illuminate architectural and landscape features, where downward lighting cannot be accommodated, if light pollution is minimized.</p> <p>Select the correct light source (bulb type) to create good colour rendition and warm colour temperature. Coloured lighting is permitted, but is restricted to seasonal festive lighting and public amenities. Flashing, blinking and neon lights are not permitted.</p> <p>Use shut-off controls, such as sensors and timers.</p> <p>Light standards should be of the municipal Village standard.</p> <p>Design interior lighting so that it sufficiently illuminates window displays and reduces the mirror effect of dark interiors, but does not contribute to glare outdoors.</p>	<p>Outdoor lighting is not proposed for the ground floor extension. Outdoor lighting is proposed for the Patio improvements, and is reviewed as part of the relevant Development Permit applications.</p>
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Signage

<p>Well-executed and creatively designed signage of durable, high quality materials is an important component of the Village visual interest and character.</p> <p>Carefully coordinate the design and placement of signs with the architectural elements of the façade and associated storefronts to complement, not obscure, architectural details.</p> <p>The size, number and placement of signs for a building or development should ensure a hierarchy of signage. Within this hierarchy, provide a balance between consistency and individual creativity. For instance, consistency</p>	<p>No new signage proposed.</p>
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<p>may come in the location, size, materials or lighting to create a rhythm, and creativity may come in the shape, colour, materials and individual mounting brackets to create interest and individual business expression.</p> <p>All sign materials and mounting brackets should be high quality, textured and durable. Raised or recessed letters or symbols are strongly encouraged.</p> <p>Lighting fixtures should be high quality, unobtrusive fixtures. Electrical conduits should be concealed.</p> <p>Signs may support fairly intense colour applications, but should be harmonious with the colour scheme of the associated building.</p> <p>All signage must also meet the requirements of the Sign Bylaw, except that the bylaw requirements may be varied to authorize signs that are demonstrated to better achieve the overall objectives of these form and character guidelines.</p>	
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Building Design

Building Character and Scale

<p>The continuity, enjoyment and excitement of the pedestrian areas are to be created in large part by thoughtful massing, scale and detail of each building.</p> <p>Buildings are usually restricted to 3.5 storeys or less. Higher buildings should be stepped back or otherwise respond to pedestrian scale.</p> <p>Consider a large building as a series of smaller modules; the objective is to create a street scene with significant texture in building façades, rather than long buildings featuring a single design idea.</p> <p>Façade design should display a consideration of the building’s appearance on all sides of the building: there are very few buildings in the Village with only a “front” and “back”.</p>	<p>The proposal does not significantly change the character of the restaurant building. The proposed ground floor extension results in increased modulation to the building form, and increase visual interest from the north, east, and south sides.</p>
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Pedestrian Level Design

The ground floor building design, in coordination with the related landscape design, provides the opportunity for the greatest visual interest. All design efforts should focus on the organization of form and materials so that the pedestrians relate clearly to the retail shops and pedestrian level activities.

1. Continuous covered walkway system

<p>The ability for a pedestrian to walk undercover throughout the central pedestrian mall area is important for visitor weather protection and comfort and covered walkways on one or two sides of all commercial buildings are typically provided.</p>	<p>The proposed development is not located on the pedestrian mall within the village.</p>
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In some instances, covered walkways may be changed and storefronts may extend outward to the edge of the pedestrian mall if weather-protected access into the retail space is provided.	Not applicable.
Covered walkways should have a varied width to enable pedestrian circulation and provision for outdoor displays and amenities. Covered walkways should have a 1.8 metre minimum clear width and 3 metre minimum clear height.	Not applicable.
Walkways may be within the building (i.e., set in from the face of upper storeys) or may extend partially or fully outwards from the building face. Walkway roof and column design should be an integral part of the building design and strike a balance between the creation of a strong building base and unobstructed views of storefronts from the pedestrian mall.	Not applicable.
The ceilings and the space of the covered walkways should be illuminated in a creative way to create a welcoming and engaging environment between the pedestrian mall and the store interior. Refer to section 4.3 Lighting	Not applicable.
Canvas or acrylic awnings in lieu of structural covered walkways are not acceptable; however, they may be used to add to visual interest, storefront identity and character.	Not applicable.

2. Inviting building entrances and storefront access

Building entrances should front the street and pedestrian mall and be visible, identifiable and inviting from both sides.	The proposed works do no alter the entrance to the restaurant building.
Although the main entrances into buildings from the pedestrian mall should be noticeable, they should not be monumental such that they disrupt the continuity and flow of retail façades and the harmony of the pedestrian mall. Street entrances may be more prominent and may include a porte-cochere. The ground floor level of the building should be as close as possible to the pedestrian mall grade. In many instances, the ground floor level is a minimum of 0.6 metre above the adjacent pedestrian mall for flood-proofing. Where the vertical separation is greater than 0.6 metre, intermediate terraces should be created to break up the vertical separation and enhance the connection between storefronts and the pedestrian mall; in no case should the vertical separation exceed 1.2 metres.	The proposed development is not located on the pedestrian mall. The proposed works do no alter the entrance to the restaurant building.
In some instances, there may be overall advantages to the pedestrian experience to permit encroachments into the pedestrian mall to enhance stair and/or ramp access to building and storefront entrances. Such proposals will be considered on an individual basis by the municipality.	A new paved exit path from Patio B to the walkway along Whistler Way is proposed as part of a separate Development Permit application. No other encroachments onto RMOW land are proposed.

3. Façade design requires variety, scale and modulation while achieving visual harmony

Create pedestrian interest with use of scale and modulation in the placement and detailing of architectural elements such as canopies, entrances, doorways, windows, lighting and signage.	The proposed extension provides further nodulation to the building façade when viewed from Whistler Way, increasing pedestrian interest.
The quality of individual storefronts is of highest priority. Design shop façades as individual entities, to strengthen their character and interest to the pedestrian. Continuous linear storefronts are not acceptable. The organization of the upper floors does not have to dominate the order of the retail level; allow retail frontages to be evident in the architecture of the building at street level and break up the structural rhythm of the building. This may be achieved by stepping of façades, by material change, or by colour change.	The proposal includes minor changes to the existing restaurant building façades. No changes to the primary restaurant storefront area proposed, and the ground floor extension screens the existing waste storage and loading area.
Inviting entrances and clear window glazing offering visibility into a store are especially important to enhance indoor/outdoor connections. Windowpanes should be divided with a muntin or mullion bars to add detail and expression. Glass should not extend to the ground level.	<p>No changes to the existing windows are proposed. The proposed addition includes two windows for light penetration, but are located to minimize view into the waste management and ski/bike storage areas for visual and safety reasons.</p> <p>The window glass does not extend to ground level.</p>

4. Consider outdoor displays

High quality outdoor displays that contribute to Village visual interest and storefront character are encouraged. Ensure 1.5 metre minimum clear width is maintained for pedestrian circulation.	Not applicable.
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UPPER FLOOR DESIGN

The design of the upper façade of buildings is important to the scale and texture of the Village. The building faces are envisioned as a rich collection of varied yet harmonious façades, adding interest, scale and rhythm to the Village.

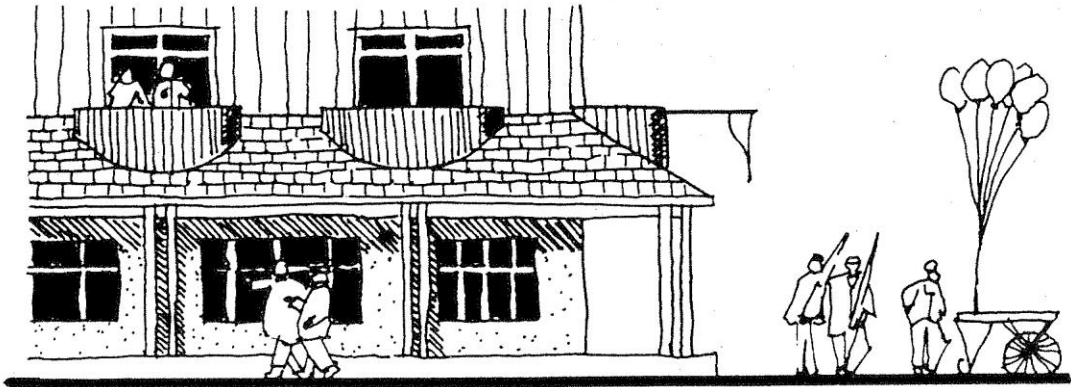
5. Use façade elements to reflect “Village scale”

Building façades should include architectural features including bay windows, balconies, dormers and façade detailing as textural elements, which strengthen the Village scale and resort image.	No changes to the upper level of the building are proposed.
Building façades should give a substantial appearance consisting of “punched” openings. Curtain walls or façades incorporating long horizontal strip windows are not permitted. Long, motel-like balconies and exterior circulation systems are not permitted.	No changes to the upper level of the building are proposed.

6. Every living unit should have a spot to catch the sun

Decks, balconies and porches are strongly encouraged, as they provide sunny usable outdoor space and add life and interest to the street. In the design and positioning of elements such as decks, balconies, bay windows and living area	Not applicable.
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<p>windows, incorporate the opportunity of formal and informal “overlooks” to activity outside.</p> <p>Decks and balconies should consider proper detailing to minimize snow catching, interior leakage, water staining and improper runoff.</p>	
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ROOF DESIGN

Roof design is important for snow management, and is a major contributor to Village visual harmony and character. Roofscapes are an important design element, which are viewed from the pedestrian level, the ski slopes above the Village, Highway 99 and the Village approaches. The skyline of the Village is conceived as a unified composition of sloping roofs in a limited variety of materials and colours.

7. Roof form should be modulated

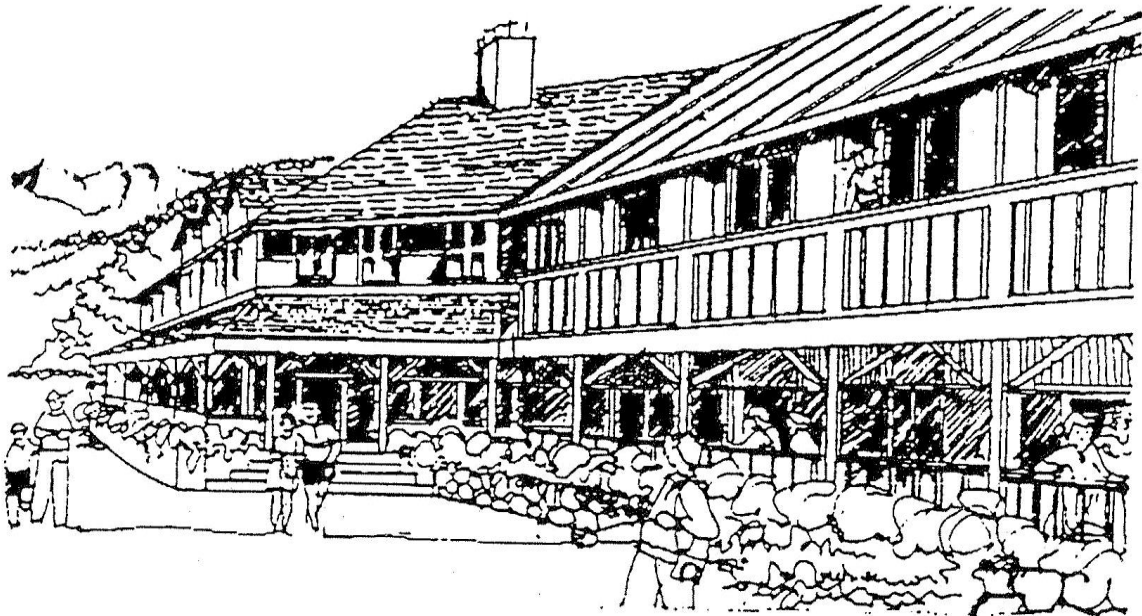
<p>Roof form should be suited to mountain shapes and views, and broken up with the use of dormers or other architectural features to reduce the apparent bulk of a building and create more visual interest. The ridgeline should not be continuous, but should be varied in height or broken with chimneys, cupolas, towers or other features.</p>	<p>With the exception of the ground floor extension, no changes to roof design are proposed. The proposed ground floor extension will have a flat roof, and give the appearance of further modulation.</p>
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8. Roofs should have sloped appearance and sufficient overhangs

<p>A composition of sloped roofs is required for each development, and small areas of flat or mansard roofs are acceptable. Roof slopes should be between 5:12 and 12:12; lower sloped roofs may</p>	<p>The existing roof is sloped as per the original construction of the building. With the exception of the ground floor extension, no changes to roof design are proposed. The proposed ground floor</p>
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be permitted subject to design justification that meets the objectives of the Roof Design guidelines. Large areas of flat roofs are not acceptable.	extension will have a flat roof, and give the appearance of further modulation.
Roof overhangs should be sufficient to protect the building fascia from rain and snow	Roof overhangs are provided on the existing roof, and on the north and south side of the ground floor extension. No overhang is proposed on the eastern side of the extension due to the siting constraints to fit within the parcel and the separation from the existing vegetation.



9. Fully coordinate roofs of connected and adjacent buildings

Consider coordination with adjoining eaves, peaks, gables and slopes.	The roof design is consistent with the character of the Aava Hotel building.
Minimize exposure of party walls. Where present, consider them as an important feature designed in a manner to complement the overall building design, while minimizing flashing workmanship problems.	No party walls proposed.

10. Flat roof design

All flat roofs should incorporate a neutral or muted coloured roof membrane or roof aggregate.	The proposed ground floor extension will have a flat roof, and will be coloured to match the existing building.
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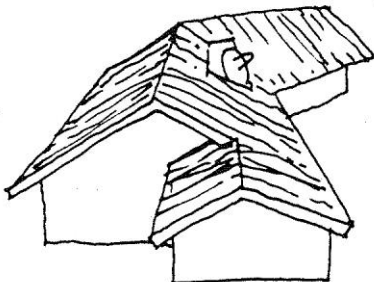
11. Roof materials and colour

Roof materials should be of high quality and architectural dimension and texture, and sufficiently durable to withstand Whistler’s harsh climate.	The proposed ground floor extension will have a flat roof with a fibre cement trim, which is suitable to withstand Whistler’s climatic conditions.
The colour of roof materials should be generally neutral or muted to blend with the colours of the natural landscape. Brightly coloured enamelled metal roofs will not be considered.	The proposed ground floor extension will have a flat roof with a fibre cement trim, which will be coloured to match the existing building.

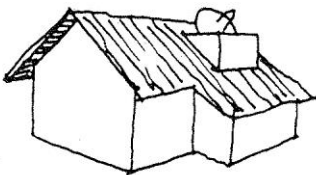
All roof flashing materials should be pre-finished metal to match roof colour.	Can be conditioned.
All chimneys should be enclosed in a material identical or similar to the building cladding (or other architectural treatment incorporated).	No new chimneys proposed.

12. Conceal roof mounted equipment

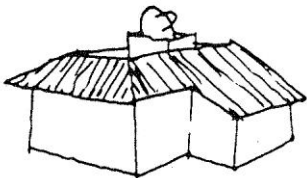
Satellite dishes, communications antennae and mechanical equipment should be planned as part of the roof, so they are concealed from pedestrian viewpoints and overlooking development.	No new roof mounted equipment proposed.
Venting stacks, flues and other similar projections should be concealed or integrated within the roof form as sculptural elements.	No new roof mounted equipment proposed.
Roof designs which incorporate evolving technology and best practices for stormwater management and energy systems are encouraged within the context of the overall Roof Design guidelines	The proposed flat roof includes drainage sloped to scupper drains directed to the garden beds outside the proposed addition.



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not this



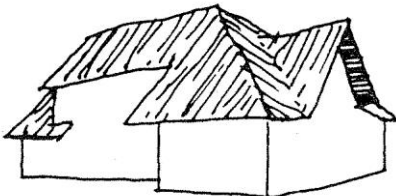
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13. Trim and eave lines

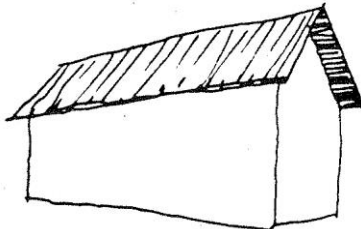
Trim and eave lines should have substantial appearance for visual interest; thin wood trim sections are discouraged.	The proposed new roof will have a wide fiber-cement trim, painted to match the existing building.
Eave lines or a major cornice or trim line should be located below the third storey to bring the building face down to a pedestrian scale.	The proposed new roof is at the first storey level.



this



or this



not this

BUILDING MATERIALS

A consistent use of a small number of materials chosen for their durability and natural quality is an important component of the Village visual harmony and character. The materials and their method of application should reflect the regional style and ruggedness of the Whistler region and convey the image of a mountain village.

1. Materials should be complementary to those of adjoining buildings

All building materials are to be sufficiently durable and detailed to withstand Whistler’s harsh climate.
 Primary exterior materials include stone, wood, stucco and architectural concrete.
 Other materials may be acceptable subject to particular technical and design justification that meets the objectives of the Building Materials guidelines.

(a) Stone The use of natural stone is required at ground level both for building base and for streetscape elements. Artificial or “cultured” stone is not acceptable.	
(b) Wood Wood siding is strongly encouraged. Board and batten is recommended. Wood may also be present as timber elements and for infill panels in non-wood frame buildings. Small areas of wood shingle are appropriate. Plywood or particle board is not acceptable as exterior cladding.	Wood siding and trim is proposed for the extension to the ground floor.
(c) Stucco Stucco should be acrylic based and incorporate an acrylic (as opposed to painted) finish. Stucco should incorporate heavy reveals and expansion joints. Stucco should be protected from weather exposure by deep overhanging eaves. Stucco is acceptable for large areas, only where it is combined with heavy timber, wood or stone detailing.	
(d) Concrete Exposed concrete should be trowel finished, heavily ribbed, textured or bushhammered; unfinished exposed concrete and exposed standard concrete block are not acceptable. Seal all finished concrete.	Concrete with a granite finish is proposed for the new planter walls.

2. Windows

Reflective or heavily tinted glass is not permitted.

BUILDING COLOUR

Building colours should consist of muted tones or shaded tints, neutrals and earth tones that are drawn from Whistler’s surrounding natural environment and contribute to the Village visual harmony and character. Building colours should also be complementary to neighbouring buildings.	The proposed extension to the ground floor will be painted to match the existing building. DP001772, which was recently approved, identifies the proposed building colours for the building (CPS-60 City Shadow siding, and CPS-50 Rainstorm trim).
Colour schemes should accent the architectural detailing of the building.	The proposed extension to the ground floor will be painted to match the existing building. The recently approved DP001772 identifies the proposed building colours for the building (CPS-60 City Shadow siding, and CPS-50 Rainstorm trim).
Deeper shades and more vibrant colours may be used in the design of individual retail storefronts to create a sense of uniqueness and visual interest at the street level. A storefront colour scheme, however, should acknowledge and be harmonious with adjacent storefronts, as well as the general colour scheme of the larger building to which the store belongs.	Not applicable.
Building accessories, such as awnings and signs, may support fairly intense colour applications drawn from the surrounding natural environment, but should be harmonious with the colour scheme of the building with which they are associated.	No applicable.
Detailed guidelines applicable to the original Whistler Village area are provided in the Whistler Village Colour Guide, attached as Appendix C. Development within the other areas of Whistler Village should meet the general colour principles as established in Appendix C.	The proposed extension to the ground floor will be painted to match the existing building. The colours match repainting DP001772, which was recently approved by delegation.

NOISE CONTROL

The relatively high density of Whistler Village, combined with the mix of residential, commercial and entertainment facilities, creates the potential for noise problems.

1. Locate nightclubs below grade

Nightclubs should be located primarily below grade, unless exceptional noise isolation measures are included.	Not applicable.
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2. Locate entrances to nightclubs, licensed lounges and pubs away from tourist or residential accommodation

Provide vestibule (double door) entrances.	Not applicable. The restaurant building is not attached to any tourist or residential accommodation, and is located a suitable distance away from the Aava Hotel to accommodate the level of noise anticipated from a restaurant.
No operable windows for nightclubs are permitted facing a public street or mall. Other licensed premises may have operable windows facing a public street or mall subject to limiting noise escaping to the street.	All windows are located a suitable distance from nearby sensitive receptors to accommodate the level of noise anticipated from a restaurant.
Nightclubs should be sound-isolated from any tourist accommodation or residential uses.	Not applicable.

BUILDING RENOVATION AND REDEVELOPMENT CHECKLIST

Renovation and redevelopment create opportunities for improvements that could produce measurable benefits to the Village character and quality, contributing to the overall success of the Village. Targeted improvements are categorized and listed below:

1. Enhancement of the pedestrian precinct

<ul style="list-style-type: none"> Changes that promote social life in public spaces 	The proposed development is not located on the pedestrian mall, however, the renovation to the restaurant encourages further outdoor use of the site.
<ul style="list-style-type: none"> Improvements in ease of access to stores 	No changes to the restaurant access are proposed.
<ul style="list-style-type: none"> Improvements in storefront visibility, life, colour and interest 	The proposed extension to the ground floor will screen the existing waste storage area, and will improve visual impact of the building. The proposed extension will be painted to match the existing building
<ul style="list-style-type: none"> Changes to the base of buildings and improvement of the building connection to the land 	The proposed development is located within the already disturbed areas of the loading area.
<ul style="list-style-type: none"> Entrance improvements (e.g., shelter, welcoming, personality) 	No changes to the building entrance are proposed as part of this development.
<ul style="list-style-type: none"> Preservation or creation of intimate, close-up views 	The proposed patio improvements and landscaping improve the visual interest of the property from adjacent roads and pathways.
<ul style="list-style-type: none"> Preservation or creation of distant mountain views 	The proposed development does not impact viewpoints for pedestrians in the village.
<ul style="list-style-type: none"> Improvements in solar access, brightness, colour and delight 	The proposed development does not negatively impact solar access, brightness, colour or delight of the pedestrian precinct.
<ul style="list-style-type: none"> Improvements to the landscape 	The landscape plan identifies a variety of plantings which will improve the landscape of the parcel.
<ul style="list-style-type: none"> Accessibility improvements 	The proposed development does not reduce accessibility for the restaurant building.

2. Modification of roof forms

<ul style="list-style-type: none"> Forms better suited to mountain shapes and views 	The only new section of roof is the proposed flat roof for the ground floor extension. The proposed new roof does not impact any mountain views.
<ul style="list-style-type: none"> Resolution of snow dump issues, which impact on the form and usability of pedestrian spaces 	The proposed new roof is a flat roof which will not create any snow dump issues.
<ul style="list-style-type: none"> Improved forms that contribute to Village visual harmony 	The proposed new section of roof will be painted to match the existing restaurant building, and will not detract from the buildings harmony with the surrounding area.
<ul style="list-style-type: none"> Forms that protect the building envelope 	The proposed new roof will be located within the 9 metre setback from the parcel boundary,

	however the building extension will be located within the existing loading area.
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3. Modification of building façades

<ul style="list-style-type: none"> Changes that emphasize horizontal features, rather than vertical features 	The proposed ground floor extension has a flat roof, with a large horizontal trim, and features horizontal wooden siding to match the existing building.
<ul style="list-style-type: none"> Windows and balconies that are direct and well-shaped 	The proposed new windows are to allow light penetration, but minimise views into the storage and waste management area.
<ul style="list-style-type: none"> Surface colours and textures that catch the light and are not dull 	The colours and materials for the proposed works will match the existing building.
<ul style="list-style-type: none"> Façades that are weather resistant 	The façade for the proposed ground floor extension includes wood siding and trim, and fibre cement trim by the eaves.